

CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS
1804 WEST STREET, SUITE 100
ANNAPOLIS, MD 21401

PROJECT NOTIFICATION APPLICATION

GENERAL PROJECT INFORMATION

Jurisdiction:

Date:

7/2/23

Tax Map #	Parcel #	Block #	Lot #	Section
0010	0336	-	2	

FOR RESUBMITTAL ONLY

Corrections
Redesign
No Change
Non-Critical Area

*Complete Only Page 1
General Project Information

Tax ID: 05-000-90094974

Project Name (site name, subdivision name, or other) Davis

Project location/Address 35 Old Farm Rd.

City Glen Burnie Zip 21060

Local case number

Applicant: Last name Byrd First name Rick

Company Byrd Design & Build

Application Type (check all that apply):

Building Permit Variance
Buffer Management Plan Rezoning
Conditional Use Site Plan
Consistency Report Special Exception
Disturbance > 5,000 sq ft Subdivision
Grading Permit Other

Local Jurisdiction Contact Information:

Last name Byrd First name Rick

Phone # 443-823-9759 Response from Commission Required By

Fax # Hearing date

SPECIFIC PROJECT INFORMATION

Describe Proposed use of project site:

Construct a new addition approx 264 sf & a new deck 194 sf. Remove existing deck

Intra-Family Transfer Yes
Grandfathered Lot

Growth Allocation Yes
Buffer Exemption Area

Project Type (check all that apply)

Commercial
Consistency Report
Industrial
Institutional
Mixed Use
Other

Recreational
Redevelopment
Residential
Shore Erosion Control
Water-Dependent Facility

SITE INVENTORY (Enter acres or square feet)

	Acres	Sq Ft
IDA Area		32,907
LDA Area		
RCA Area		
Total Area		

Total Disturbed Area

Acres	Sq Ft
	458

of Lots Created

	Acres	Sq Ft		Acres	Sq Ft
Existing Forest/Woodland/Trees		6,706	Existing Lot Coverage		5,120
Created Forest/Woodland/Trees		0	New Lot Coverage		458
Removed Forest/Woodland/Trees		0	Removed Lot Coverage		325
			Total Lot Coverage		5,253

VARIANCE INFORMATION (Check all that apply)

	Acres	Sq Ft		Acres	Sq Ft
Buffer Disturbance			Buffer Forest Clearing		
Non-Buffer Disturbance			Mitigation		

Variance Type

Buffer
Forest Clearing
HPA Impact
Lot Coverage
Expanded Buffer
Nontidal Wetlands
Setback
Steep Slopes
Other

Structure

Acc. Structure Addition
Barn
Deck
Dwelling
Dwelling Addition
Garage
Gazebo
Patio
Pool
Shed
Other

35 Old Farm Road

Pervious Area calculations

House	(48' x 28')	1,344 sf.
Shed	(16' x 12')	320 sf.
Driveway	(65' x 45')	2,925 sf.
Front walk	(19' x 3')	57 sf.
Steps to pier	(114' x 44")	418 sf.
Rear Steps	(14' x 4')	<u>56 sf.</u>
Total		5,120 sf.

Wooded Area calculations

Misc. flower beds		750 sf.
Left side	(40' x 80')	3,200 sf.
Right side	(13' x 212')	2,756 sf.

The above calculations do not include any open front/rear yards.

July 6, 2023

To whom it may concern,

With our previous variance, case no. 2021-0160-V, and the Board of Appeals, BA 2-22v; we originally proposed an addition to replace an existing deck. The new addition was to extend an additional 4 feet into the buffer zone. After the denial of the variance and Board of Appeals, it was recommended that we restructure the plan set to remain within the dimensions of the existing deck. We then contracted an architect and structural engineer to provide drawings of the new structure which is an enclosed addition off of the kitchen and deck space to the right of the house facing the building. We have attached them to this application. Please reference the following explanation for clarification:

- We feel that the granting of this variance will not adversely affect water quality or impact fish, wildlife or plant habitat. We are environmentally conscious. We have been living at 35 Old Farm Road for 10+ years. In that time, we have planted hundreds of native plants on the slope of the house to reduce runoff that would result in erosion. All rainwater is diverted from the rain spouts to under the ground. We intend to continue planting as a way to avoid future erosion into Marley Creek, but also to create suitable habitat for native wildlife.
- We are unable to reconfigure the deck to wrap around the dwelling. There is a basement door and a garage door that will not allow us to do so.
- We have a disabled relative that will be moving in with us and we would like to provide outdoor access. Because of the narrow footprint of the deck, they are currently unable to navigate their wheel chair.
- We respectfully ask that a hearing officer visit the property. They would be able to see firsthand that there is 35 feet of level, sandy soil before the concrete retaining wall that extends to the slope leading to the water.

County Requirements for Critical Area Variances:

- 1- 3 See above regarding the disabled relative.
4. Application arises from actions of the applicants and not neighboring properties
5. See above regarding native plantings and buried runoff control
6. We have overcome article 8-108 of the State law by our ongoing efforts to plant and reduce erosion

Additional Factors:

1. We have measured and confirmed the amount of minimum space that would be necessary for a wheelchair to maneuver the deck.
2. The granting of the variance will not alter the essential character of the neighborhood. We have a secluded lot where the neighbors will not be affected
3. No adjacent property will be substantially impaired by any work as we will maintain within current dimensions for the addition.
4. We will not be reducing forest cover, but in fact we will be adding additional plantings and ground cover.
5. The area we are considering for an alteration to existing deck is currently free of vegetation.
6. The variance will not be detrimental to the public welfare.
7. We will be remaining within the existing deck's dimensions and not encroach into the buffer zone.

Please see attached plan set that includes site plan, topography, existing structure dimensions and proposed new build dimensions.

Please notify us if any additional explanation or documents are required.

Thank you for your time,

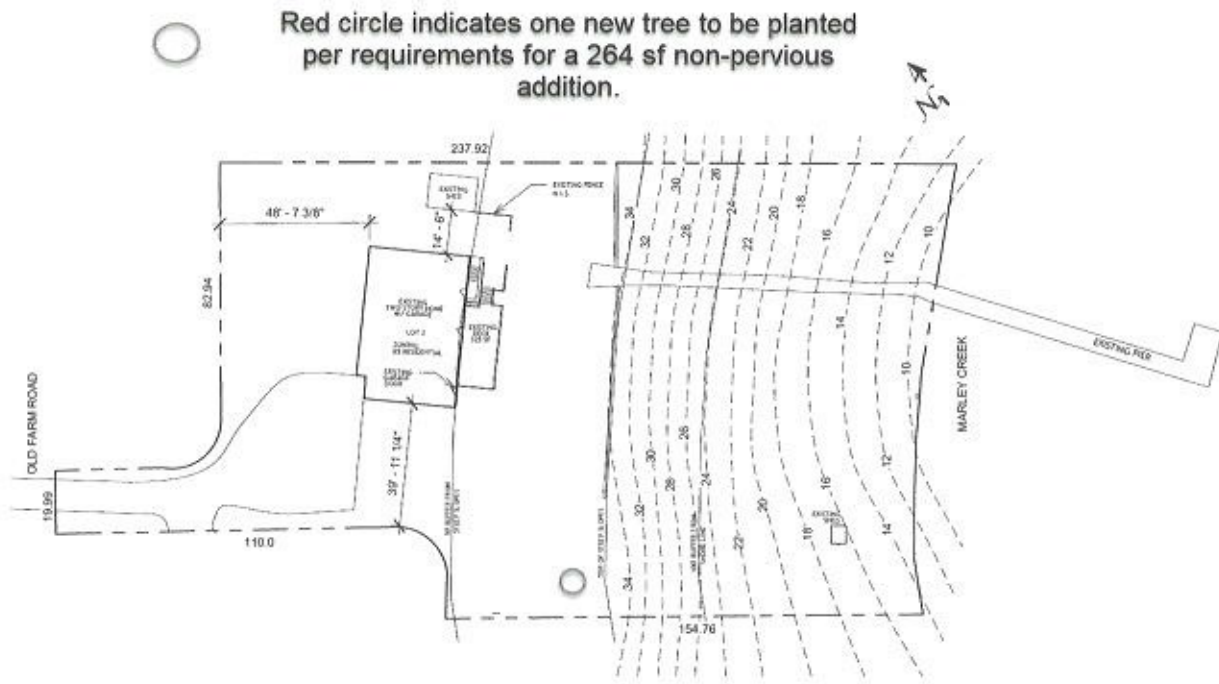
Darren Greene
Director of Construction
Byrd Design and Build
MHIC# 106613

Davis / Wloczewski Buffer Management Plan

35 Old Farm Road

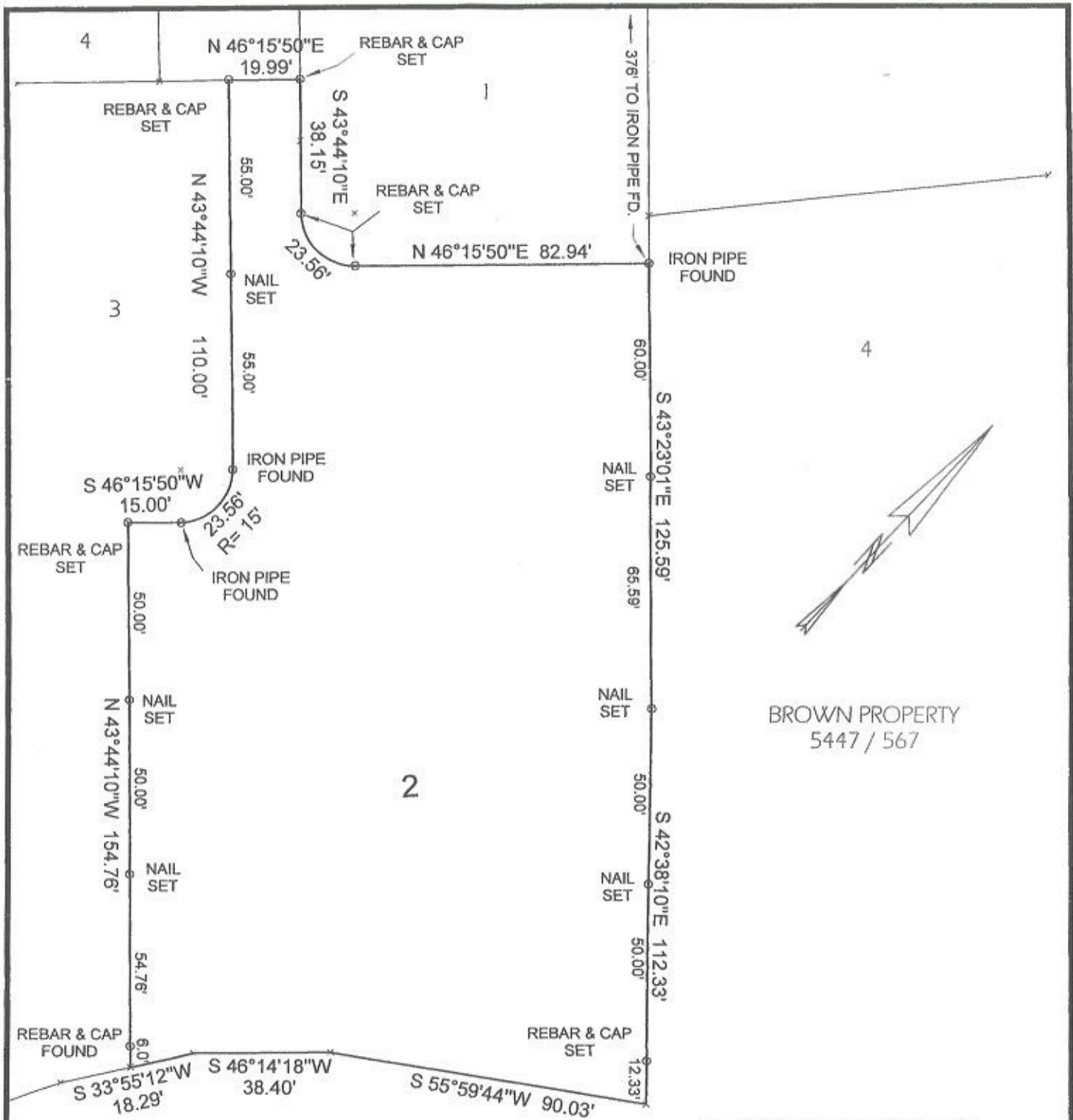
Glen Burnie, MD. 21060

Permit Number: B02397930



100-FOOT BUFFER MITIGATION

The proposed development is subject to buffer disturbance mitigation required by COMAR 27.01.09.01-2. A Buffer Management Plan, prepared in accordance with the requirements of COMAR 27.01.09.01-3, must be submitted for review. Please note that if a variance is granted for development within the expanded buffer to tidal water, mitigation by way of planting 1 tree and 3 shrubs for every 300 square feet or a fraction thereof of will be required at a ratio of 3:1 for permanent disturbance and 1:1 for temporary disturbance based upon the square footage of development or redevelopment activity located inside the buffer. A planting plan, forestation agreement, a refundable bond at \$1.50 per square foot (2 years after the vegetation has been planted) and a non-refundable inspection fee of 7% of the bond amount will be require payable to Anne Arundel County prior to approval of the building permit. Specific mitigation requirement, bond and inspection fee amounts will be assessed once the required variance has been approved.



BROWN PROPERTY
5447 / 567

MARLEY CREEK

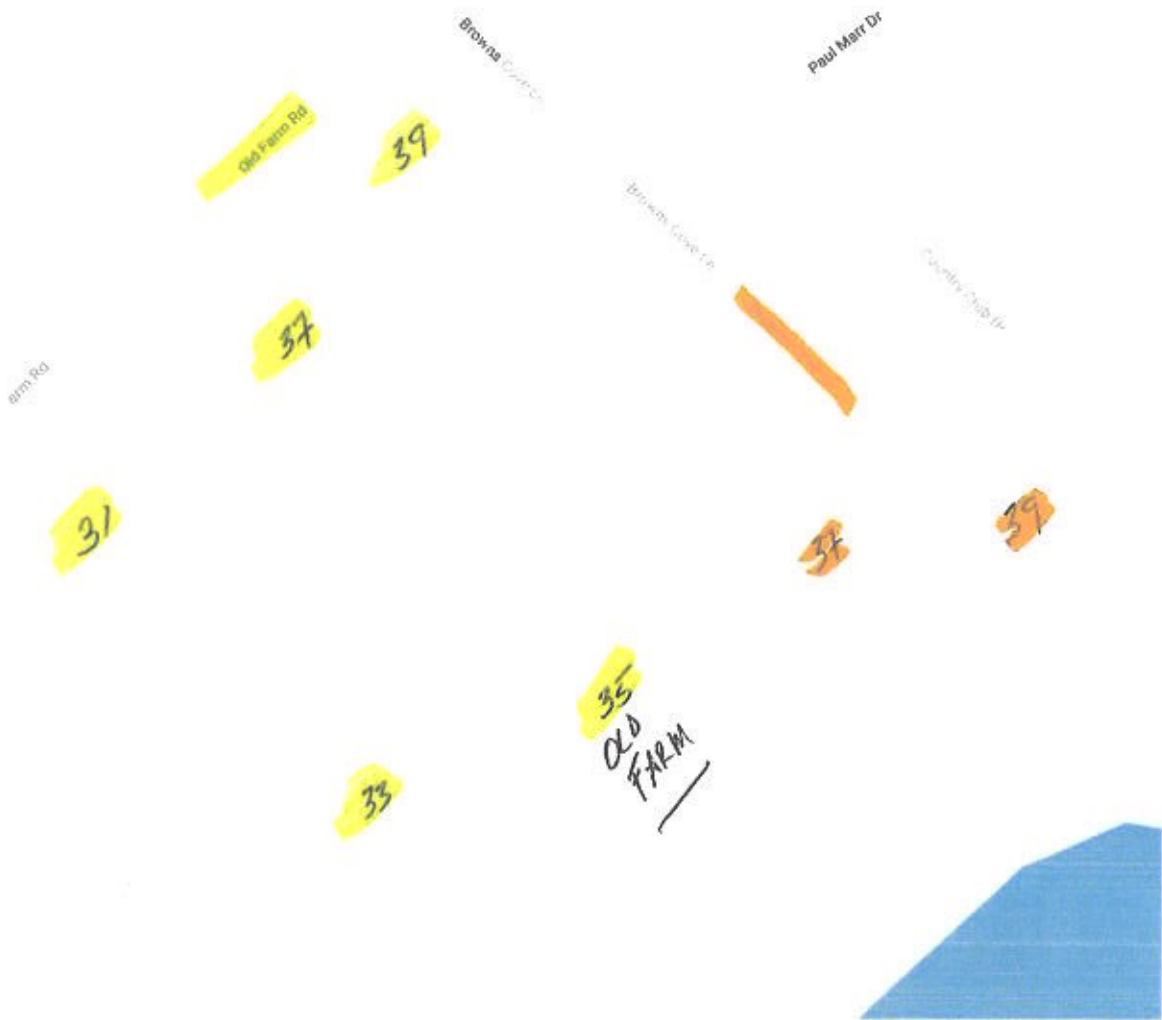
PLAT OF COMPUTATION
 LOT 2
MARLEY CREEK ESTATES
 5TH ELECTION DISTRICT
 ANNE ARUNDEL COUNTY, MARYLAND

CLARK, FINEFROCK & SACKETT, INC. ENGINEERS . PLANNERS . SURVEYORS 7135 MINSTREL WAY COLUMBIA, MARYLAND 21045 PHONE: BALT. (410) 381-7500 . WASH. (301) 621-8100	DRAWN BY: M.A.	SCALE: 1" = 40'	DATE: 12-04-03
	CHECKED BY:	JOB NO.	FILE NO.
	APPROVED BY:		95-998

Notice of Appeal Additional Information
 Ann M. Davis & William F. Wloczewski
 35 Old Farm Road
 Glen Burnie, MD. 21060

Item #4: Listing of property owners within 175 feet

Address	Owner(s)	Map	Grid	Parcel
31 Old Farm Road	Linda J. McCreary & Joseph D. McCreary	0010	0014	0336
33 Old Farm Road	Bonnie Ferris	0010	0014	0336
37 Old Farm Road	Belinda G. Piller & Frederick L. Glaeser	0010	0014	0336
39 Old Farm Road	Eun H. Bak	0010	0015	0373
37 Browns Cove Lane	Brett H. Warner	0010	0015	0373
39 Browns Cove Lane	Margaret Brown	0010	0015	0373



DAVIS RESIDENCE RENOVATION

35 OLD FARM ROAD

GLEN BURNIE, MD 21060

THE INFORMATION ON THIS DRAWING IS THE SOLE PROPERTY OF BYRD DESIGN + BUILD. ANY USE, COPY OF, OR RE-DISTRIBUTION OF THIS INFORMATION IS ILLEGAL, WITHOUT EXPRESSED WRITTEN PERMISSION FROM BYRD DESIGN + BUILD. THIS INFORMATION IS INTENDED FOR DESIGN PURPOSES ONLY, AND MAY NEED TO BE MODIFIED BASED ON VERIFICATION OF CONDITIONS.



BYRD DESIGN + BUILD
6109 Falls Road
Baltimore, MD 21209
443.823.9759 phone
Approval Stamp:

OWNER	DESIGNER	STRUCTURAL ENGINEER
ANN DAVIS & BILL WILOCZEWSKI 35 OLD FARM ROAD GLEN BURNIE, MD 21060 P: 410.241.9125	BYRD DESIGN + BUILD 6109 FALLS RD BALTIMORE, MD 21209 P: 443.823.9759	STRUCTURAL SOLUTIONS, INC. 706 WALKER AVE. BALTIMORE, MD 21212 P: 443.797.7715

ABBREVIATIONS

Building Expansion Joint	B.E.J.	Panel	PNL.
Bulkhead	B.H.	Partition	PTNL
Control Joint	C.J.	Perforated	PERF.
Corner Guard	C.G.	Perimeter	PERIM.
Countersink	CS.	Plaster	PLA.
		Plastic Laminate	PL. Lam. or P.L.
		Plywood	PWD.
Demolition or Demolish Detail(s)	DEMO, DTL./DETS.	Prefabricated	PREFAB.
		Prefinished	PREFIN.
Diameter	DIA.	Radiator or Radius	RAD.
Dimension	DIM.	Recessed	REC.
Division	DIV.	Reference	REF.
Door	DR.	Refrigerator	REFR.
Down	DN.	Reinforcing	REINF.
Downspout	DS.	Required	REQD.
Drawing	DWG.	Resilient	RES.
Each	EA.	Revision	REV.
Electric	ELEC.	Riser	R.
Elevation	ELEV.	Room	RM.
Enclosure	ENCL.	Rough Opening	R.O.
Entrance	ENTR.	Round	RND. OR Ø
Equal	EQ.	Schedule	SCHED.
Equipment	EQUIP.	Section	SECT.
Estimate	EST.	Sheathing	SHTH.
Exhaust	EXH.	Sheet	SHT.
Existing	EX.	Similar	SIM.
Existing to Remain	ETR.	Solid Core	S.C.
Expansion	EXP.	Specification	SPEC.
Expansion Bolt	EXP. BT.	Square	SQ.
Expansion Joint	EXP. JT.	Square Foot	S.F.
Exterior	EXT.	Square Yard	S.Y.
		Stainless Steel	S.S. or ST.STL.
Feet	FT.	Standard	STD.
Field Verify	F.V.	Steel	STL.
Finish	FIN.	Storage	STOR.
Finished Floor	F.F.	Structural	STRU.
Fire Code	F.C.	Surface	SURF.
Fire Rated	F.R.	Suspended	SUSP.
Fireproofing	FLASH.	Telephone	TEL.
Flashing	FLR.	Television	TV.
Floor	FLR.	Terrazzo	TERR.
Footing	FTG.	Thickness	THK.
Frame	FRM.	Threshold	THRES.
Framing	FRMG.	Tolerance	TOL.
Furnish	FURN.	Tongue & Groove	TBG.
Furring	FUR.	Treated	TRD.
		Typical	TYP.
Galvanized	GALV.	Unfinished	UNF.
Gauge	GA.	Unless Noted Otherwise	U.N.O.
Glass	GL.	Utility	UTIL.
Glaze	GLZ.	Vertical	VERT.
Grab Bar	G.B.	Vinyl Composition Tile	VCT.
Grade	G.R.	Vinyl Cove Base	VCB.
Ground	GR.	Verify in Field	V.I.F.
Gypsum Wallboard	GYP.	Water Closet	W.C.
		Water Resistant	W.R.
		Waterproof (ing)	WP.
		Weight	WT.
		With	W/.
		Without	W/O
		Wood	WD.
		Yard	YD.
Handrail	HNDRL.		
Hardboard	HDBD.		
Hardware	HW.		
Height	HT.		
Heating, Ventilating & Air Conditioning	H.V.A.C.		
Hollow Core	H.C.		
Hollow Metal	H.M.		
Horizontal	HQRZ.		
Hose Bibb	H.B.		
Hot Water Heater	H.W.H.		
Inches	IN.		
Inside Diameter	I.D.		
Insulation	INS.		
Interior	INT.		
Joint	JT.		

GENERAL PROJECT & CODE INFO

OWNERS: ANN DAVIS & BILL WILOCZEWSKI
ADDRESS: 35 OLD FARM ROAD, GLEN BURNIE, MD 21060

ZONING: R5 RESIDENTIAL
TAX ACCOUNT: 5000-9009-4974
MAP: 0010
BLOCK: 0014
PARCEL: 0336
LOT: 2

SETBACKS

FRONT: 25' - 0"
REAR: 20' - 0"
SIDE: 7' - 0"
MAX HEIGHT: 35' - 0"

APPLICABLE CODES

2018 INTERNATIONAL RESIDENTIAL CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 NATIONAL BUILDING PLUMBING CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE

PROJECT SUMMARY

NEW 3 SEASON ROOM WITH DECK ON BACK OF EXISTING STRUCTURE

SYMBOLS

	EXISTING CONSTRUCTION TO BE REMOVED		SWITCH
	EXISTING CONSTRUCTION TO REMAIN		DIMMER SWITCH
	NEW CONSTRUCTION		CABLE JACK
	DEMOLITION KEYNOTES		TELEPHONE JACK/ INTERNET
	NEW WORK KEYNOTES		VANITY LIGHT FIXTURE
	PLUG IN LIGHT FIXTURE: FLOOR/TABLE		EXHAUST FAN/LIGHT COMBO
	RECESSED DOWNLIGHT/CAN		CEILING FAN
	WALL SCONCE		BUILDING SECTION NUMBER SHEET NUMBER
	SURFACE MOUNTED FIXTURE: C / CHANDELIER		WALL SECTION NUMBER SHEET NUMBER
	SURFACE MOUNTED FIXTURE: P / PENDANT		DETAIL SECTION NUMBER SHEET NUMBER
	GFI OUTLET		DETAIL ENLARGEMENT NUMBER SHEET NUMBER
	120V OUTLET		EXTERIOR ELEVATION NUMBER SHEET NUMBER
	DEDICATED DUPLEX OUTLET		INTERIOR ELEVATION NUMBER SHEET NUMBER
	DEDICATED 220V OUTLET		DUPLEX OUTLET
	DEDICATED 220V OUTLET		3-WAY SWITCH

GENERAL NOTES

- No work shall be started before permit has been issued.
- Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for all dimensions and conditions on the job this office must be notified of any variations from dimensions and conditions shown by these drawings. Shop drawings and submittals to be submitted to the Architect prior to fabrication and installation.
- All interior partitions are dimensioned from finish face to finish face unless otherwise noted. All dimensions marked "hold" or "clear" shall be maintained as indicated.
- Dimensions locating doors are to inside edge of jamb. Door frames to be set 4" adjacent wall unless noted otherwise or dimensioned.
- Large scale drawings take precedence over small scale, details take precedence over all.
- Contractor shall notify Architect in writing of any discrepancies.
- All exterior dimensions are to centerline of openings and outside face of building sheathing.
- Contractor shall coordinate and provide blocking in partitions for all millwork and wall attached items.
- "Typical" or "typ." shall mean that the condition is representative for similar conditions throughout, unless noted otherwise. Details are usually keyed and noted "typ." only once, when they first occur.
- Do not scale drawings.
- All finishes must have a flame spread rating of 200 or less and smoke generation of 450 or less (tenant space only).
- All work shall confirm to the requirements of all local and state codes, local and state codes are to take precedence over the drawings and specifications. If a discrepancy is noted, inform the Architect immediately, before proceeding with the work.
- The Contractor shall verify that drawings are the latest issue prior to commencing construction.
- If Contract Drawings and Specification are at variance with one another on a particular item or items, Contractor shall base his proposal on the better quality or more expensive of the conditions indicated or noted. An item or equipment specified under one trade shall be binding as if specified under all applicable trades.
- All new overhead and under-slab plumbing, ductwork, wiring, etc. shall be tight to the structure above.
- All new plumbing installed outside of the conditioned tenant space shall be insulated, as required.
- Contractor shall provide all materials of best quality of the kind shown or specified and shall perform the work in a perfect and workman like manner according to normal and reasonable practices of the trade.
- Contractor shall visit the site to acquaint themselves with the existing conditions and shall include any and all items of work and materials which are evidently necessary for the work shown. Even though such items may not be expressly shown or specified, in addition contractor shall refer to structural, mechanical and electrical drawings for work that may extend beyond the architectural limit of work.
- Provide blocking as required at all wall hung items (cabinets, shelves, door stops, etc...) in new walls. In existing walls, provide sufficient mounting anchor ages for wall mounted items by securing to existing studs or opening walls as required to install necessary blocking.
- At completion of construction contractor to clean all areas of debris, dirt, dust, etc. and prepare the area for its intended use.
- The Contractor is responsible for filling all voids in walls, ceilings and floors to within 1/2" of each penetration with material to match the adjacent surfaces and/or construction, unless tighter clearance are required by code.

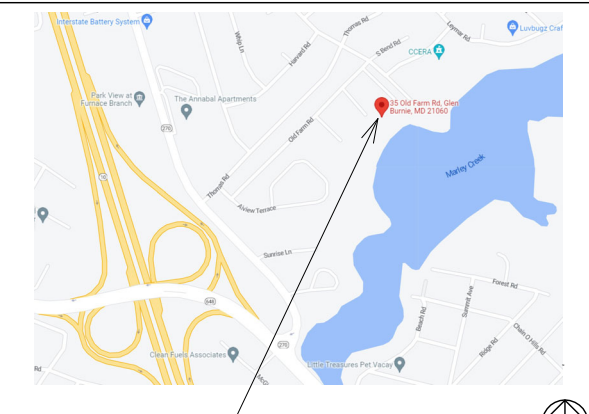
PRESERVATION NOTES

- A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features ad spaces that characterize a property shall be avoided.
- Each property shall be recognized as a physical record of its time, place and use. Changes that recreate a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- Most properties change over time, those changes that have acquired historical significance in their own right shall be retained and preserved.
- Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
- Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and where possible, materials. Replacement of missing features shall be substantiated by documentary physical, or pictorial evidence.
- Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means.
- New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size and architectural features to protect the historic integrity of the property and its environment.

LIST OF DRAWINGS

- GENERAL:**
CS COVER SHEET
- ARCHITECTURAL:**
A001 SITE PLAN
A002 SITE PLAN - EXISTING
A101 FLOOR PLAN - DEMO
A102 FLOOR PLAN
A103 RCP & ELECTRICAL
A201 EXTERIOR ELEVATIONS
A202 EXTERIOR ELEVATIONS
- STRUCTURAL:**
S001 GENERAL NOTES
S002 DESIGN CRITERIA
S101 FRAMING PLAN
S102 FIRST FLOOR & DECK FRAMING
S103 ROOF FRAMING PLAN
S104 STRUCTURAL DETAILS
S105 STRUCTURAL DETAILS
S106 STRUCTURAL DETAILS
S107 STRUCTURAL DETAILS

VICINITY MAP



CONSULTANTS



REVISIONS	
NO.	DATE
	04/26/2023

SHEET TITLE
COVER SHEET

SCALE PROJECT NUMBER
1/8" = 1'-0" Project Number

PROJECT PHASE

SHEET NUMBER

CS

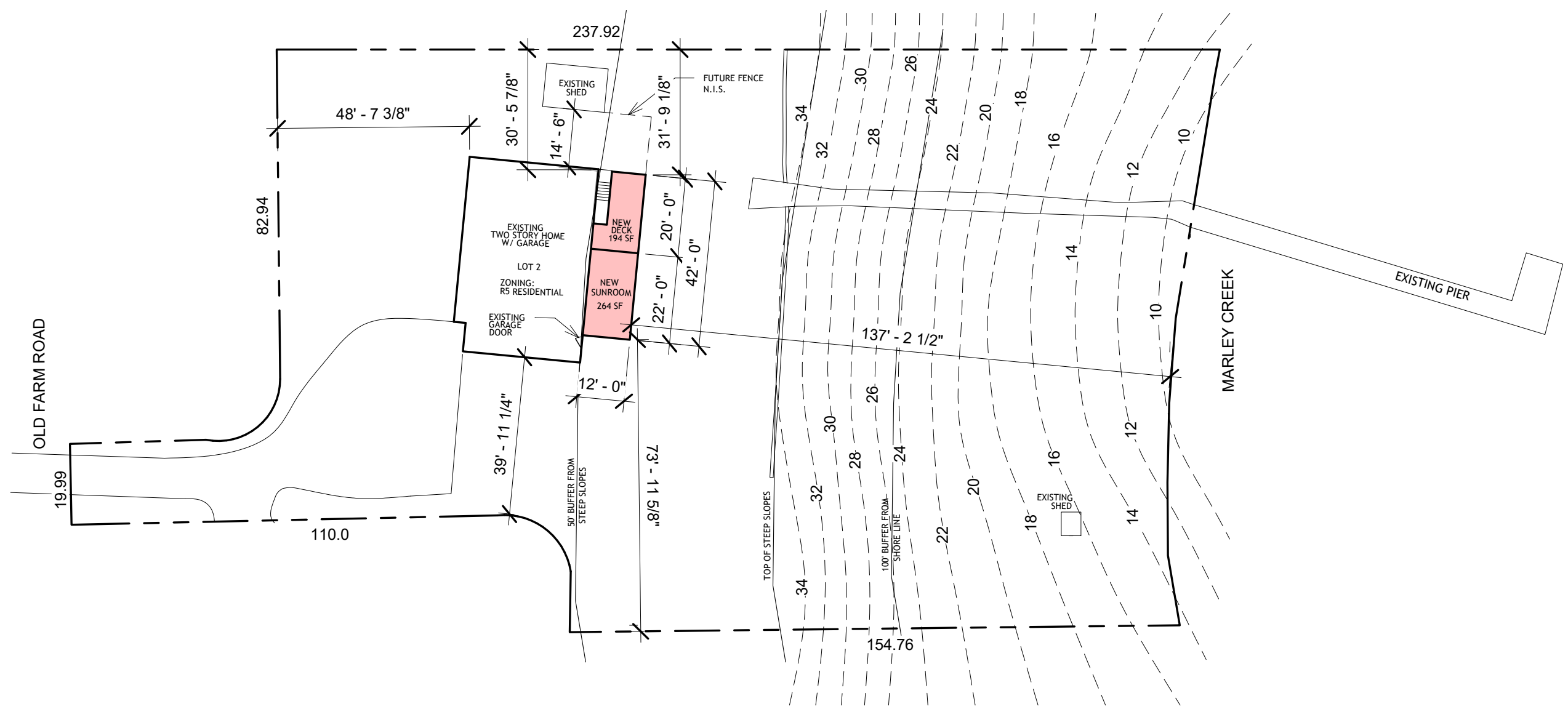
DAVIS RESIDENCE RENOVATION
35 OLD FARM ROAD
GLEN BURNIE, MD 21060

THE INFORMATION ON THIS DRAWING IS THE SOLE PROPERTY OF BYRD DESIGN + BUILD. ANY USE, COPY OF, OR RE-DISTRIBUTION OF THIS INFORMATION IS ILLEGAL, WITHOUT EXPRESSED WRITTEN PERMISSION FROM BYRD DESIGN + BUILD. THIS INFORMATION IS INTENDED FOR DESIGN PURPOSES ONLY, AND MAY NEED TO BE MODIFIED BASED ON VERIFICATION OF CONDITIONS.



BYRD DESIGN + BUILD
6109 Falls Road
Baltimore, MD 21209
443.823.9759 phone

Approval Stamp:



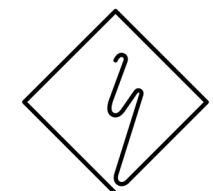
4/26/2023 11:52:09 AM

1 SITE PLAN
1" = 30'-0"

DAVIS RESIDENCE
RENOVATION

35 OLD FARM ROAD
GLEN BURNIE, MD 21060

CONSULTANTS



REVISIONS NO.	DATE
	04/26/2023

SHEET TITLE
SITE PLAN

SCALE PROJECT NUMBER
1" = 30'-0" Project Number

PROJECT PHASE

SHEET NUMBER

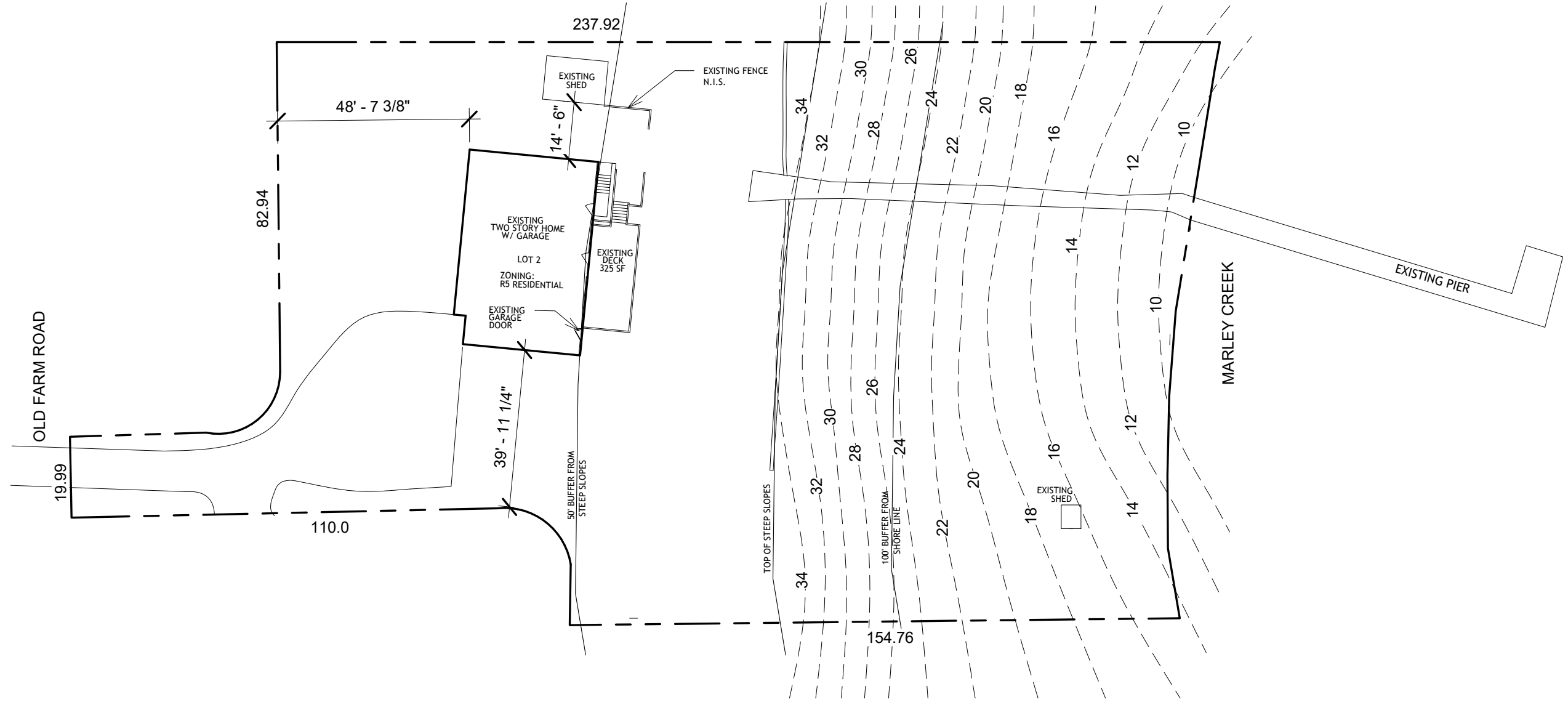
A001

THE INFORMATION ON THIS DRAWING IS THE SOLE PROPERTY OF BYRD DESIGN + BUILD. ANY USE, COPY OF, OR RE-DISTRIBUTION OF THIS INFORMATION IS ILLEGAL, WITHOUT EXPRESSED WRITTEN PERMISSION FROM BYRD DESIGN + BUILD. THIS INFORMATION IS INTENDED FOR DESIGN PURPOSES ONLY, AND MAY NEED TO BE MODIFIED BASED ON VERIFICATION OF CONDITIONS.



BYRD DESIGN + BUILD
6109 Falls Road
Baltimore, MD 21209
443.823.9759 phone

Approval Stamp:



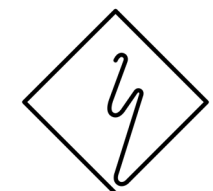
4/26/2023 11:52:09 AM

1 SITE PLAN - EXISTING
1" = 30'-0"

DAVIS RESIDENCE
RENOVATION

35 OLD FARM ROAD
GLEN BURNIE, MD 21060

CONSULTANTS



D Y M O N D

REVISIONS NO.	DATE
	04/26/2023

SHEET TITLE
SITE PLAN - EXISTING

SCALE PROJECT NUMBER
1" = 30'-0" Project Number

PROJECT PHASE

SHEET NUMBER

A002

THE INFORMATION ON THIS DRAWING IS THE SOLE PROPERTY OF BYRD DESIGN + BUILD. ANY USE, COPY OF, OR RE-DISTRIBUTION OF THIS INFORMATION IS ILLEGAL, WITHOUT EXPRESSED WRITTEN PERMISSION FROM BYRD DESIGN + BUILD. THIS INFORMATION IS INTENDED FOR DESIGN PURPOSES ONLY, AND MAY NEED TO BE MODIFIED BASED ON VERIFICATION OF CONDITIONS.

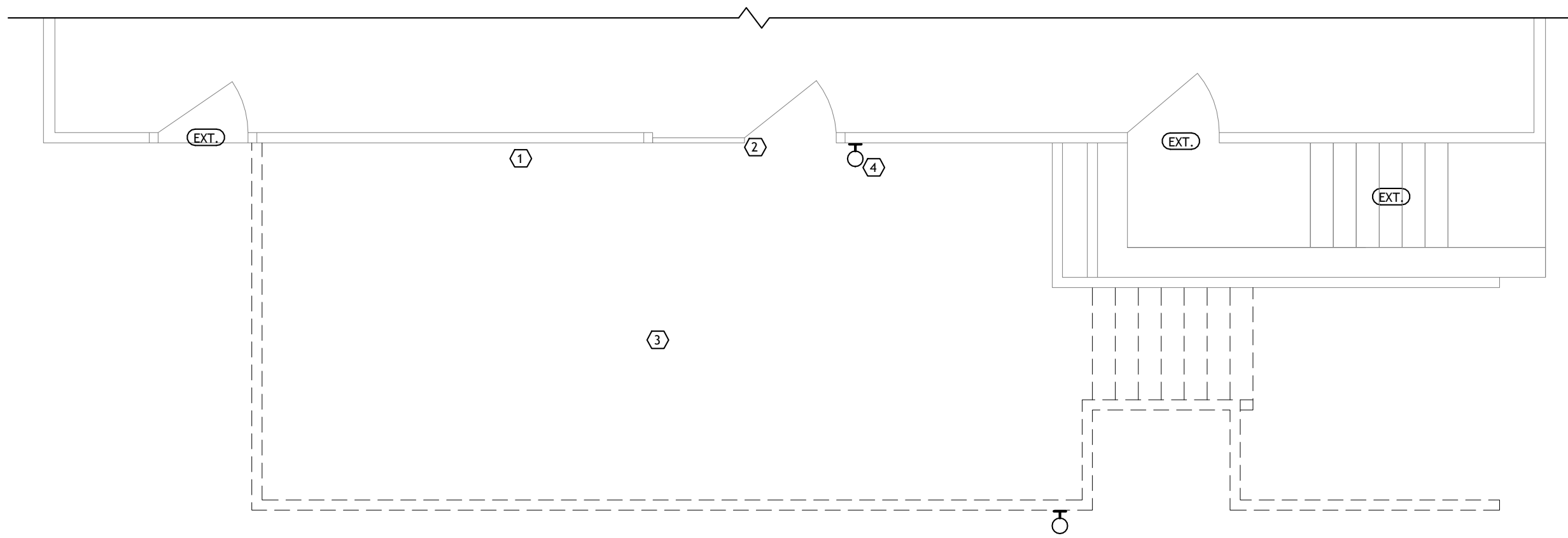


BYRD DESIGN + BUILD
6109 Falls Road
Baltimore, MD 21209
443.823.9759 phone

Approval Stamp:

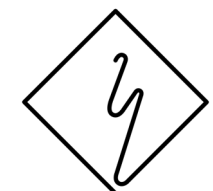
DEMOLITION NOTES:	
①	TRY TO REUSE THE EXISTING SIDING FOR THE NEW EXTERIOR
②	EXISTING DOOR TO REMAIN
③	DEMO EXISTING DECK, STAIRS, RAILING & FOOTERS
④	RELOCATE EXISTING EXTERIOR LIGHT TO NEW EXTERIOR DOOR LOCATION, SEE PROPOSED PLAN

FLOOR PLAN LEGEND	
	EXISTING WALL TO REMAIN
	REMOVE/DEMO
	NEW WALL
①	DEMOLITION KEYNOTE
①	NEW/PROPOSED KEYNOTE
EXT.	EXISTING TO REMAIN



DAVIS RESIDENCE
RENOVATION
35 OLD FARM ROAD
GLEN BURNIE, MD 21060

CONSULTANTS



REVISIONS	
NO.	DATE
	04/26/2023

SHEET TITLE
FLOOR PLAN - DEMO

SCALE PROJECT NUMBER
1/4" = 1'-0" Project Number

PROJECT PHASE

SHEET NUMBER

A101

4/26/2023 11:52:09 AM

① FIRST FLOOR - EXISTING
1/4" = 1'-0"

TREX DECKING
 RAILING ALL BLACK
 DECKING: _____ COLOR: TBD
 FLAT ALUMINUM TOP & BOTTOM RAILS - BLACK
 ROUND VERTICAL BALUSTER - BLACK
 ALUMINUM CROSSOVER POSTS - FRONT SIDE
 TO ATTACH COCKTAIL RAIL

ADD:
 GATE RAIL KIT (ROUND) - # XX36RDADJGATE BK

NEW/PROPOSED NOTES:

- | | |
|--|--|
| ① EXISTING RETAINING WALL BELOW | ⑧ NEW TREX RAILING
BALUSTERS: BLACK ROUND
COLOR: CHARCOAL BLACK
TOP RAIL: COCKTAIL RAIL |
| ② V.I.F. EXISTING STAIR TO BASEMENT | ⑨ PLYWOOD SUBFLOOR, FINISH TBD |
| ③ TRY TO REUSE THE EXISTING SIDING FOR NEW EXTERIOR | ⑩ NEW TREX SELECT DECKING |
| ④ EXISTING EXTERIOR DOOR TO REMAIN | ⑪ NEW SIDING TO MATCH EXISTING
CERTAINTED MONOGRAM D4, STRAIGHT PANEL
COLOR: PACIFIC BLUE |
| ⑤ NEW VINYL LATTICE W/ MULTIPLE HINGED DOORS
TREX LATTICE WORKS, PATTERN: PRIVACY DIAMOND
COLOR: WHITE | ⑫ NEW INTERIOR WALL MATERIAL: DRYWALL ON FRONT
WALL & SIDE WALLS, KITCHEN WALL: DRYWALL ON
PLYWOOD BACKUP. |
| ⑥ SLIDING GLASS DOOR | ⑬ NEW HOME GUARD INNOVATION WINDOWS TO MATCH
EXISTING WINDOWS EXACTLY |
| ⑦ NEW GATE TO MATCH RAILING | |

FLOOR PLAN LEGEND

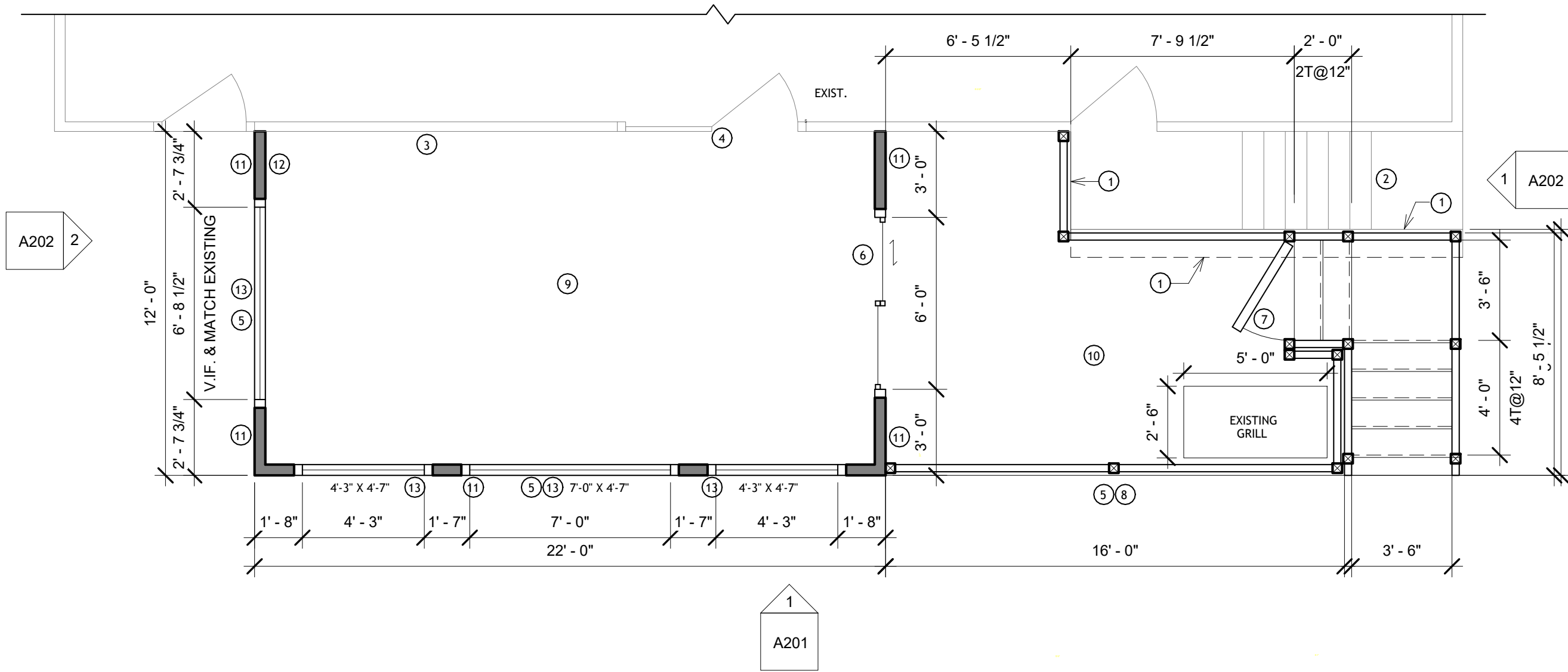
- | | |
|--|-------------------------|
| | EXISTING WALL TO REMAIN |
| | REMOVE/DEMO |
| | NEW WALL |
| | DEMOLITION KEYNOTE |
| | NEW/PROPOSED KEYNOTE |
| | EXISTING TO REMAIN |

THE INFORMATION ON THIS DRAWING IS THE
 SOLE PROPERTY OF BYRD DESIGN + BUILD.
 ANY USE, COPY OF, OR RE-DISTRIBUTION OF
 THIS INFORMATION IS ILLEGAL, WITHOUT
 EXPRESSED WRITTEN PERMISSION FROM
 BYRD DESIGN + BUILD. THIS INFORMATION IS
 INTENDED FOR DESIGN PURPOSES ONLY,
 AND MAY NEED TO BE MODIFIED BASED ON
 VERIFICATION OF CONDITIONS.



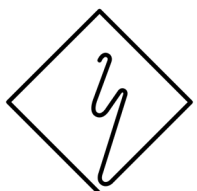
BYRD DESIGN + BUILD
 6109 Falls Road
 Baltimore, MD 21209
 443.823.9759 phone

Approval Stamp:



DAVIS RESIDENCE
 RENOVATION
 35 OLD FARM ROAD
 GLEN BURNIE, MD 21060

CONSULTANTS



REVISIONS NO.	DATE
	04/26/2023

SHEET TITLE
 FLOOR PLAN

SCALE PROJECT NUMBER
 1/4" = 1'-0" Project Number

PROJECT PHASE

SHEET NUMBER

A102

4/26/2023 11:52:10 AM

① FIRST FLOOR
 1/4" = 1'-0"

THE INFORMATION ON THIS DRAWING IS THE SOLE PROPERTY OF BYRD DESIGN + BUILD. ANY USE, COPY OF, OR RE-DISTRIBUTION OF THIS INFORMATION IS ILLEGAL, WITHOUT EXPRESSED WRITTEN PERMISSION FROM BYRD DESIGN + BUILD. THIS INFORMATION IS INTENDED FOR DESIGN PURPOSES ONLY, AND MAY NEED TO BE MODIFIED BASED ON VERIFICATION OF CONDITIONS.

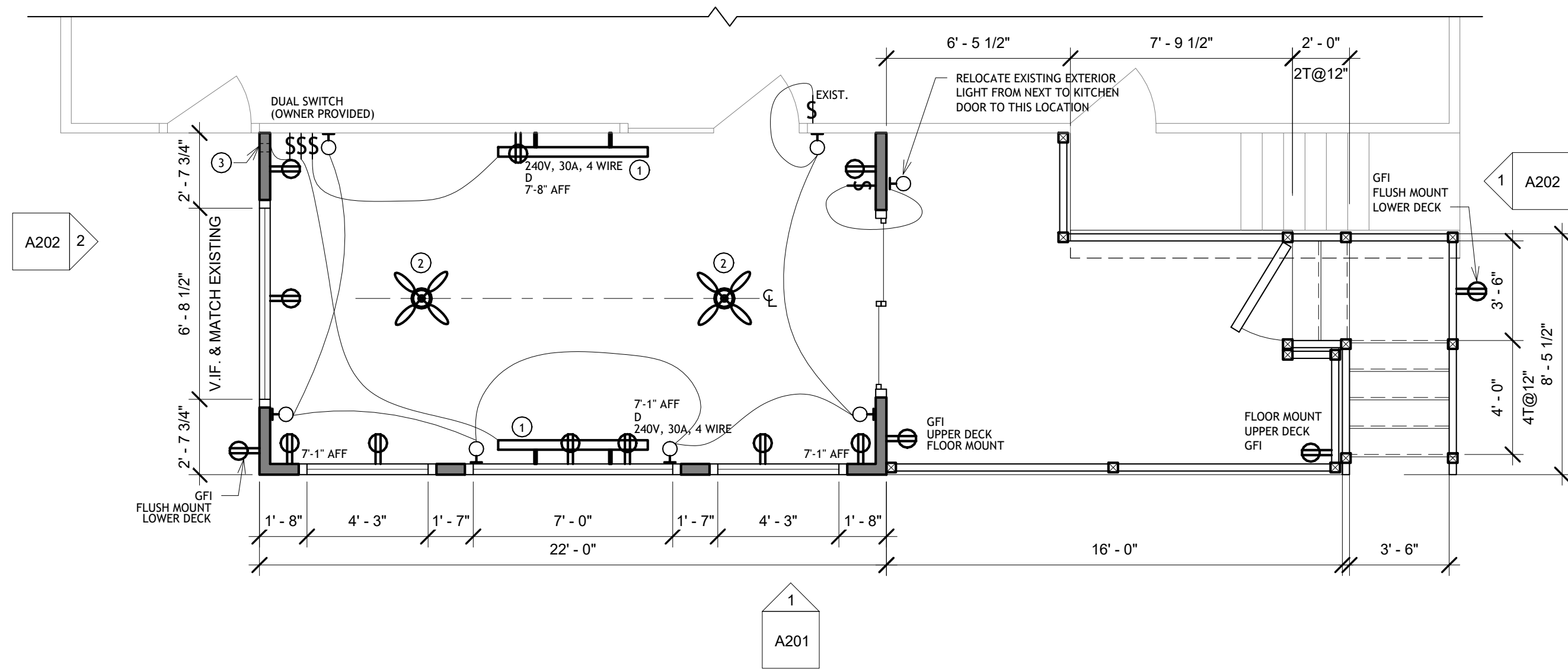


BYRD DESIGN + BUILD
6109 Falls Road
Baltimore, MD 21209
443.823.9759 phone
Approval Stamp:

ELECTRICAL LEGEND	
	WALL SCONCE
	SWITCH
	GFI OUTLET
	DEDICATED 240V OUTLET 30 AMP, 4 WIRE
	DUPLEX OUTLET
	CEILING FAN

- ELECTRICAL NOTES:**
- NEW INFRAHECH SLIMLINE PATIO HEATER #SL3024BL, MOUNTED HIGH ON WALL, OWNER TO BUY
 - NEW CEILING FANS, OWNER TO PURCHASE HARDWIRED W/ REMOTE, NO SWITCH NEEDED
 - WALL MOUNTED EXHAUST FAN (OWNER PROVIDED)

FLOOR PLAN LEGEND	
	EXISTING WALL TO REMAIN
	REMOVE/DEMO
	NEW WALL
	DEMOLITION KEYNOTE
	NEW/PROPOSED KEYNOTE
	EXISTING TO REMAIN



DAVIS RESIDENCE
RENOVATION
35 OLD FARM ROAD
GLEN BURNIE, MD 21060

CONSULTANTS



REVISIONS NO.	DATE
	04/26/2023

SHEET TITLE
REFLECTED CEILING PLAN & ELECTRICAL
SCALE PROJECT NUMBER
1/4" = 1'-0" Project Number
PROJECT PHASE

SHEET NUMBER

A103

4/26/2023 11:52:10 AM

1 FIRST FLOOR RCP
1/4" = 1'-0"

THE INFORMATION ON THIS DRAWING IS THE SOLE PROPERTY OF BYRD DESIGN + BUILD. ANY USE, COPY OF, OR RE-DISTRIBUTION OF THIS INFORMATION IS ILLEGAL, WITHOUT EXPRESSED WRITTEN PERMISSION FROM BYRD DESIGN + BUILD. THIS INFORMATION IS INTENDED FOR DESIGN PURPOSES ONLY, AND MAY NEED TO BE MODIFIED BASED ON VERIFICATION OF CONDITIONS.

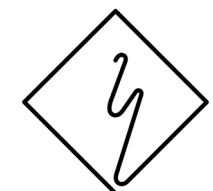


BYRD DESIGN + BUILD
6109 Falls Road
Baltimore, MD 21209
443.823.9759 phone

Approval Stamp:

DAVIS RESIDENCE
RENOVATION
35 OLD FARM ROAD
GLEN BURNIE, MD 21060

CONSULTANTS



REVISIONS	
NO.	DATE
	04/26/2023

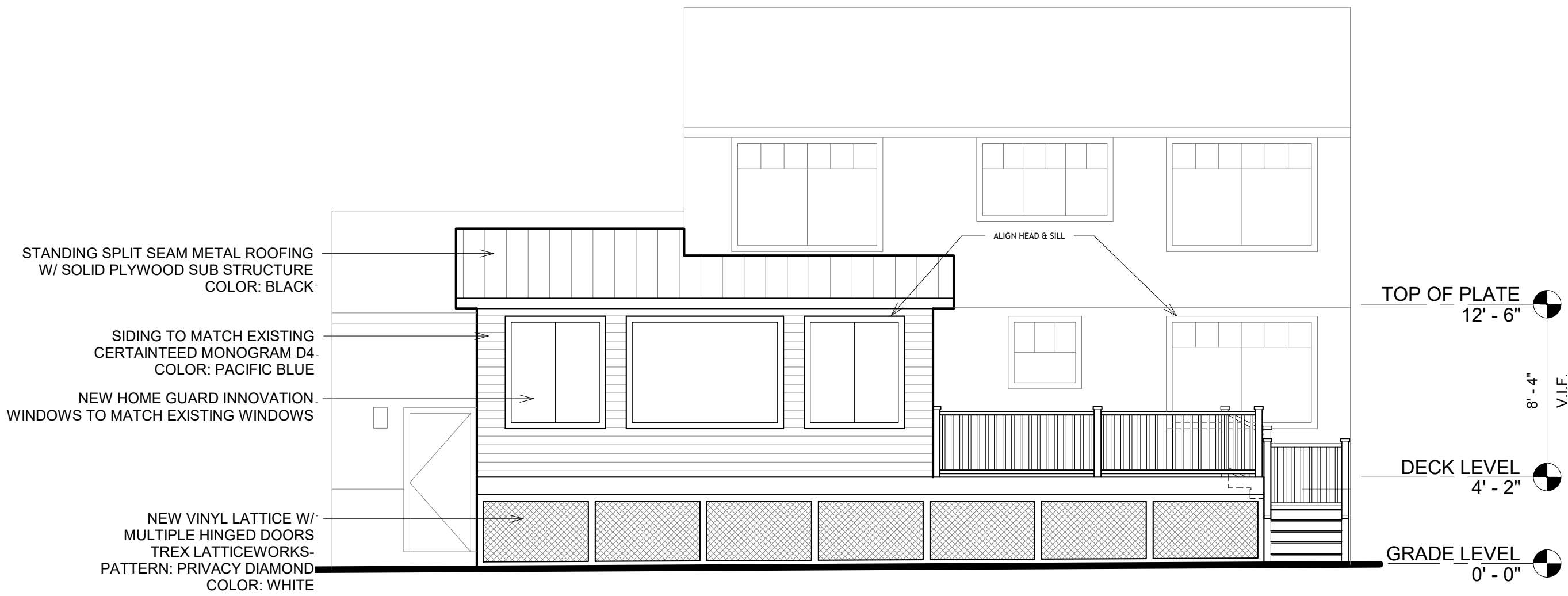
SHEET TITLE
EXTERIOR ELEVATIONS

SCALE PROJECT NUMBER
3/16" = 1'-0" Project Number

PROJECT PHASE

SHEET NUMBER

A201



1 REAR ELEVATION
3/16" = 1'-0"

4/26/2023 11:52:11 AM

THE INFORMATION ON THIS DRAWING IS THE SOLE PROPERTY OF BYRD DESIGN + BUILD. ANY USE, COPY OF, OR RE-DISTRIBUTION OF THIS INFORMATION IS ILLEGAL, WITHOUT EXPRESSED WRITTEN PERMISSION FROM BYRD DESIGN + BUILD. THIS INFORMATION IS INTENDED FOR DESIGN PURPOSES ONLY, AND MAY NEED TO BE MODIFIED BASED ON VERIFICATION OF CONDITIONS.



BYRD DESIGN + BUILD
6109 Falls Road
Baltimore, MD 21209
443.823.9759 phone
Approval Stamp:

DAVIS RESIDENCE
RENOVATION
35 OLD FARM ROAD
GLEN BURNIE, MD 21060

CONSULTANTS



REVISIONS NO.	DATE
	04/26/2023

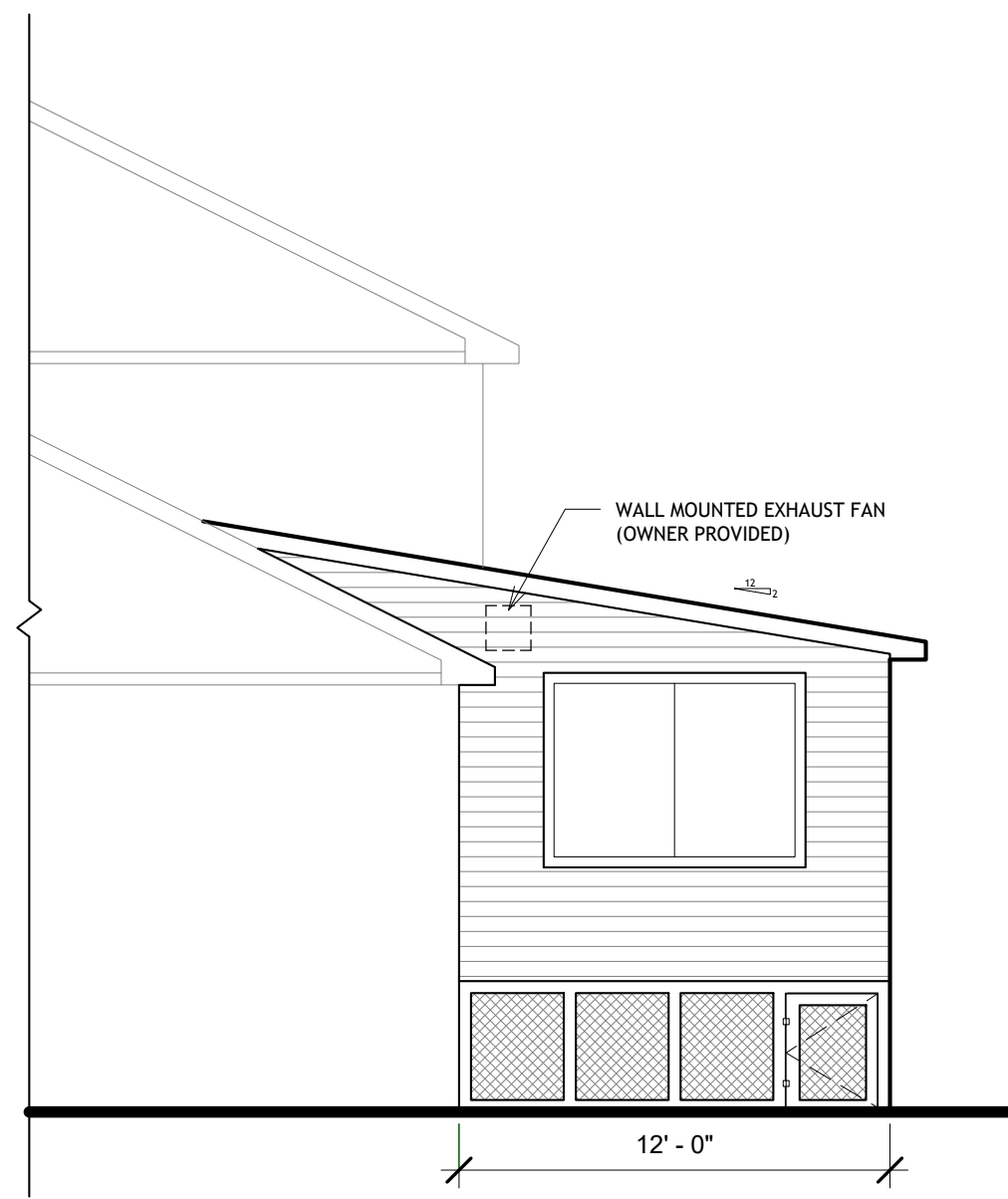
SHEET TITLE
EXTERIOR ELEVATIONS

SCALE PROJECT NUMBER
3/16" = 1'-0" Project Number

PROJECT PHASE

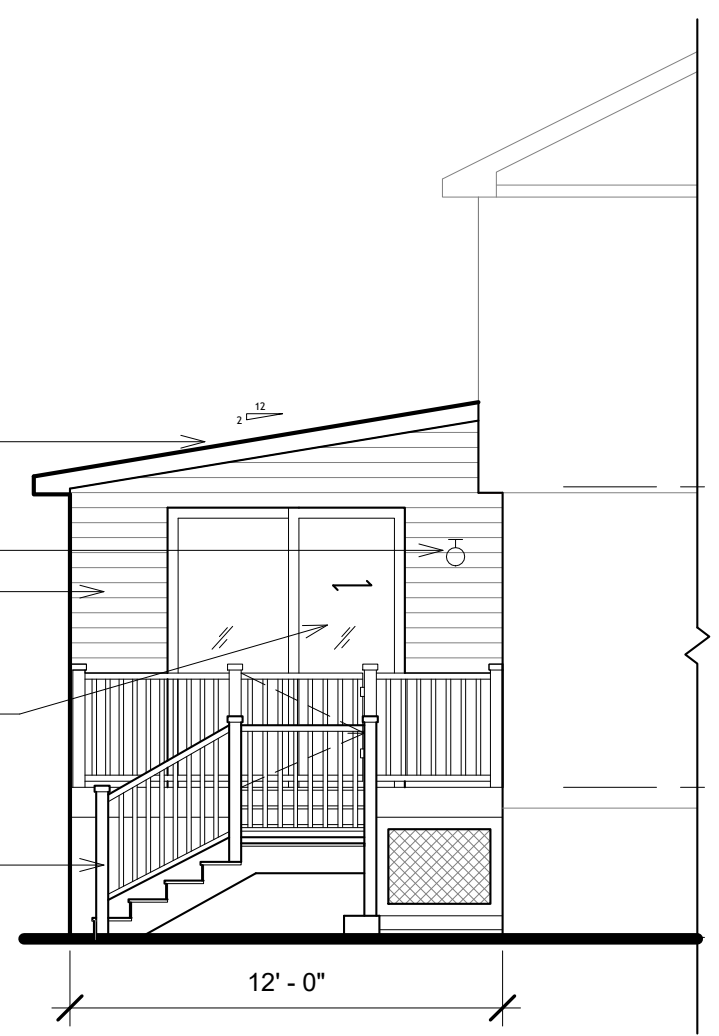
SHEET NUMBER

A202



2 LEFT ELEVATION
3/16" = 1'-0"

- STANDING SPLIT SEAM METAL ROOFING
W/ SOLID PLYWOOD SUB STRUCTURE
COLOR: BLACK
- RELOCATED EXISTING SCNCE
SIDING TO MATCH EXISTING
CERTAINTED MONOGRAM D4
COLOR: PACIFIC BLUE
- SLIDING GLASS DOOR
- NEW TREX ALUMINUM RAILING
RAIL TOP: COCKTAIL TOP
BALUSTERS: ROUND ALUMINUM
COLOR: BLACK



1 RIGHT ELEVATION
3/16" = 1'-0"

4/26/2023 11:52:11 AM



Jennifer Esposito -DNR- <jennifer.esposito@maryland.gov>

CAC Comments re: Whipple 2023-0077-V REVISED, and 2023-0115-V Wloczewski

Jennifer Esposito <jennifer.esposito@maryland.gov>

Thu, Jul 13, 2023 at 4:42 PM

To: Kelly Krinetz <pzkryn00@aacounty.org>, Sara Anzelmo <pzanze99@aacounty.org>, "Donald Dyott Jr." <pzdyot22@aacounty.org>, Joan Jenkins <pzjenk00@aacounty.org>, Rob Konowal <pzkono00@aacounty.org>, Bonnie Tucker <pztuck00@aacounty.org>, Sumner Handy <pzhand00@aacounty.org>, Charlotte Shearin -DNR- <charlotte.shearin@maryland.gov>, Sterling Seay <pzseay16@aacounty.org>, Michael Day <mday@aacounty.org>, Sadé Medina <pzmedi22@aacounty.org>

Good morning,

The Critical Area Commission has reviewed the following variances and we provide the following comments:

- 2023-0077-V; Whipple (AA 181-23): This office is in receipt of revised plans that removed the proposal to repair and expand an existing patio. Based on the revised plans, should the Administrative Hearing Officer find that each and every one of the Critical Area variance standards have been met, appropriate mitigation is required.
- 2023-0115-V; Wloczewski (AA 238-23): Provided that the Administrative Hearing Officer finds that each and every one of the Critical Area variance standards have been met, appropriate mitigation is required.

I wanted to submit my comments for Whipple via email, but I will also submit my comments for Wloczewski in the Accel portal.



 facebook_logo.jpg

 twitter_logo.jpg

dnr.maryland.gov/criticalarea

Jennifer Esposito

Critical Area Commission for the
Chesapeake & Atlantic Coastal Bays

1804 West Street, Suite 100

Annapolis, MD 21401

Office: 410-260-3468

(In office: Mon., Wed., Friday)

Cell: 443-569-1361

(Teleworking: Tues., Thurs.)

jennifer.esposito@maryland.gov