

For Office Use Only

CASE # _____
FEE PAID _____
DATE _____



For Office Use Only

ZONE _____
CRITICAL AREA: IDA ___ LDA ___ RCA ___
BMA: Yes ___ No ___
NO. OF SIGNS _____

VARIANCE APPLICATION

NOTE: This form can be downloaded to your computer and filled out utilizing Adobe Reader (or similar product). It can also be printed and filled out by hand.

Applicant(s): Capital Site Lighting LLC.

(Applicant must have a financial, contractual, or proprietary interest in the property)

Property Address: 424 George Clause Blvd. Severn MD. 21144

Property Location: 499 feet of frontage on the (S) side of _____
_____ feet (N, S, E, W) of (Nearest intersecting street) Quarter Way & George Class Blvd.

12-digit Tax Account Number 457790229381 Tax District (7) Council District (_____)

Waterfront Lot: Y N Corner Lot: Y N Deed Title Reference 46909/00107

Zoning District 04 Lot # T11 Tax Map 15 Block/Grid 0004 Parcel 0506

Area 136,591 (Sq Ft.) Subdivision Name 0744

Description of Proposed Project and Variance Requested (Brief, detail fully in letter of explanation)

Sams club in Severn is updating their signage to led, decreasing total sq footage from existing signage.

The applicant hereby certifies that he or she has a financial, contractual, or proprietary interest in the property; that he or she is authorized to make this application; that the information shown on this application is correct; and that he or she will comply with all applicable regulations of Anne Arundel County, Maryland.

Applicant's Signature [Signature] Owner's Signature [Signature]

Print Name Penela Chrysovergia Print Name Brett Guy

Mailing Address 5805 Elkins street Mailing Address 175 Industrial Cochran Dr. Ste 1

City, State, Zip Glen Burnie, MD. 21061 City, State, Zip Annapolis, MD 21403

Work Phone 443-805-4630 Work Phone _____

Home Phone _____ Home Phone _____

Cell Phone 443-805-4649 Cell Phone 201 926-2546

Email Address capitalsitelighting@gmail.com Email Address BGuy@caplcy.com

*** Below For Office Use Only ***

Application accepted by Anne Arundel County Office of Planning and Zoning: _____
Initials _____ Date _____

Variance to _____

Please find Letter of explanation and justification for:

Sam's Club

424 George Clauss Blvd.

Severn, MD. 21144

Variance Request for Rebranding building signage.

Per article 18-3-308 (b)(2). Variance request to this article includes:

Main front entrance Sam's Club <> Horizontal logo (1) A2.1

Sam's Club is proposing White acrylic channel lettering internally illuminated with led lighting, total area of signage, including BLUE paint and area that projects above the roof line is 798 SF. We are requesting a variance due to SQFT. exceeding 200 SF allowance . The height of the parapet that exceeds the roof line is 4 x 4 x 4.4', 176 SF, this portion of the signage is only paint estimated at 8 lbs. for this area and will have no mechanical effects on the building, Fasteners used will not be breaching the parapet, therefore we are asking for a variance for this signage installation.

Side elevation secondary signage logo (2) A2.1

Sam's club is proposing a stacked logo on the right-side elevation building, total area of proposed signage is 319 SF, acrylic white non-illuminated lettering reading "SAM'S CLUB<>", total area of lettering is measured at 6'-4" width X 10' height. Equal to 64 SF. The fasteners will not be exceeding the parapet. With the total area of proposed signage at 319 SF. We are asking for a variance for this signage installation due to exceeding 200 SF area of signage.

Side Elevation Secondary signage logo (2) A2.1.

Sam's Club is proposing on the Left Side Elevation of the building total area of signage @ 319 SF. Non- Illuminated Vinyl lettering reading" SAM'S Club <>" measuring at. 6'-4" Width X 10" Height @ 64 SF. The remainder of signage SF is paint. Due to the end lot location and positioning in relation to traffic we are asking for a variance for additional signage of this façade that also exceeds the 400 SF area allowance.

Pharmacy logo (2)A2.1

Sam's Club is proposing pharmacy secondary signage to the right of the main entrance front elevation. Total signage SF. Is 8.94, this would be in addition to 798 SF from the main front logo, stacked logo (2), @ 838 SF and Loading area (5) @ 95 SF. Due to exceeding 400 SF. On the Front elevation, and total number of signage we are asking for a variance to allow an additional identification sign on the front main entrance to read "PHARMACY".

Loading area secondary signage (5) A2.1

Sam's Club is proposing signage reading **LOADING ZONE** to the left of the main entrance on the front elevation that continues to the side elevation, this area identifies a safe place for customers to load their pickings into their vehicles safely. This is a non-illuminating identification secondary signage that contributes to exceeding the allowed total area of signage OF 400 SF. In addition to **PHARMACY**, And Secondary Stacked Logo we are asking for a variance to add this additional signage to the left of the main entrance of the building to identify and read "LOADING AREA".

Tire Installation secondary signage (6) A2.1

Sam's Club is proposing to replace logo located on the right-side elevation lettering is non illuminated acrylic @ 8.94 SF. This is and identification sign for services offered to perspective customers for Tire Installation, we are asking for a variance to replace this sign on an additional facade of the building.

Total area of signage removed from 424 George Clauss Blvd. was 395.04 SF. This did not include any integral part of the background, IE paint behind the lettering logos. Article states color conforming is an interictal part of signage to the building structure, for this structure the main entrance wall the exceeds the roof line is painted blue, total is to the main entrance signage is 798 SF, total area of side elevation #2 secondary signage is 838 SF. Add in the welcome, Exit, tire Installation, Pharmacy, and address label, including the integral part of the blue paint is 1,560.19. SF.

Regarding the Deed and ownership at 424 Quarter field rd. the DEED states BL QUARTERFIELD, LLC, ITS SUCCESSORS AND ASSIGNED IN FEE SIMPLE. SIGNED BY Thomas I. Baldwin, President, Quarterfield Partners LLC SECOND ADDENDUM TO OPERATING AGREEMENT SIGNED BY BRETT GUY, GARY KOCH, AND DAVID LEWIS. PROVIDED, AS WELL AS OSPREY PROPERTY COMPANY LLC, Actions of the Executive Committee, Grant to the Chief Executive Officer the powers authority as enumerated in the Osprey Property Company LLC Operating Agreement Dated January 1, 2003, allows Mr. Brett Guy to give sign the application, with Capital Site Lighting application for variance @ 424 Quarterfield Rd. Sever MD. 21144.

Sam's Club corporate requires this blue color in paint background as part of their corporate image worldwide, and requires consistency in the corporate brand image, without this variance approval Sam's Club at 424 George Clauss V|Blvd, would not meet the corporate compliance requirement. Additionally, Lowes home improvement and Walmart that are in the same shopping centers have very similar painting and signage Sq Ft overage allowances in place. Allowing this variance approval will allow Sam's Club to not only meet corporate branding standards for Sam's Club but would allow them to present their business Logos in a similar fashion.

Respectfully,


Pamela Chrysovergis

Capital Site Lighting LLC

Applicant/ Signage Installation Owner

443-805-4649.

o o o o

#4771 SEVERN MD

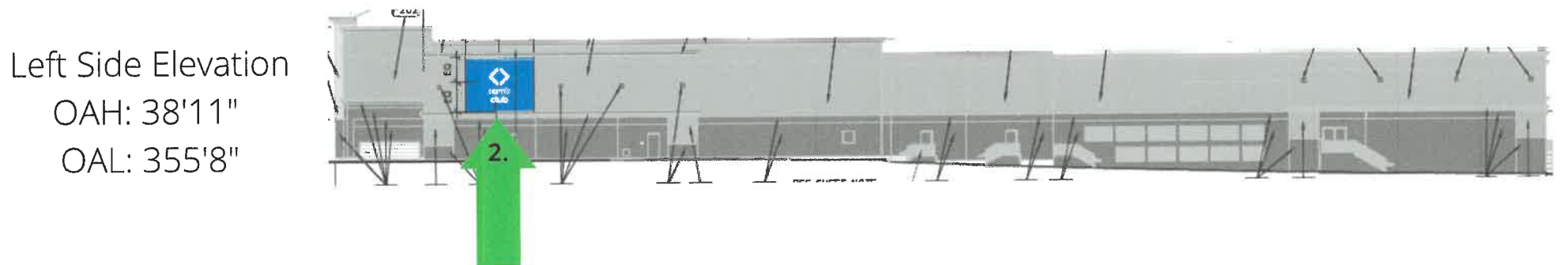
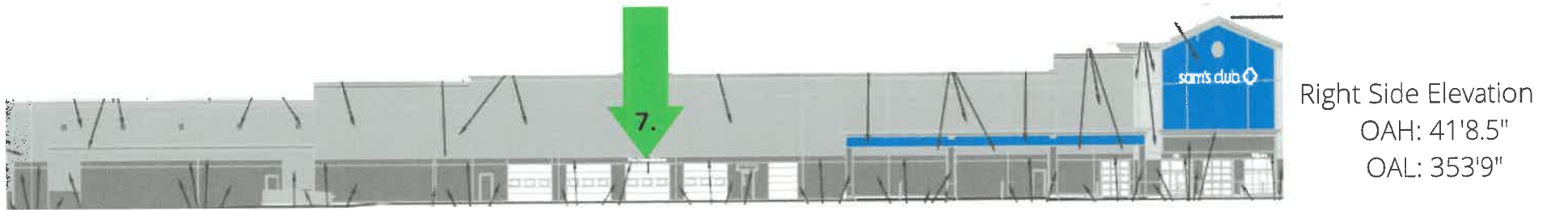
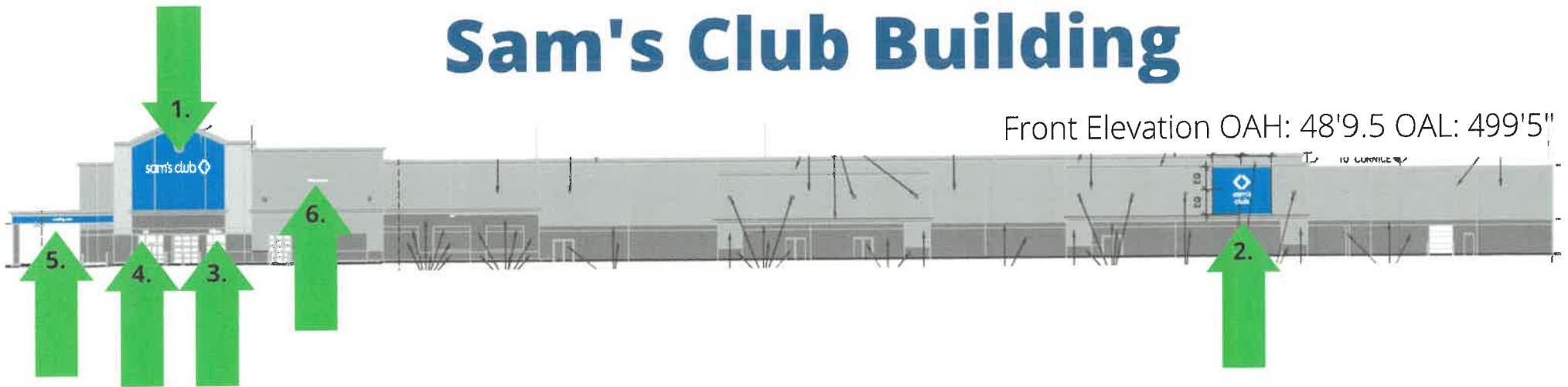
Proposed pages: 2-14

Existing Pages 15-24

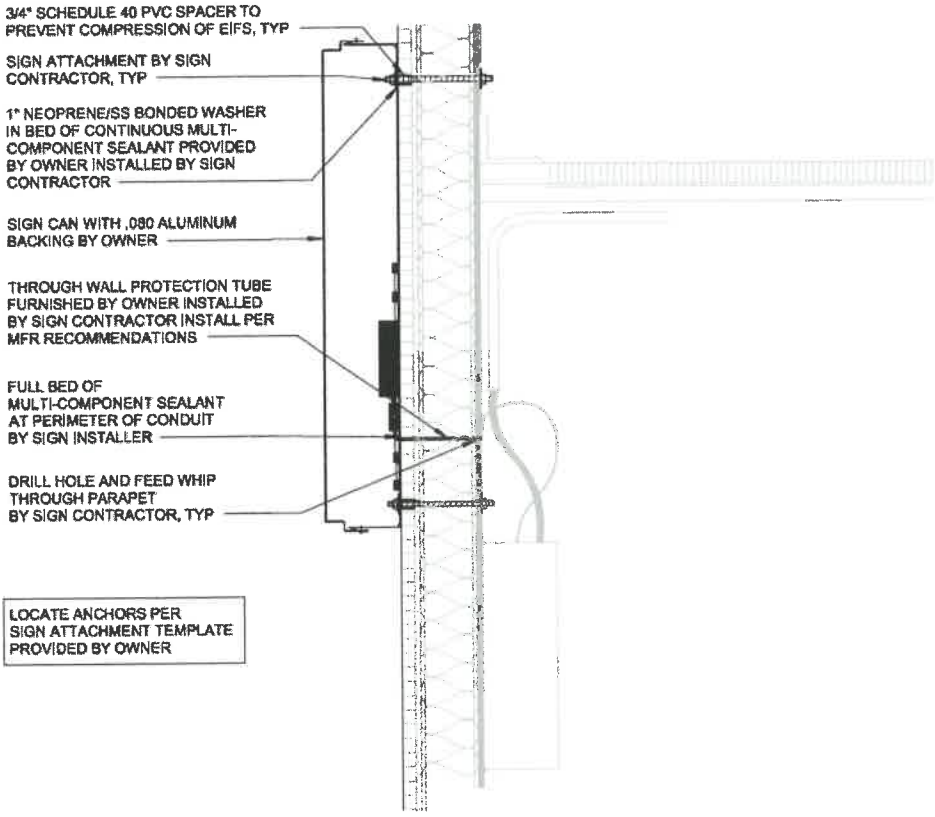
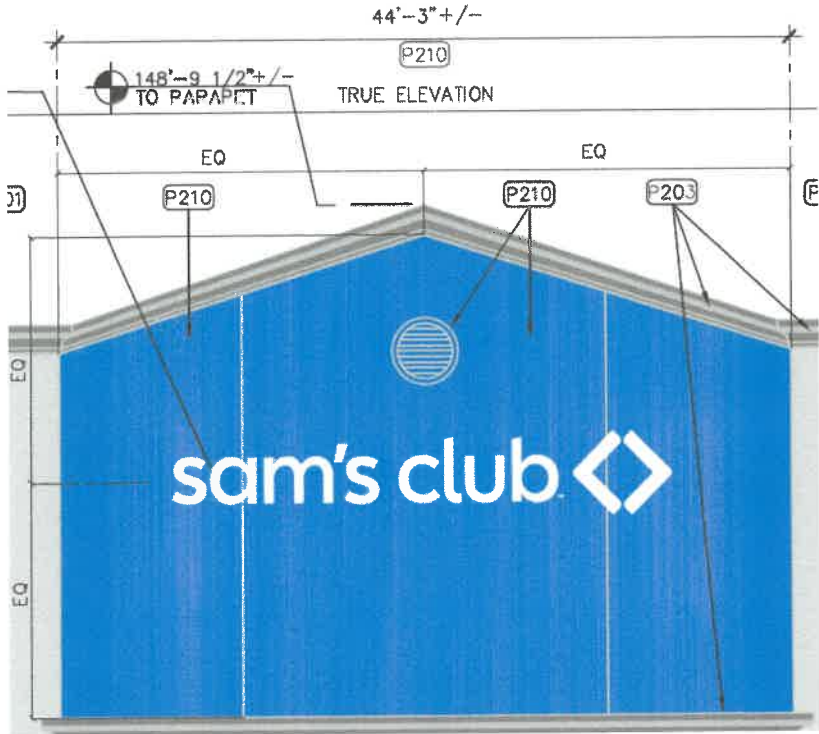
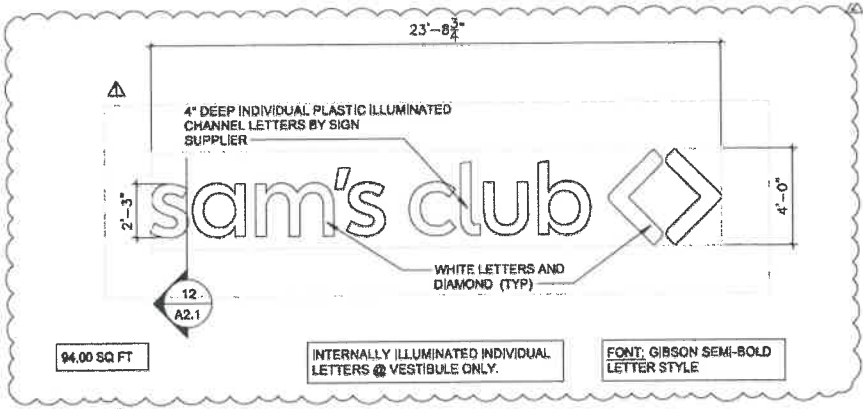
**SAM'S CLUB
REBRAND**



Sam's Club Building

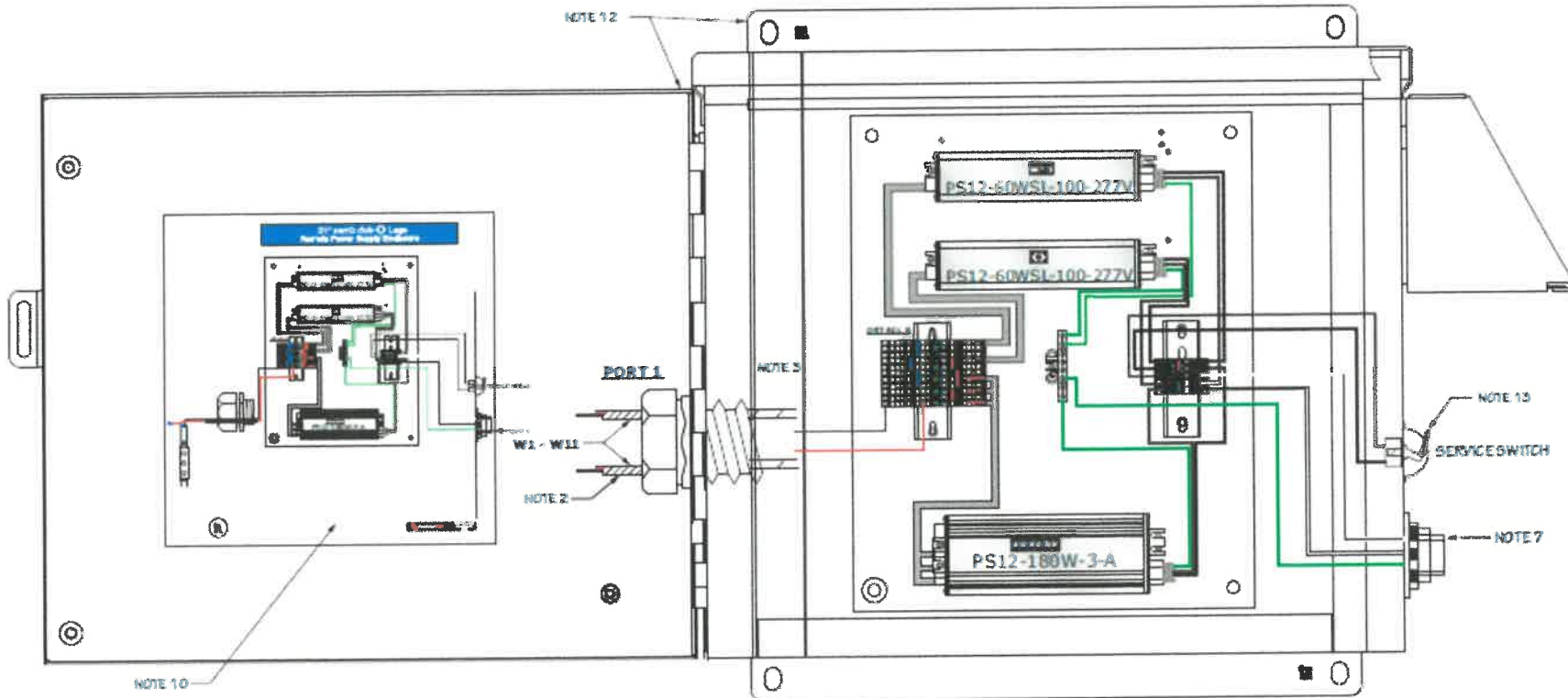


#1 - Sam's Club Main ID

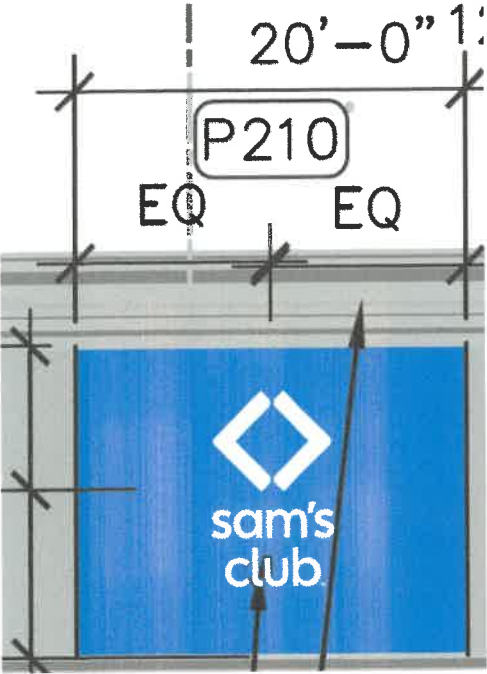


Illuminated - connect to existing electrical

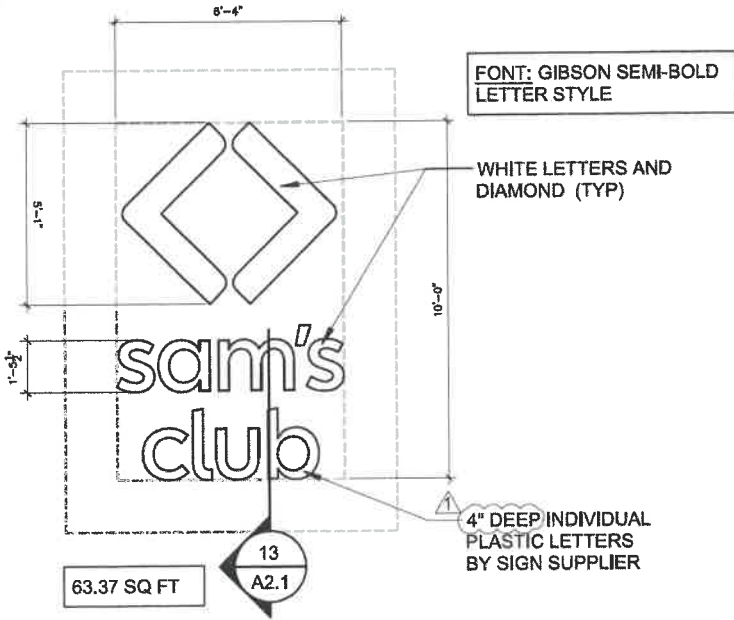
#1 - Sam's Club Main ID - electrical



#2 - Sam's Club Secondary Stacked (Qty 2 - Front & Left elevation)



Non-Illuminated



MOUNTING HOLE PATTERNS FOR NON-ILLUMINATED SIGN INSTALLATION PROVIDED BY OWNER

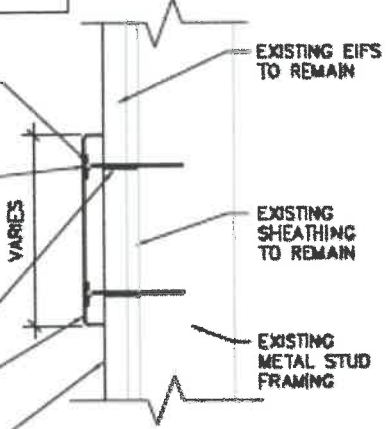
PLASTIC MOUNT FOR ALL-THREAD STUD BY SIGN SUPPLIER

INSTALL 1/8" DIA ALL-THREAD STUDS INTO PLASTIC MOUNTS PRIOR TO SIGN INSTALLATION BY SIGN INSTALLER

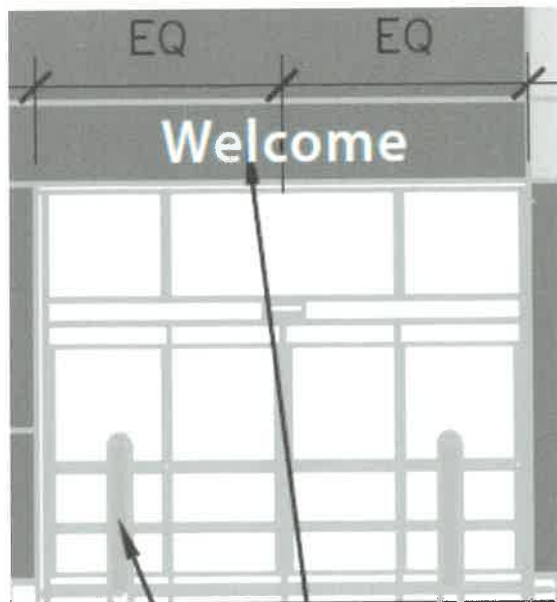
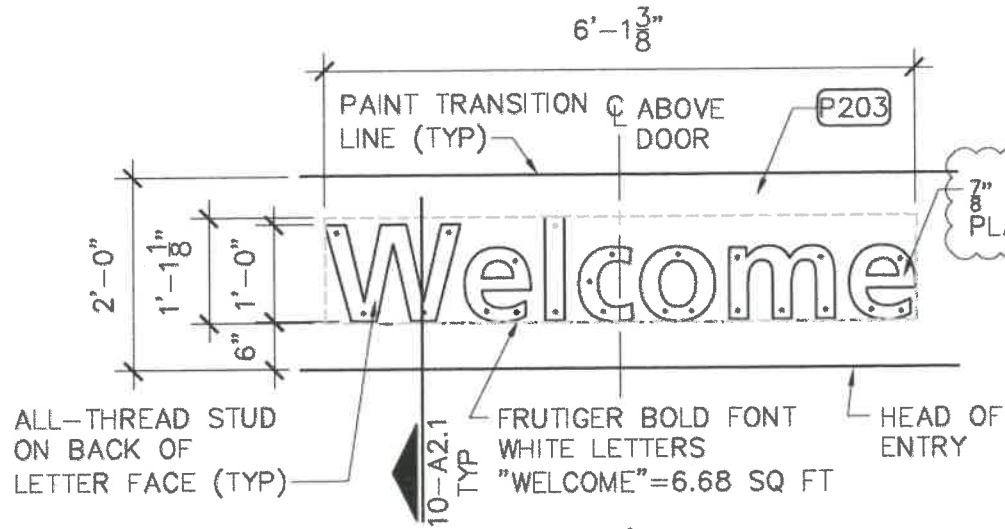
3/8" DIA HOLE FILLED WITH ADHESIVE SEALANT. COAT ALL-THREAD STUD WITH ADHESIVE SEALANT PRIOR TO WALL ATTACHMENT BY SIGN INSTALLER

PLASTIC NON-ILLUMINATED CHANNEL LETTER BY SIGN SUPPLIER
RESURFACE EIFS. REF ELEVATION(S) FOR EXTENTS

"ADHESIVE SEALANT" IS TO BE PRODUCT LN-950 BY LIQUID NAILS OR SIMILAR POLYURETHANE CONSTRUCTION ADHESIVE, MEETING ASTM D3498 AND C557 STANDARDS, EXTERIOR APPLICATION, WEATHER RESISTANT, LOW VOC, WITH A MINIMUM SHEAR STRENGTH OF 250 PSI



#3 - Welcome



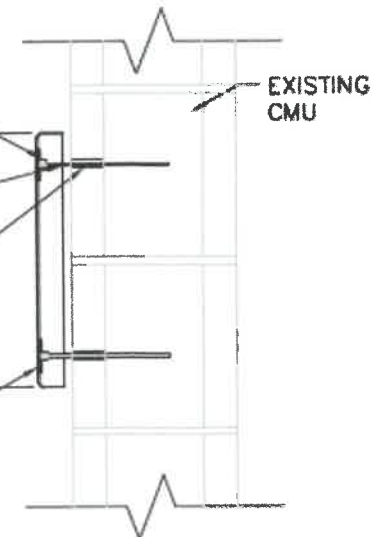
MOUNTING HOLE PATTERNS FOR NON-ILLUMINATED SIGN INSTALLATION PROVIDED BY OWNER

PLASTIC MOUNT FOR ALL-THREAD STUD BY SIGN SUPPLIER

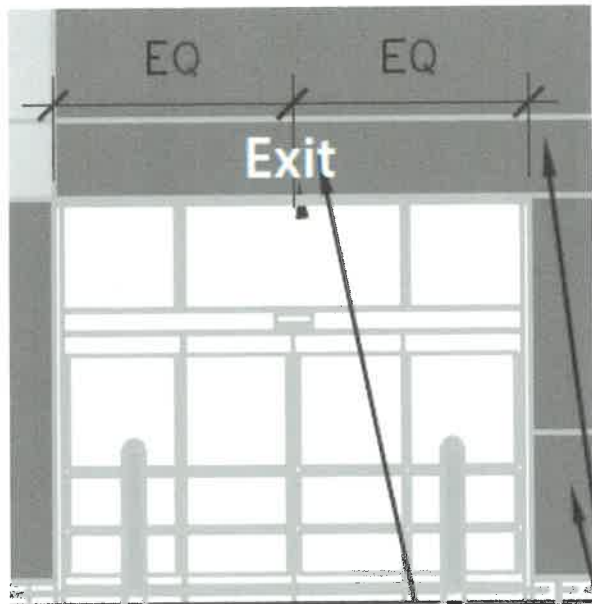
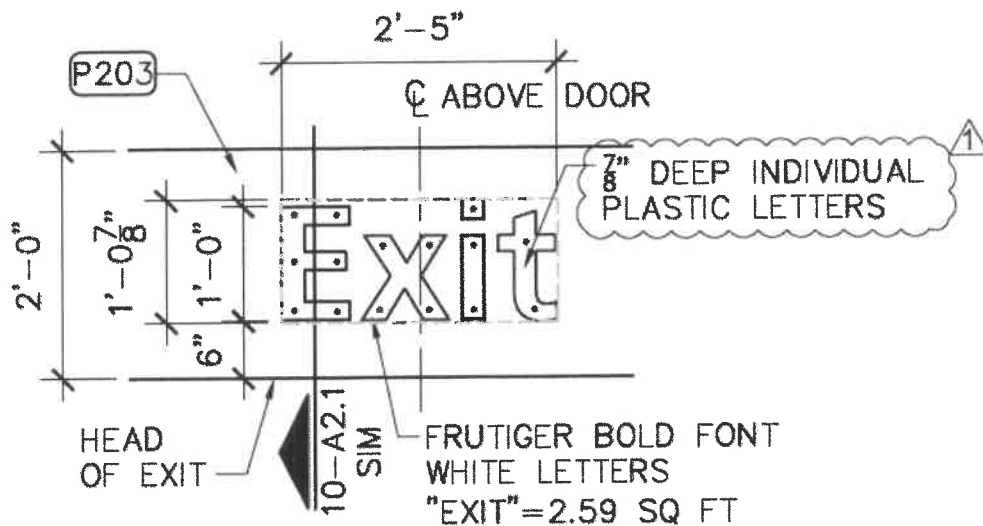
INSTALL 1/8" DIA ALL-THREAD STUDS INTO PLASTIC MOUNTS PRIOR TO SIGN INSTALLATION BY SIGN INSTALLER

3/8" DIA HOLE FILLED WITH ADHESIVE SEALANT. COAT ALL-THREAD STUD WITH ADHESIVE SEALANT PRIOR TO WALL ATTACHMENT BY SIGN INSTALLER

PLASTIC NON-ILLUMINATED CHANNEL LETTER BY SIGNAGE SUPPLIER



"ADHESIVE SEALANT" IS TO BE PRODUCT LN-950 BY LIQUID NAILS OR SIMILAR POLYURETHANE CONSTRUCTION ADHESIVE, MEETING ASTM D3498 AND C557 STANDARDS, EXTERIOR APPLICATION, WEATHER RESISTANT, LOW VOC, WITH A MINIMUM SHEAR STRENGTH OF 250 PSI



#4 - Exit

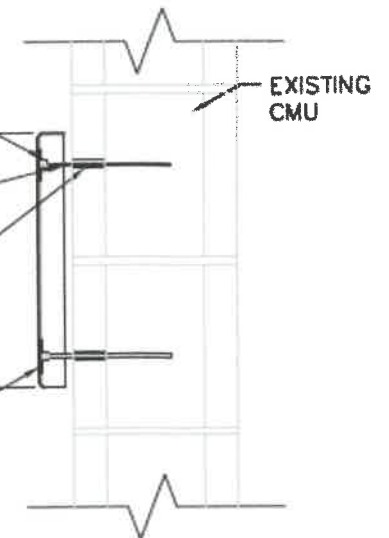
MOUNTING HOLE PATTERNS FOR NON-ILLUMINATED SIGN INSTALLATION PROVIDED BY OWNER

PLASTIC MOUNT FOR ALL-THREAD STUD BY SIGN SUPPLIER

INSTALL 1/8" DIA ALL-THREAD STUDS INTO PLASTIC MOUNTS PRIOR TO SIGN INSTALLATION BY SIGN INSTALLER

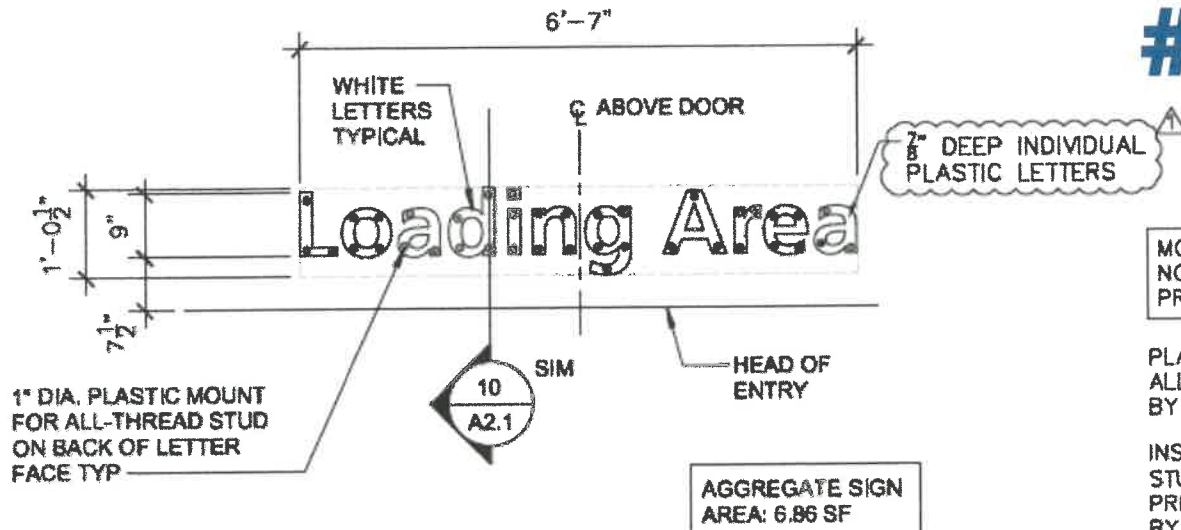
3/8" DIA HOLE FILLED WITH ADHESIVE SEALANT. COAT ALL-THREAD STUD WITH ADHESIVE SEALANT PRIOR TO WALL ATTACHMENT BY SIGN INSTALLER

PLASTIC NON-ILLUMINATED CHANNEL LETTER BY SIGNAGE SUPPLIER



"ADHESIVE SEALANT" IS TO BE PRODUCT LN-950 BY LIQUID NAILS OR SIMILAR POLYURETHANE CONSTRUCTION ADHESIVE, MEETING ASTM D3498 AND C557 STANDARDS, EXTERIOR APPLICATION, WEATHER RESISTANT, LOW VOC, WITH A MINIMUM SHEAR STRENGTH OF 250 PSI

#5 - Loading Area



1" DIA. PLASTIC MOUNT FOR ALL-THREAD STUD ON BACK OF LETTER FACE TYP

MOUNTING HOLE PATTERNS FOR NON-ILLUMINATED SIGN INSTALLATION PROVIDED BY OWNER

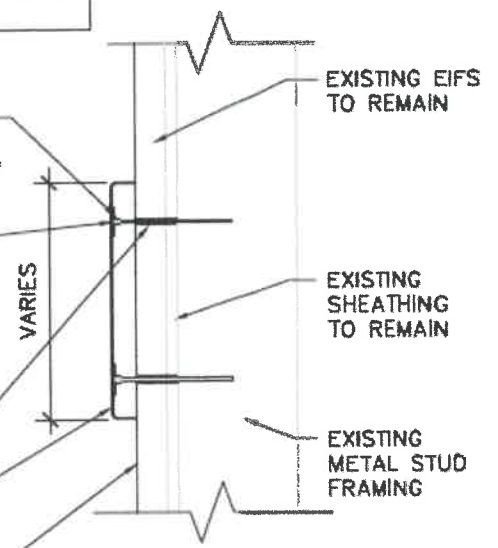
PLASTIC MOUNT FOR ALL-THREAD STUD BY SIGN SUPPLIER

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3/8" DIA HOLE FILLED WITH ADHESIVE SEALANT. COAT ALL-THREAD STUD WITH ADHESIVE SEALANT PRIOR TO WALL ATTACHMENT BY SIGN INSTALLER

PLASTIC NON-ILLUMINATED CHANNEL LETTER BY SIGN SUPPLIER

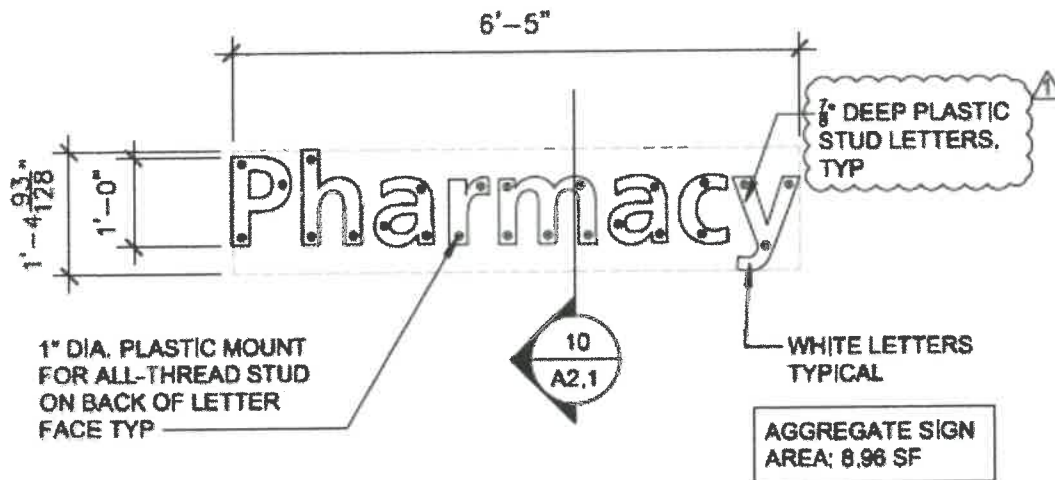
RESURFACE EIFS. REF ELEVATION(S) FOR EXTENTS



"ADHESIVE SEALANT" IS TO BE PRODUCT LN-950 BY LIQUID NAILS OR SIMILAR POLYURETHANE CONSTRUCTION ADHESIVE, MEETING ASTM D3498 AND C557 STANDARDS, EXTERIOR APPLICATION, WEATHER RESISTANT, LOW VOC, WITH A MINIMUM SHEAR STRENGTH OF 250 PSI



#6 - Pharmacy



MOUNTING HOLE PATTERNS FOR NON-ILLUMINATED SIGN INSTALLATION PROVIDED BY OWNER

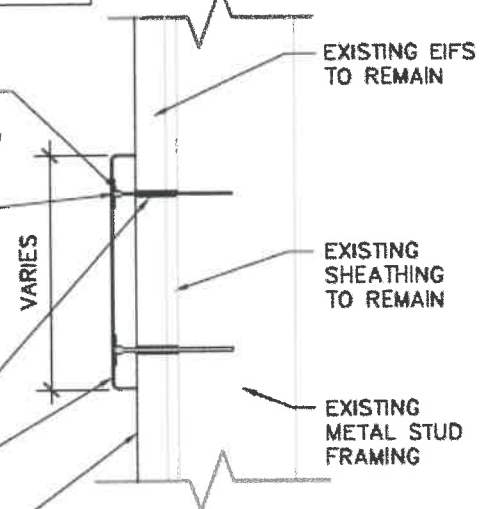
PLASTIC MOUNT FOR ALL-THREAD STUD BY SIGN SUPPLIER

INSTALL 1/8" DIA ALL-THREAD STUDS INTO PLASTIC MOUNTS PRIOR TO SIGN INSTALLATION BY SIGN INSTALLER

3/8" DIA HOLE FILLED WITH ADHESIVE SEALANT. COAT ALL-THREAD STUD WITH ADHESIVE SEALANT PRIOR TO WALL ATTACHMENT BY SIGN INSTALLER

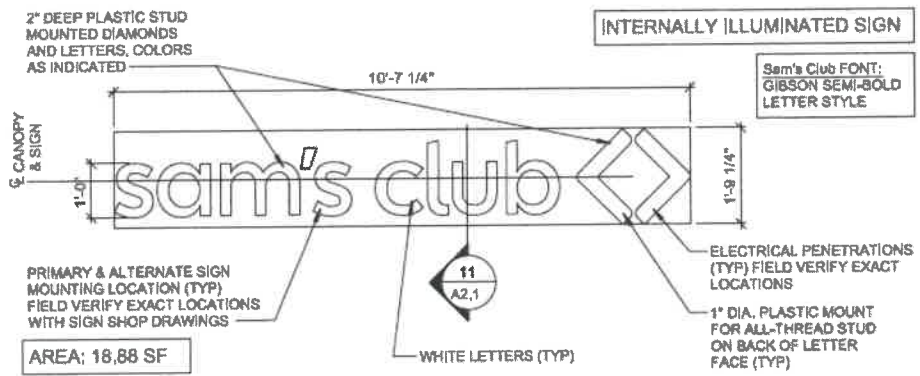
PLASTIC NON-ILLUMINATED CHANNEL LETTER BY SIGN SUPPLIER

RESURFACE EIFS. REF ELEVATION(S) FOR EXTENTS



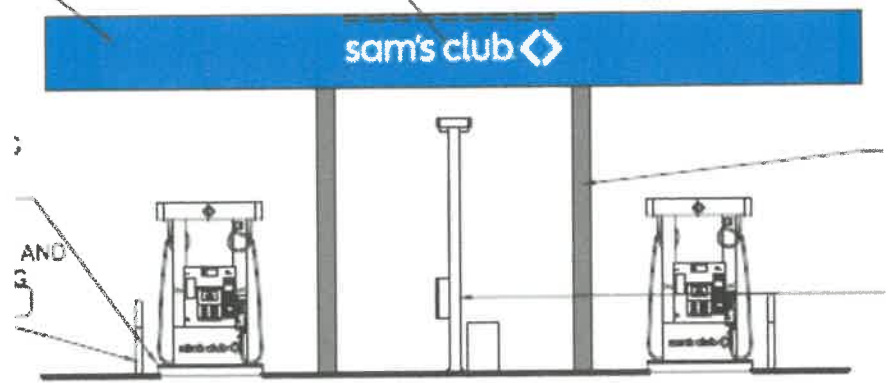
"ADHESIVE SEALANT" IS TO BE PRODUCT LN-950 BY LIQUID NAILS OR SIMILAR POLYURETHANE CONSTRUCTION ADHESIVE, MEETING ASTM D3498 AND C557 STANDARDS, EXTERIOR APPLICATION, WEATHER RESISTANT, LOW VOC, WITH A MINIMUM SHEAR STRENGTH OF 250 PSI

Sam's Club Fuel Canopy Side "short" North & South Elevation



NEW INTERNALLY ILLUMINATED SAM'S SIGNAGE, REF. 8-A2.1

CONTRACTOR TO REMOVE LIGHT BAR FIXTURE (TYPICAL)



1/2"-13 ALL-THREAD, WASHER, AND NUT W/ 1/2" DIA HOLE FILLED W/ ADHESIVE SEALANT AT DIGITAL PRICE SIGN (MIN OF FOUR REQUIRED)

MOUNTING HOLE PATTERNS FOR ILLUMINATED SIGN INSTALLATION PROVIDED BY WALMART

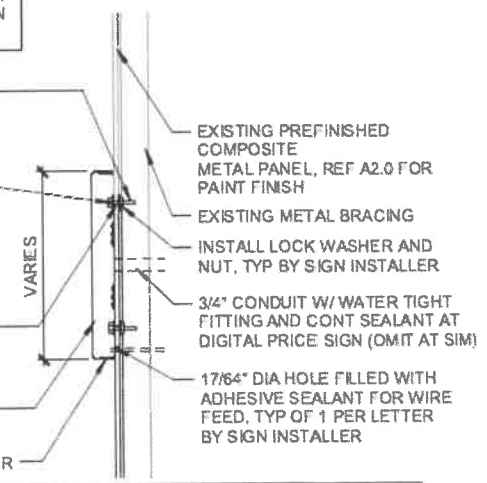
10-24 x 1-1/2" HEX BOLTS AND WASHERS BY SIGN SUPPLIER

INSTALL HEX BOLTS THRU WASHER AND LETTER BACK PRIOR TO INSTALLATION BY SIGN INSTALLER

17/64" DIA HOLE FILLED WITH ADHESIVE SEALANT. COAT ALL-THREAD STUD WITH ADHESIVE SEALANT PRIOR TO WALL ATTACHMENT. BY SIGN INSTALLER

INDIVIDUAL PLASTIC ILLUMINATED CHANNEL LETTERS BY SIGN SUPPLIER

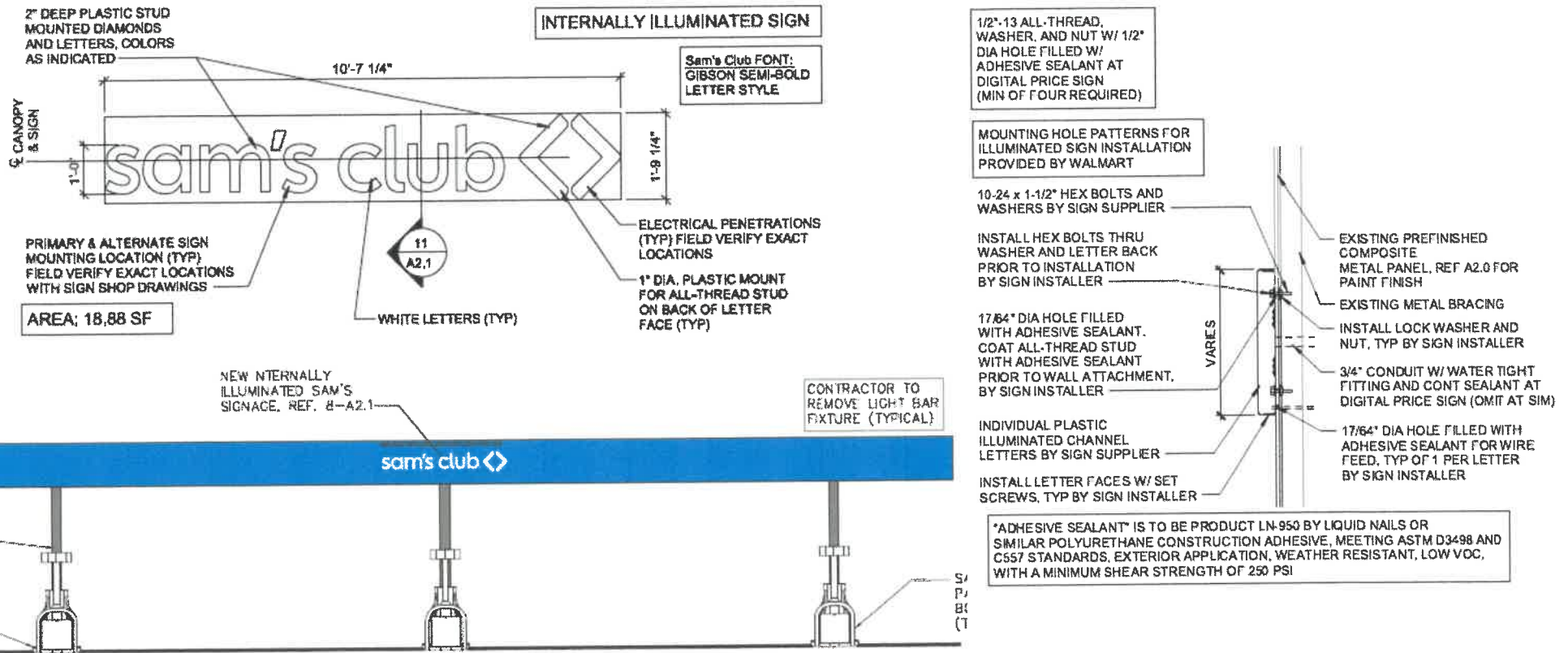
INSTALL LETTER FACES W/ SET SCREWS, TYP BY SIGN INSTALLER



ADHESIVE SEALANT IS TO BE PRODUCT LN-950 BY LIQUID NAILS OR SIMILAR POLYURETHANE CONSTRUCTION ADHESIVE, MEETING ASTM D3498 AND C557 STANDARDS, EXTERIOR APPLICATION, WEATHER RESISTANT, LOW VOC, WITH A MINIMUM SHEAR STRENGTH OF 250 PSI

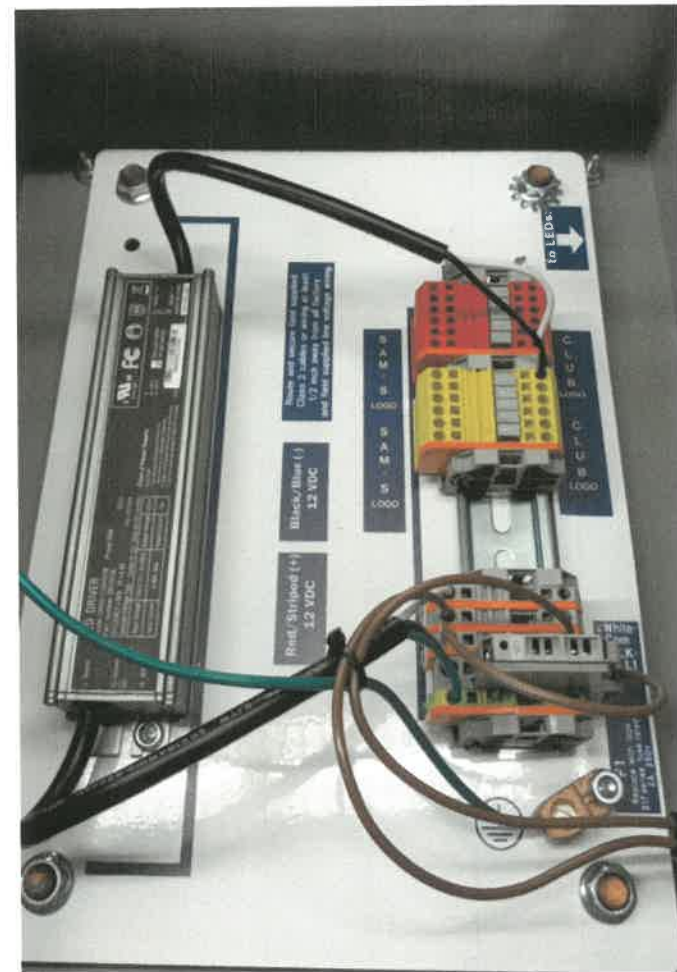
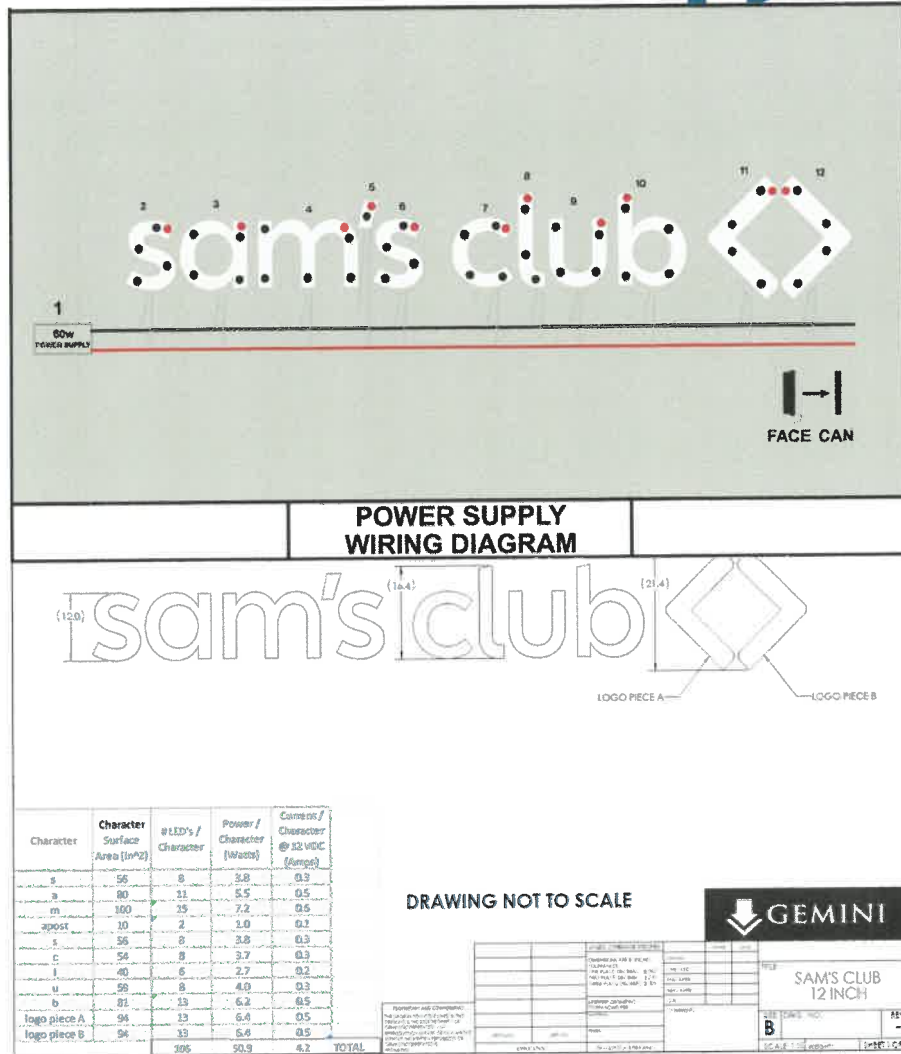
Illuminated - connect to existing electrical

Sam's Club Fuel Canopy Elevation - long side - East and West Elevation



Illuminated - connect to existing electrical

Fuel Canopy Signs - electrical



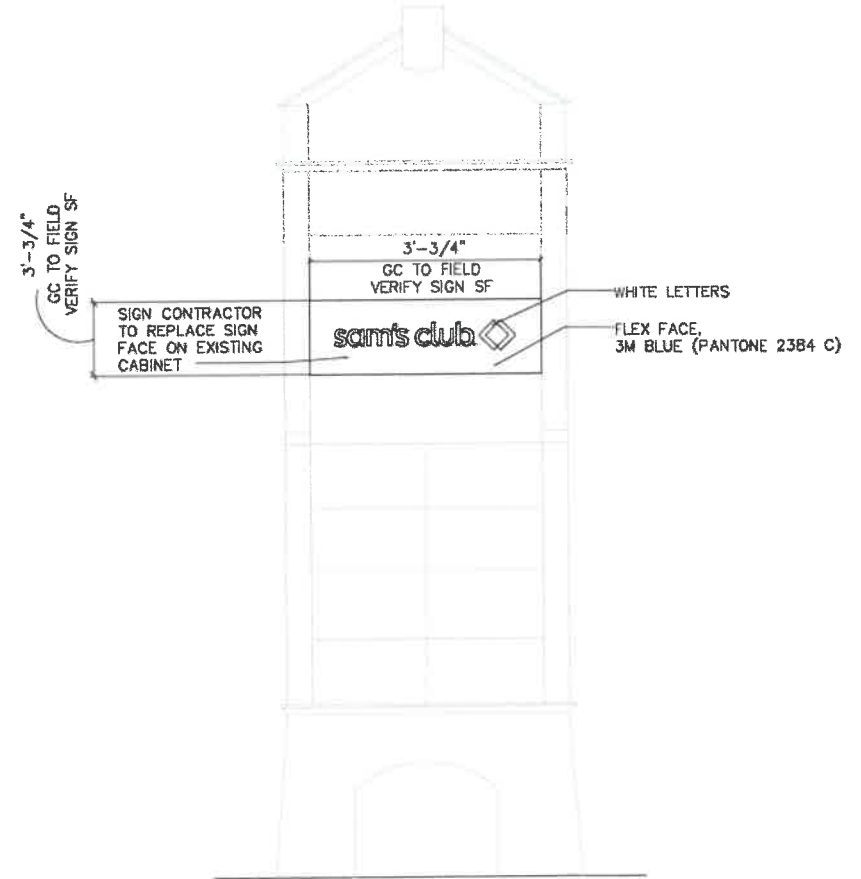
Sam's Club Multi-tenant Re-face



Existing

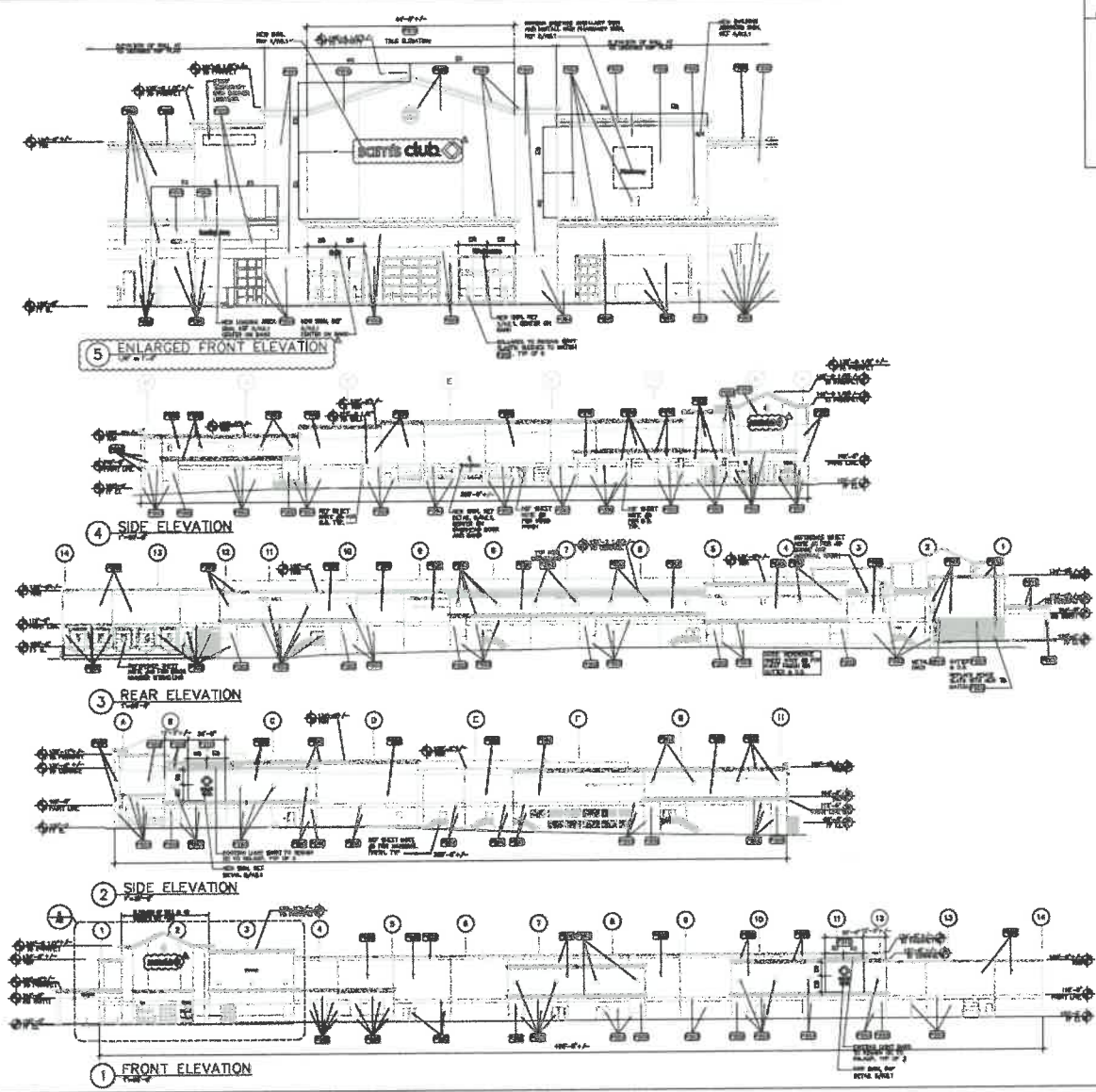


Proposed



13 PYLON SIGN
3/16" = 1'-0"

EXISTING SIGNAGE SCHEDULE										NEW SIGNAGE SCHEDULE									
SIGNAGE LOCATION	QTY	LIGHTED	COLOR	MOUNTING	LENGTH	INDIVIDUAL AREA	TOTAL AREA	SIGNAGE LOCATION	QTY	LIGHTED	COLOR	MOUNTING	LENGTH	INDIVIDUAL AREA	TOTAL AREA				
BUILDING SIGNAGE										BUILDING SIGNAGE									
Sam's Diamond @ Front Elevation	1	LED	MULTI	---	10'-0"	100.00 SF	100.00 SF	Sam's Club (HORIZONTAL)	1	LED	MULTI	---	23'-8 3/4"	94.00 SF	94.00 SF				
Sam's Diamond @ Front Elevation	1	N/A	WHITE	STUD	10'-0"	100.00 SF	100.00 SF	Sam's Club (STACKED)	2	N/A	MULTI	STUD	6'-4"	63.37 SF	126.74 SF				
Sam's Diamond @ Right Elevation	1	N/A	WHITE	STUD	10'-0"	100.00 SF	100.00 SF	Pharmacy	1	N/A	WHITE	STUD	6'-5"	8.94 SF	8.94 SF				
Ancillary Sign	1	N/A	MULTI	---	8'-0"	64.00 SF	64.00 SF	Tire Installation	1	N/A	WHITE	STUD	7'-9 3/8"	6.40 SF	6.40 SF				
Tire Installation	1	N/A	WHITE	STUD	10'-4 1/2"	11.33 SF	11.33 SF	Welcome and Exit	1	N/A	WHITE	STUD	REF DTL	9.27 SF	9.27 SF				
Welcome and Exit	1	N/A	WHITE	STUD	REF DTL	9.27 SF	9.27 SF	XXXX (BUILDING ADDRESS)	1	N/A	WHITE	STUD	3'-7"	3.58 SF	3.58 SF				
XXXX (BUILDING ADDRESS)	1	N/A	WHITE	STUD	3'-7"	3.58 SF	3.58 SF	Loading Area	1	N/A	WHITE	STUD	6'-7"	6.86 SF	6.86 SF				
Flat bed Loading Area	1	N/A	WHITE	STUD	6'-7"	6.86 SF	6.86 SF												
TOTAL BUILDING SIGNAGE							395.04 SF	TOTAL BUILDING SIGNAGE							(255.79) SF				
FUEL CANOPY SIGNAGE										FUEL CANOPY SIGNAGE									
SAM'S CLUB	4	N/A	MULTI	BOLT	8'-0"	18.67 SF	74.68 SF	SAM'S CLUB	4	N/A	MULTI	BOLT	10'-7 3/8"	18.93 SF	75.72 SF				
TOTAL FUEL SIGNAGE							74.68 SF	TOTAL FUEL SIGNAGE							75.72 SF				
SITE SIGNAGE										SITE SIGNAGE									
MULTITENANT SIGN (EXISTING)	1	LED	MULTI	---	9'-6 1/4"	28.25 SF	28.25 SF	MULTITENANT SIGN	1	LED	MULTI	---	9'-6 1/4"	28.25 SF	28.25 SF				
TOTAL SITE SIGNAGE							28.25 +/- SF	TOTAL SITE SIGNAGE							GC TO FIELD VERIFY SIGN SF 28.25 +/- SF				
TOTAL SIGNAGE							469.72 SF	TOTAL SIGNAGE							(359.76) SF				



COLOR LEGEND

1. 100% BRICK
 2. 75% BRICK / 25% STUCCO
 3. 50% BRICK / 50% STUCCO
 4. 25% BRICK / 75% STUCCO
 5. STUCCO
 6. PAINT
 7. METAL
 8. GLASS
 9. WOOD
 10. CONCRETE
 11. ASPHALT
 12. GRASS
 13. LANDSCAPE
 14. FURNITURE
 15. SIGNAGE

SHEET NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
2. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
12. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
13. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
14. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
16. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
17. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
18. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
19. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
20. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

brr

REBRAND SEVERN MD CLUB #4771

EXTERIOR ELEVATIONS

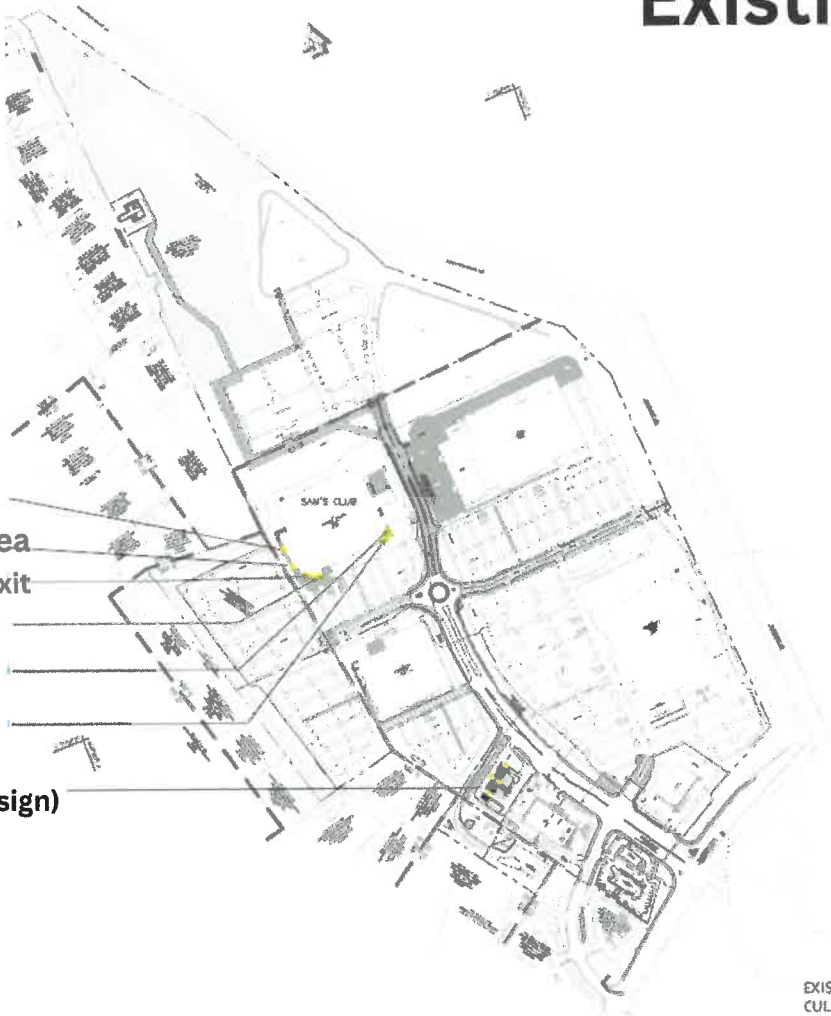
A2

Sams Club 4771 Severn MD

Existing Signage

Existing Site Plan

brr



- Tire installation
- Flat Bed Loading Area
- Sam's Diamond, Welcome, Exit
- Ancillary
- Sam's Diamond
- Sam's Diamond
- <> Sam's Club (fuel canopy sign)

EXISTING S.W.M.
POND #3

EXISTING 60"x38"
CULVERT

NOTE: THE SHEET IS A COPY OF THE AVAILABLE AS-BUILT SITE PLAN FOR THE SAM'S AND FUEL STATION BUILDING. THIS SHEET IS PROVIDED FOR ADDITIONAL INFORMATION AS REQUIRED BY THE DATA ON THE ASSUMED EXISTING CONDITIONS AT THE PROJECT SITE. THE ARCHITECT OF RECORD HAS MADE NO MODIFICATIONS TO THIS SHEET OR THE INFORMATION CONTAINED THEREIN AND CANNOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE CONDITIONS ILLUSTRATED.



REBRAND
SEVERN, MD
CLUB #4771

NO.	DATE	DESCRIPTION

DATE: 01/11/2011
DRAWN BY: [Name]
CHECKED BY: [Name]
DATE: 01/11/2011



EXISTING
OVERALL SITE
PLAN

SP1

Front
Elevation



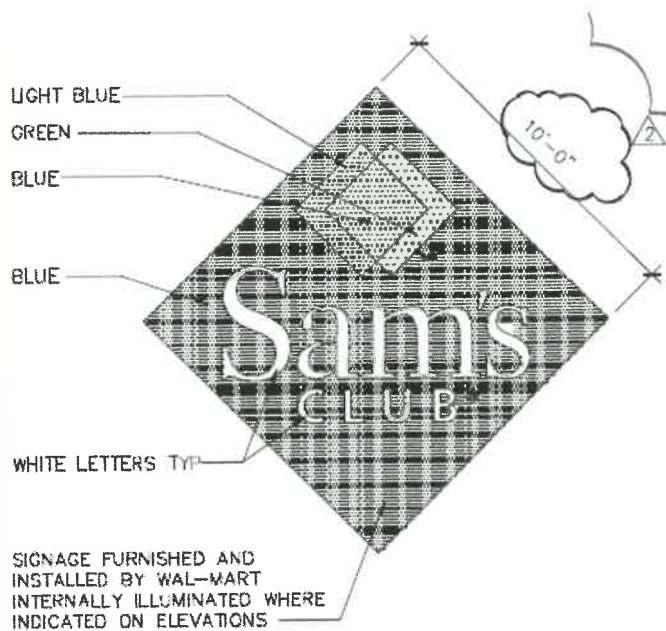
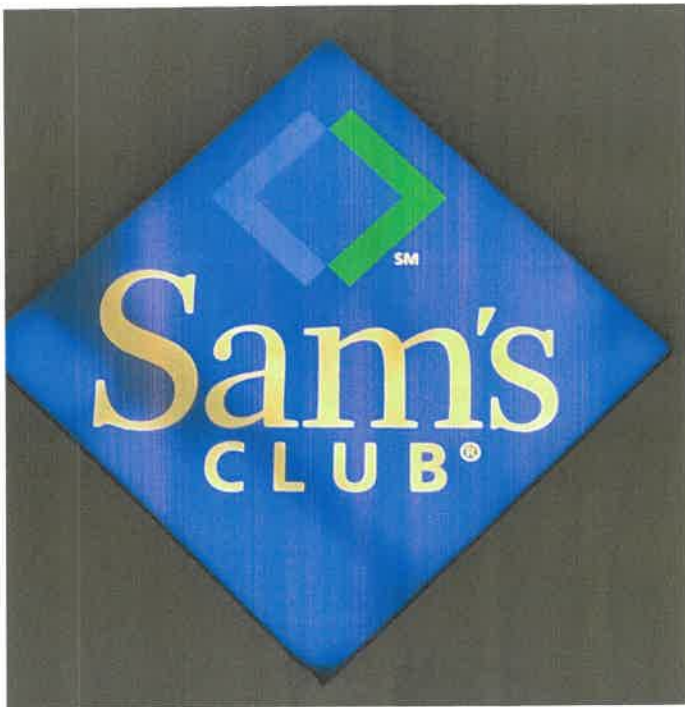
Front Elevation
& Left Side
Elevation



Right
Elevation



#1 - Sam's Club Main ID - EXISTING



3/4" SCHEDULE 40 PVC SPACER TO PREVENT COMPRESSION OF EIFS, TYP
SIGN ATTACHMENT BY SIGN CONTRACTOR, TYP

1" NEOPRENE/SS BONDED WASHER IN BED OF CONTINUOUS MULTI-COMPONENT SEALANT PROVIDED BY OWNER INSTALLED BY SIGN CONTRACTOR

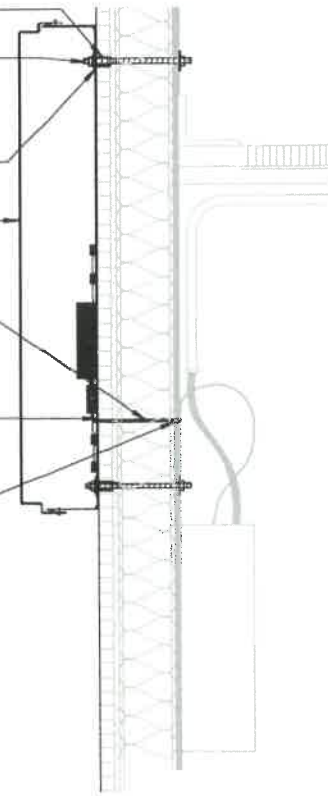
SIGN CAN WITH .080 ALUMINUM BACKING BY OWNER

THROUGH WALL PROTECTION TUBE FURNISHED BY OWNER INSTALLED BY SIGN CONTRACTOR INSTALL PER MFR RECOMMENDATIONS

FULL BED OF MULTI-COMPONENT SEALANT AT PERIMETER OF CONDUIT BY SIGN INSTALLER

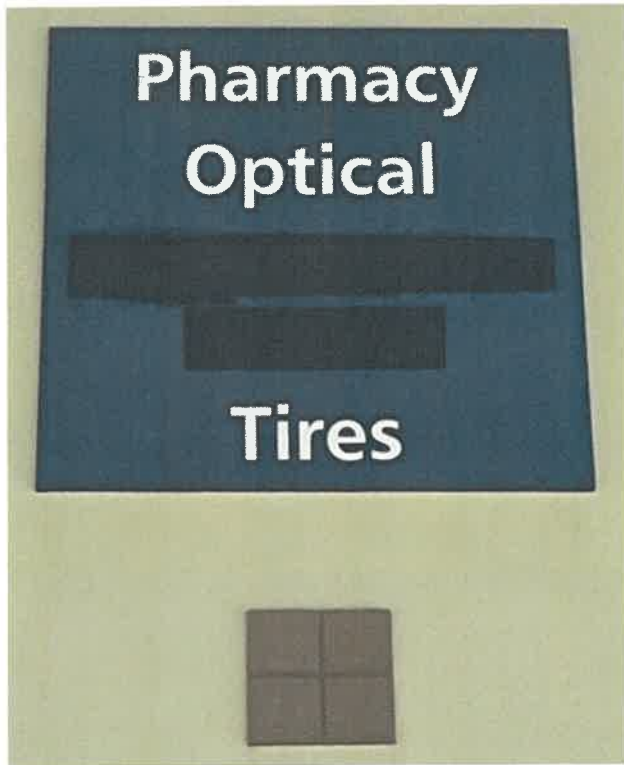
DRILL HOLE AND FEED WHIP THROUGH PARAPET BY SIGN CONTRACTOR, TYP

LOCATE ANCHORS PER SIGN ATTACHMENT TEMPLATE PROVIDED BY OWNER

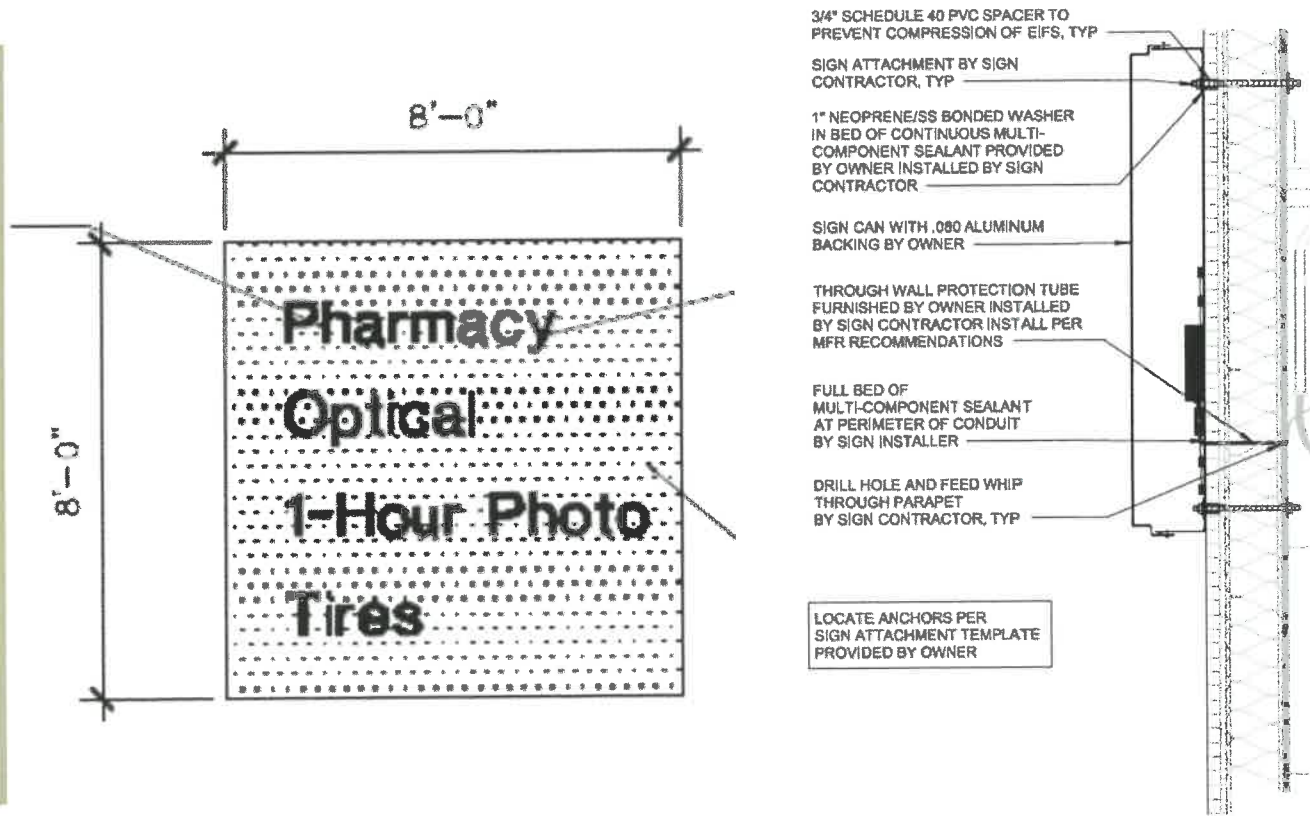


Internally Illuminated

#3 - Sam's Club Ancillary - EXISTING



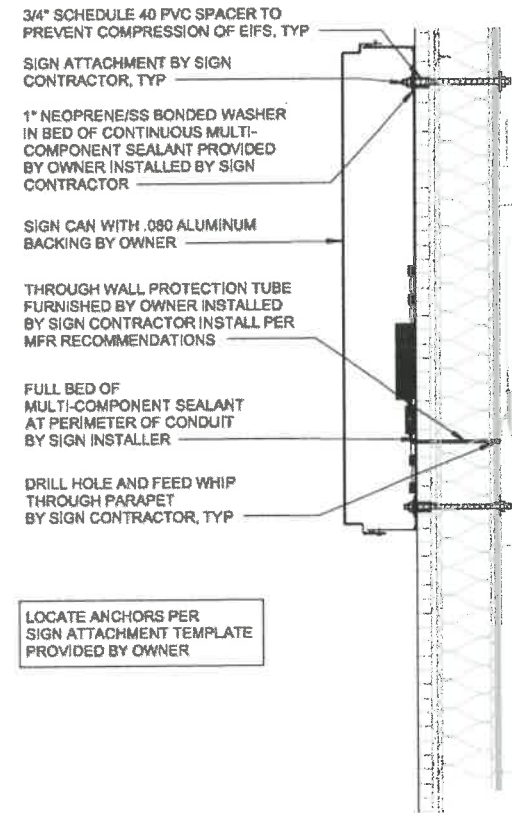
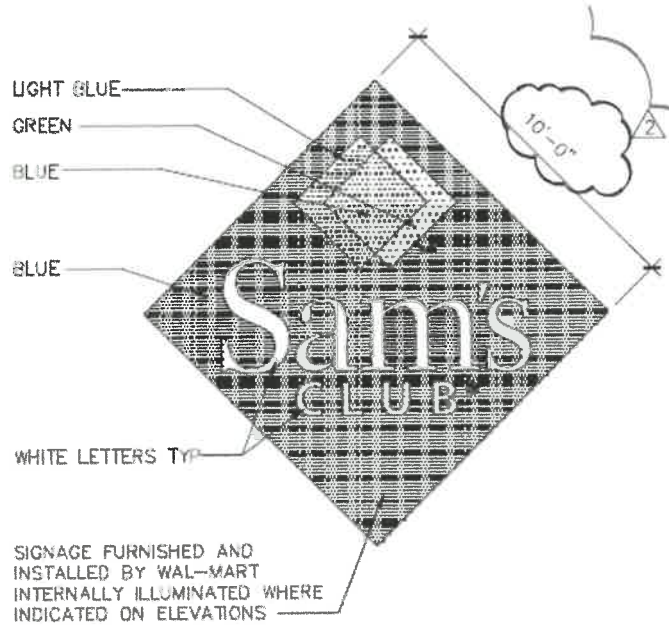
Non- Illuminated



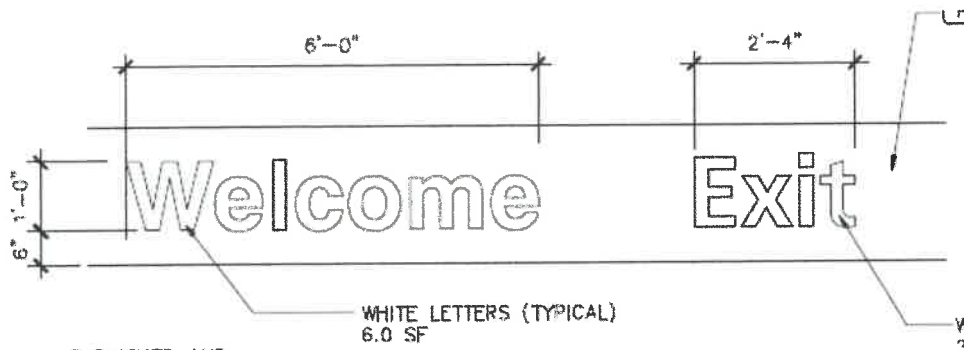
#2 - Sam's Club Secondary Stacked (Qty 2 - Front & Left elevation)



Non- Illuminated



#4 - Welcome - Exit - EXISTING



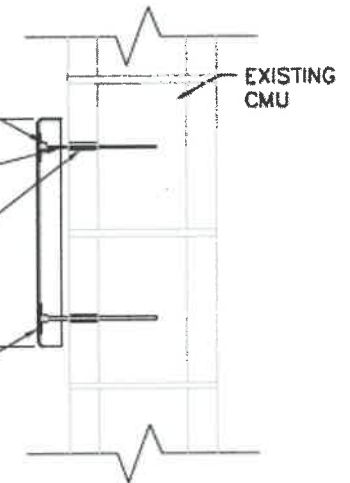
MOUNTING HOLE PATTERNS FOR NON-ILLUMINATED SIGN INSTALLATION PROVIDED BY OWNER

PLASTIC MOUNT FOR ALL-THREAD STUD BY SIGN SUPPLIER

INSTALL 1/8" DIA ALL-THREAD STUDS INTO PLASTIC MOUNTS PRIOR TO SIGN INSTALLATION BY SIGN INSTALLER

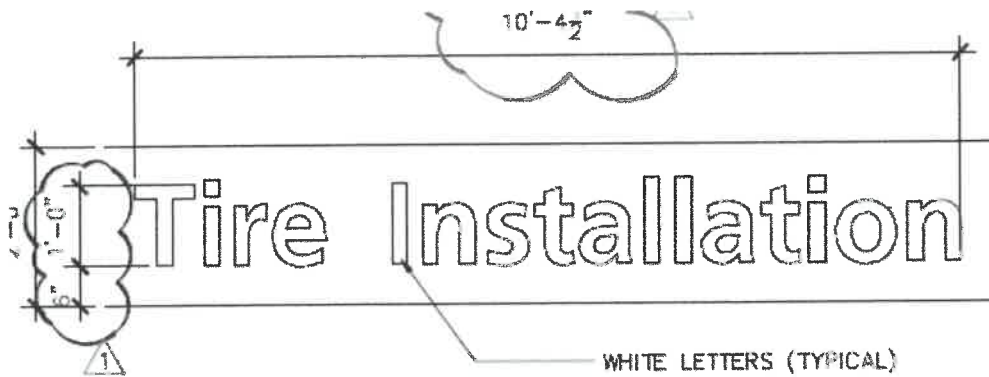
3/8" DIA HOLE FILLED WITH ADHESIVE SEALANT. COAT ALL-THREAD STUD WITH ADHESIVE SEALANT PRIOR TO WALL ATTACHMENT BY SIGN INSTALLER

PLASTIC NON-ILLUMINATED CHANNEL LETTER BY SIGNAGE SUPPLIER



"ADHESIVE SEALANT" IS TO BE PRODUCT LN-950 BY LIQUID NAILS OR SIMILAR POLYURETHANE CONSTRUCTION ADHESIVE, MEETING ASTM D3498 AND C557 STANDARDS, EXTERIOR APPLICATION, WEATHER RESISTANT, LOW VOC, WITH A MINIMUM SHEAR STRENGTH OF 250 PSI

#5 - Tire Installation - EXISTING



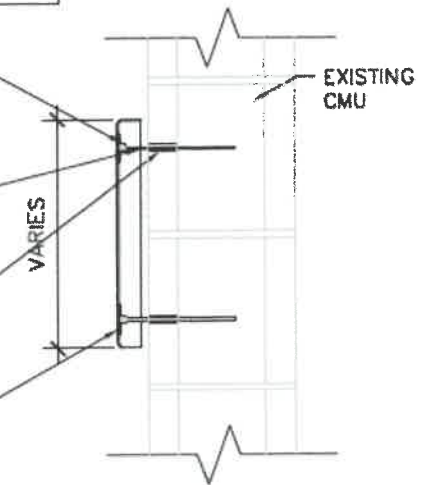
MOUNTING HOLE PATTERNS FOR NON-ILLUMINATED SIGN INSTALLATION PROVIDED BY OWNER

PLASTIC MOUNT FOR ALL-THREAD STUD BY SIGN SUPPLIER

INSTALL 1/8" DIA ALL-THREAD STUDS INTO PLASTIC MOUNTS PRIOR TO SIGN INSTALLATION BY SIGN INSTALLER

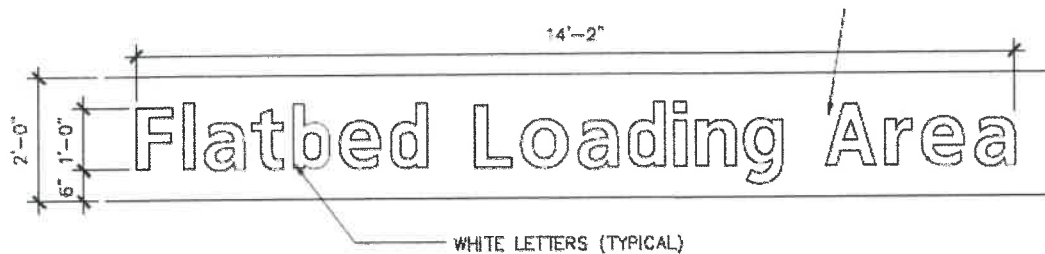
3/8" DIA HOLE FILLED WITH ADHESIVE SEALANT. COAT ALL-THREAD STUD WITH ADHESIVE SEALANT PRIOR TO WALL ATTACHMENT BY SIGN INSTALLER

PLASTIC NON-ILLUMINATED CHANNEL LETTER BY SIGNAGE SUPPLIER



"ADHESIVE SEALANT" IS TO BE PRODUCT LN-950 BY LIQUID NAILS OR SIMILAR POLYURETHANE CONSTRUCTION ADHESIVE, MEETING ASTM D3498 AND C557 STANDARDS, EXTERIOR APPLICATION, WEATHER RESISTANT, LOW VOC, WITH A MINIMUM SHEAR STRENGTH OF 250 PSI

#6 - Flatbed Loading Area - EXISTING



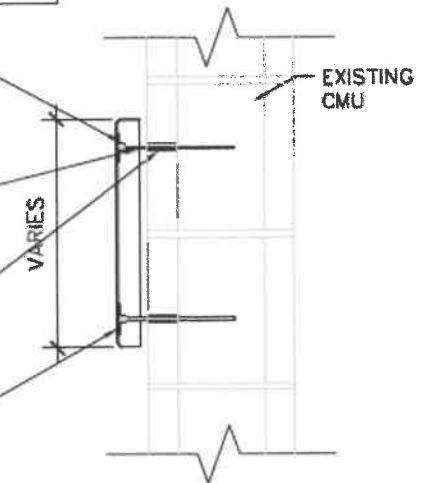
MOUNTING HOLE PATTERNS FOR NON-ILLUMINATED SIGN INSTALLATION PROVIDED BY OWNER

PLASTIC MOUNT FOR ALL-THREAD STUD BY SIGN SUPPLIER

INSTALL 1/8" DIA ALL-THREAD STUDS INTO PLASTIC MOUNTS PRIOR TO SIGN INSTALLATION BY SIGN INSTALLER

3/8" DIA HOLE FILLED WITH ADHESIVE SEALANT. COAT ALL-THREAD STUD WITH ADHESIVE SEALANT PRIOR TO WALL ATTACHMENT BY SIGN INSTALLER

PLASTIC NON-ILLUMINATED CHANNEL LETTER BY SIGNAGE SUPPLIER



"ADHESIVE SEALANT" IS TO BE PRODUCT LN-950 BY LIQUID NAILS OR SIMILAR POLYURETHANE CONSTRUCTION ADHESIVE, MEETING ASTM D3498 AND C557 STANDARDS, EXTERIOR APPLICATION, WEATHER RESISTANT, LOW VOC, WITH A MINIMUM SHEAR STRENGTH OF 250 PSI

Existing



Proposed

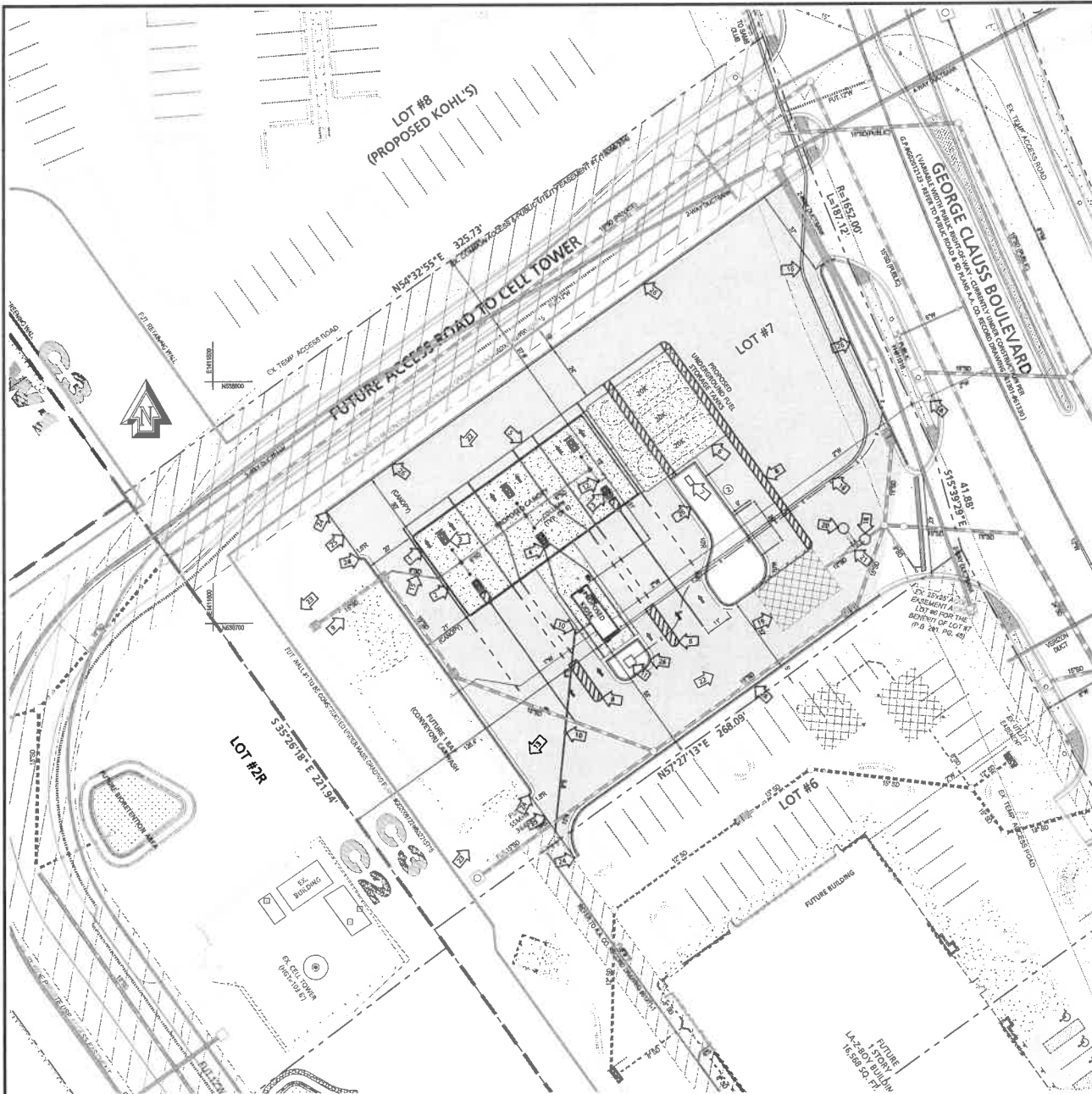




Existing



Proposed



KEYED NOTES

- PROPOSED 8' x 4' x 8' CANOPY. REFER TO ARCHITECTURAL PLANS FOR MORE DETAIL.
- PROPOSED 8' x 4' x 8' CONCRETE CANOPY SLAB. REFER TO SHEET 8 FOR SECTION.
- PROPOSED CONCRETE GASLINE DISPENSER ISLAND WITH 4 SLACK GASOLINE DISPENSER (13 FUELING POINTS TOTAL. REFER TO ARCHITECTURAL PLANS FOR MORE DETAIL.
- PROPOSED HOOD BOLLARD. REFER TO ARCHITECTURAL PLANS FOR MORE DETAIL.
- PROPOSED 4" WIDE WHITE PAINTED TRAFFIC AND PARKING STRIPES (TYP.).
- PROPOSED 4' x 4' x 2' CONCRETE SLAB FOR UNDERGROUND GASOLINE STORAGE TANKS. REFER TO SHEET 8 FOR SECTION.
- PROPOSED FUEL TANK REMOTE VENT.
- PROPOSED PAINTED STRIPES AREA.
- FUTURE CONCRETE CARWASH PAD.
- PROPOSED FUTURE CARWASH CLEANOUT PER ANNE ARUNDEL COUNTY STANDARD DETAIL 59 AND S10.
- PROPOSED TRANSFORMER.
- PROPOSED 4" PVC INTERNAL DOWNSPOUT CONNECTED TO THE STORM DRAIN SYSTEM (TYPICAL OF 6).
13. PROPOSED CAR WASH RECLAIMED WATER UNDERGROUND TANKS/EQUIPMENT.
- PROPOSED 2" PVC WATER METER PER ANNE ARUNDEL COUNTY STANDARD DETAIL 102.
- PROPOSED 2" WIDE CURB OPENING FOR DRAINAGE THROUGH.
- PROPOSED 4" DIAMETER SEPARATOR MANHOLE. REFER TO SHEET 12 FOR DETAILS AND SPECIFICATIONS.
- PROPOSED UNDERGROUND S.W.M. INFILTRATION TRENCH. REFER TO SHEET 11 FOR DETAILS AND SPECIFICATIONS.
- PROPOSED BAYSEVER S.W.M. DEVICE. REFER TO SHEET 12 FOR DETAILS AND SPECIFICATIONS.
- PROPOSED BAYSEVER WATER QUALITY UNIT. REFER TO SHEET 12 FOR DETAILS AND SPECIFICATIONS.
- HIGHSEED HEAVY PAVEMENT. REFER TO SHEET 13 FOR SECTION.
- FUTURE CURB AND GUTTER BY OTHERS.
- END PROPOSED CURB AND GUTTER FOR FUTURE CONNECTION BY OTHERS.
- END PROPOSED PAVEMENT.
- PROPOSED STAMAND CONCRETE CURB AND GUTTER PER ANNE ARUNDEL COUNTY STANDARD DETAIL 104. INVERSE SLOPE CONCRETE CURB AND GUTTER PER ANNE ARUNDEL COUNTY STANDARD DETAILS.

SITE PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF CURB.
- ALL CURB HAWK ARE 2' UNLESS OTHERWISE SPECIFIED.
- SEE SHEET 2 FOR SITE LEGEND.

ZONING SUMMARY (C3 ZONING)

DESCRIPTION	REQUIRED	PROPOSED
BULK REQUIREMENTS FOR STRUCTURES (HDK, CARWASH & GAS PUMPS / CANOPY)		
A. TOTAL SITE AREA	22,500 SQ. FT.	66,030 SQ. FT. ±
B. FRONT YARD (GEORGE CLAUSS BOULEVARD)	40'	117' ±
- SIDE YARD (NORTH)	10'	20'
- SIDE YARD (SOUTH)	10'	25'
- REAR YARD (WEST)	10'	32'
- PUMPS TO PUMPS	30' MIN.	30'
- STRUCTURES TO STRUCTURES	20'	±35'
- DRIVEWAY SETBACK TO SIDE LOT LINE	20'	0' - SOUTHERN ACCESS DWY. 37' - NORTHERN DWY.
- DRIVEWAY WIDTH	15' - 35'	37' - NORTHERN DWY. 44' - SOUTHERN DWY.
		(SEE NOTE 1 BELOW)
B. ROAD FRONTAGE	150' MIN.	229'
C. MAXIMUM FAR	2.0	0.03 (2,200 TOTAL SQ. FT. EXCLUDING THE CANOPY)
D. MAXIMUM BUILDING HEIGHT	60'	±60' HGT.
E. PAD MAXIMUM LOT COVERAGE	90%	63.6% (SEE BREAKDOWN)
F. PARKING	1 (SEE BREAKDOWN)	2
PUMP ISLAND SETBACKS		
FRONT YARD (GEORGE CLAUSS BOULEVARD)	N/A	±50'
SIDE YARD (NORTH)	N/A	N/A
SIDE YARD (SOUTH)	N/A	N/A
REAR YARD (WEST)	N/A	N/A
CANOPY SETBACKS		
FRONT YARD (GEORGE CLAUSS BOULEVARD)	15'	±10'
SIDE YARD (NORTH)	N/A	N/A
SIDE YARD (SOUTH)	N/A	N/A
REAR YARD (WEST)	N/A	N/A

PARKING BREAKDOWN

DESCRIPTION	REQUIRED	PROPOSED
PROPOSED BUILDING (200 SQ. FT.)	1 SPACE	2 SPACES
	(1 SPACE / 400 SQ. FT.)	

PROPOSED "LOT COVERAGE" BREAKDOWN

DESCRIPTION	QUANTITY
FUTURE ACCESS ROAD TO CELL TOWER	200 SQ. FT. ±
ON-SITE PAVING	21,177 SQ. FT. ±
ON-SITE CONCRETE	7,135 SQ. FT. ±
BUILDINGS	2,192 SQ. FT. ±
TOTAL IMPERVIOUS AREA	43,604 SQ. FT. ± OR 63.6% LOT COVERAGE

Rev.	Date	By	Description

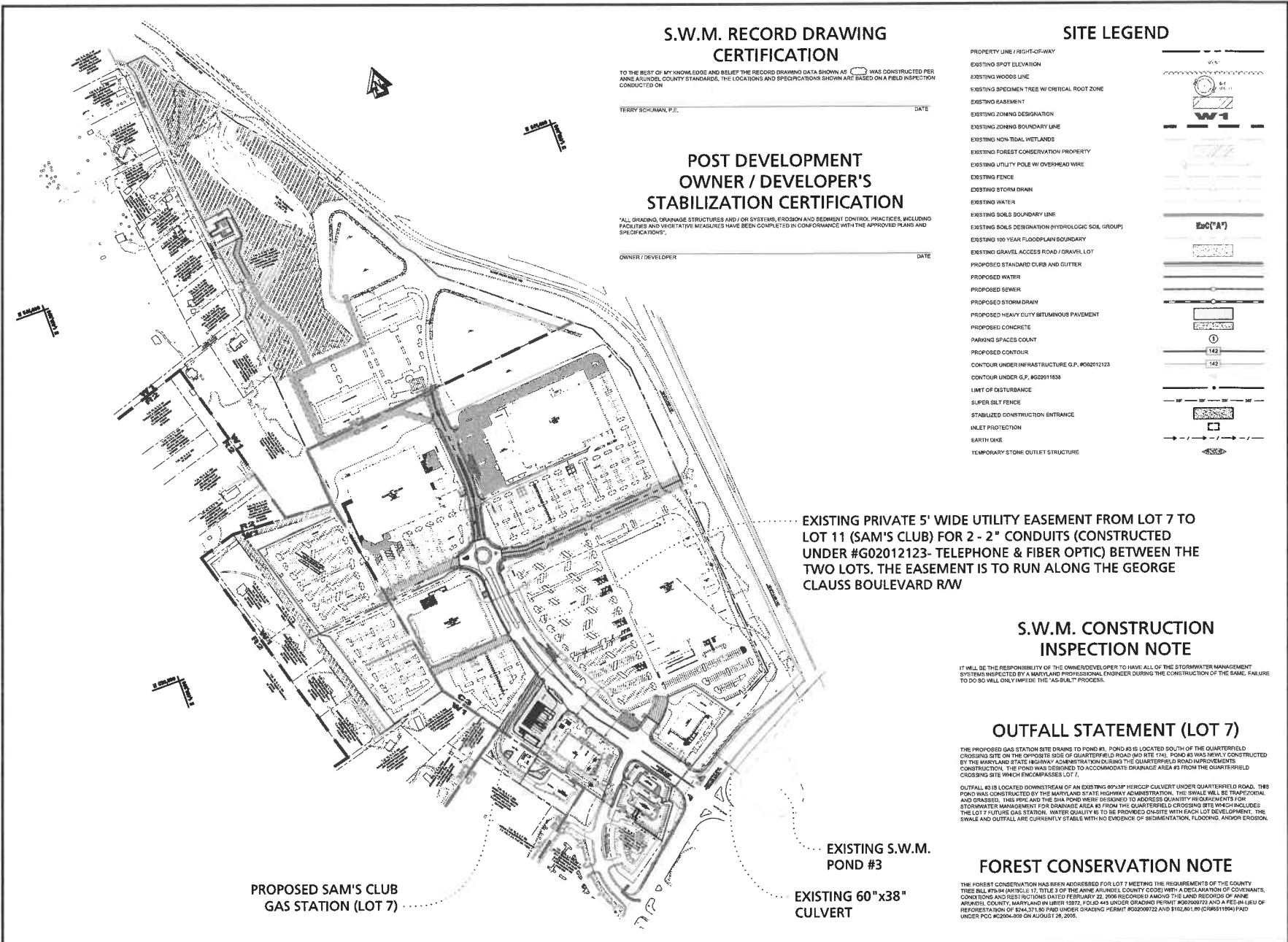
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Date: 10/13/07
 Job Number: 06-2007
 Scale: 1"=50'
 Drawn By: L. SCHUMER
 Designed By: L. SCHUMER
 Approved By: T. SCHUMER

Field Reference
 SAM'S CLUB GAS STATION
 QUARTERFIELD CROSSING, REVERN

SITE AND UTILITY PLAN
 GRADING AND BUILDING PERMIT PLANS
SAM'S CLUB AUTOMOBILE GASOLINE STATION AT QUARTERFIELD CROSSING
 412 GEORGE CLAUSS BOULEVARD
 REVERN, MARYLAND 21144
 TAX MAP 15, BLOCK 4, PAVEMENT 503 AND 504

Sheet No. **4 OF 15**



S.W.M. RECORD DRAWING CERTIFICATION

TO THE BEST OF MY KNOWLEDGE AND BELIEF THE RECORD DRAWING DATA SHOWN AS WAS CONSTRUCTED PER ANNE ARUNDEL COUNTY STANDARDS. THE LOCATIONS AND SPECIFICATIONS SHOWN ARE BASED ON A FIELD INSPECTION CONDUCTED ON _____

TERRY SCHMANN, P.E. _____ DATE _____

POST DEVELOPMENT OWNER / DEVELOPER'S STABILIZATION CERTIFICATION

ALL GRADING, DRAINAGE STRUCTURES AND / OR SYSTEMS, EROSION AND SEDIMENT CONTROL PRACTICES, INCLUDING FACILITIES AND VORTATIVE MEASURES HAVE BEEN COMPLETED IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.

OWNER / DEVELOPER _____ DATE _____

SITE LEGEND

- PROPERTY LINE / RIGHT-OF-WAY
- EXISTING SPOT ELEVATION
- EXISTING WOODS LINE
- EXISTING SPECIEMEN TREE W/ CRITICAL ROOT ZONE
- EXISTING EASEMENT
- EXISTING ZONING DESIGNATION
- EXISTING ZONING BOUNDARY LINE
- EXISTING NON-TIDAL WETLANDS
- EXISTING FOREST CONSERVATION PROPERTY
- EXISTING UTILITY POLE W/ OVERHEAD WIRE
- EXISTING FENCE
- EXISTING STORM DRAIN
- EXISTING WATER
- EXISTING SOILS BOUNDARY LINE
- EXISTING SOILS DESIGNATION (HYDROLOGIC SOIL GROUP)
- EXISTING 100-YEAR FLOODPLAIN BOUNDARY
- EXISTING GRAVEL ACCESS ROAD / GRAVEL LOT
- PROPOSED STANDARD CURB AND GUTTER
- PROPOSED WATER
- PROPOSED STORM DRAIN
- PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
- PROPOSED CONCRETE
- PARKING SPACES COUNT
- PROPOSED CONTOUR
- CONTOUR UNDER INFRASTRUCTURE G.P. #02012123
- CONTOUR UNDER G.P. #02011533
- LIMIT OF DISTURBANCE
- SUPER SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- INLET PROTECTION
- EARTH DIKE
- TEMPORARY STONE OUTLET STRUCTURE

EXISTING PRIVATE 5' WIDE UTILITY EASEMENT FROM LOT 7 TO LOT 11 (SAM'S CLUB) FOR 2 - 2" CONDUITS (CONSTRUCTED UNDER #G02012123- TELEPHONE & FIBER OPTIC) BETWEEN THE TWO LOTS. THE EASEMENT IS TO RUN ALONG THE GEORGE CLAUSS BOULEVARD R/W

S.W.M. CONSTRUCTION INSPECTION NOTE

IT WILL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER TO HAVE ALL OF THE STORMWATER MANAGEMENT SYSTEMS INSPECTED BY A MARYLAND PROFESSIONAL ENGINEER DURING THE CONSTRUCTION OF THE SAME. FAILURE TO DO SO WILL ONLY IMPAIR THE "AS-BUILT" PROJECT.

OUTFALL STATEMENT (LOT 7)

THE PROPOSED GAS STATION SITE DRAINS TO POND #3. POND #3 IS LOCATED SOUTH OF THE QUARTERFIELD CROSSING SITE ON THE OPPOSITE SIDE OF QUARTERFIELD ROAD (MD RITE 74). POND #3 WAS NEWLY CONSTRUCTED BY THE MARYLAND STATE HIGHWAY ADMINISTRATION DURING THE QUARTERFIELD ROAD IMPROVEMENTS CONSTRUCTION. THE POND WAS DESIGNED TO ACCOMMODATE DRAINAGE AREA #3 FROM THE QUARTERFIELD CROSSING SITE WHICH ENCOMPASSES LOT 7.

OUTFALL #3 IS LOCATED DOWNSTREAM OF AN EXISTING 60"x38" PERCOP CULVERT UNDER QUARTERFIELD ROAD. THIS POND WAS CONSTRUCTED BY THE MARYLAND STATE HIGHWAY ADMINISTRATION. THE SWALE WILL BE TRAPEZOIDAL AND GRASSED. THIS PIPE AND THE SWA POND WERE DESIGNED TO ADDRESS QUANTITY REQUIREMENTS FOR STORMWATER MANAGEMENT FOR DRAINAGE AREA #3 FROM THE QUARTERFIELD CROSSING SITE WHICH INCLUDES THE LOT 7 FUTURE GAS STATION. WATER QUALITY IS TO BE PROVIDED ON-SITE WITH EACH LOT DEVELOPMENT. THE SWALE AND OUTFALL ARE CURRENTLY STABLE WITH NO EVIDENCE OF SEDIMENTATION, FLOODING, AND/OR EROSION.

FOREST CONSERVATION NOTE

THE FOREST CONSERVATION HAS BEEN ADDRESSED FOR LOT 7 MEETING THE REQUIREMENTS OF THE COUNTY TREE BILL (PLUM ARTICLE 17, TITLE 3 OF THE ANNE ARUNDEL COUNTY CODES) WITH A DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS DATED FEBRUARY 22, 2006 RECORDED AMONG THE LAND RECORDS OF ANNE ARUNDEL COUNTY, MARYLAND UNDER INSTRUMENT #443 UNDER GRADING PERMIT #02009072 AND A FEE-IN-LIEU OF REFORESTATION OF \$244,371.90 PND UNDER GRADING PERMIT #02009072 AND #152,801.00 (#386511894) PAID UNDER POC #02006-002 ON AUGUST 26, 2006.

PROPOSED SAM'S CLUB GAS STATION (LOT 7)

EXISTING S.W.M. POND #3

EXISTING 60"x38" CULVERT

Revisions	Description	Date	By

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Date	01/18/08, 2007
Job Number	06-257
Scale	1"=50'
Drawn By	L. SCHMANN
Designed By	T. SCHMANN
Approved By	T. SCHMANN
Folder Reference	SAM'S CLUB GAS STATION QUARTERFIELD CROSSINGS, SEVERN

OVERALL SITE PLAN
 GRADING AND BUILDING PERMIT PLANS
SAM'S CLUB AUTOMOBILE GASOLINE STATION AT QUARTERFIELD CROSSING
 412 GEORGE CLAUSS BOULEVARD SEVERN, MARYLAND 21144
 TAX MAP 15, BLOCK 4, PARCELS 403, 503 AND 504