


Variance  
Letter of Explanation

I contacted the Deck and Fence Connection to build a deck. They submitted building permit application number: B02419760. The permit was denied as per Article 18-13-104 and COMAR because the project disturbance is within the 100 foot buffer.

I request a variance to replace an existing solid brick stoop and wooden deck with a Trex deck. The existing stoop is very old and unsafe. The loose bricks are dangerous. My wife and I take care of our grand children often. We try to keep them away from the stoop but it would be better to correct the hazard. The current buffer on the property is nonfunctional because the primary structures were built in 1940 and this property should have been classified as a Buffer Modification Area. The existing stoop was built in 1940. The current brick stoop is approximately 36 square feet of impervious surface and the wooden deck & stairs adjacent to the hot tub was approximately 54 Square feet. The two structures totaled 90 square feet. The proposed deck will be less impervious and approximately 78 square feet. I am 70 and my wife is 66 years old. Your approval of this buffer modification will prevent the hardship due to the current unsafe stoop.

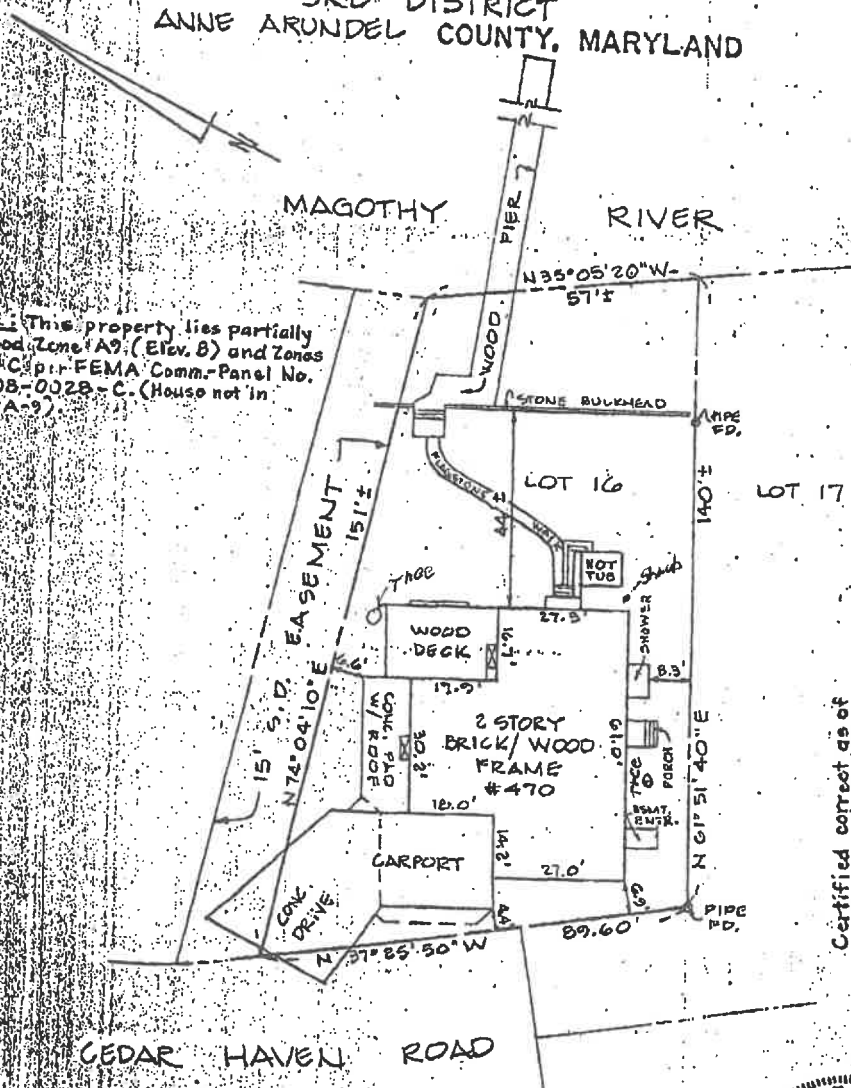


Zygmunt E. Sala  
470 Cedar Haven Rd  
Arnold, MD 21012  
Home Phone: 410-431-7248  
Cell Phone: 410-570-6477

to  
 224-66  
 from Jack  
 Allen

**BUILDING LOCATION SURVEY**  
 LOT 16 BLOCK —  
**CEDAR HAVEN**  
 3RD. DISTRICT  
 ANNE ARUNDEL COUNTY, MARYLAND

**NOTE:** This property lies partially in Flood Zone A-9 (Elev. 8) and Zones B and C per FEMA Comm. Panel No. 240008-0028-C. (House not in Zone A-9)



Certified correct as of  
 Dec. 10, 1993  
*Lawrence M. Doble*  
*Lawrence M. Doble*

**SURVEYOR'S CERTIFICATE**  
 I hereby certify that the survey shown hereon is correct; that the property is as delineated on a plat recorded among the Land Records of Anne Arundel County, Maryland in Plat Book 30, F&B, Plat #1563. The improvements were located by a transit-tape survey made on April 2, 1991. Unless shown hereon, there are no encroachments.

*Lawrence M. Doble*



**NOTE:** Property corner markers not guaranteed by this survey.

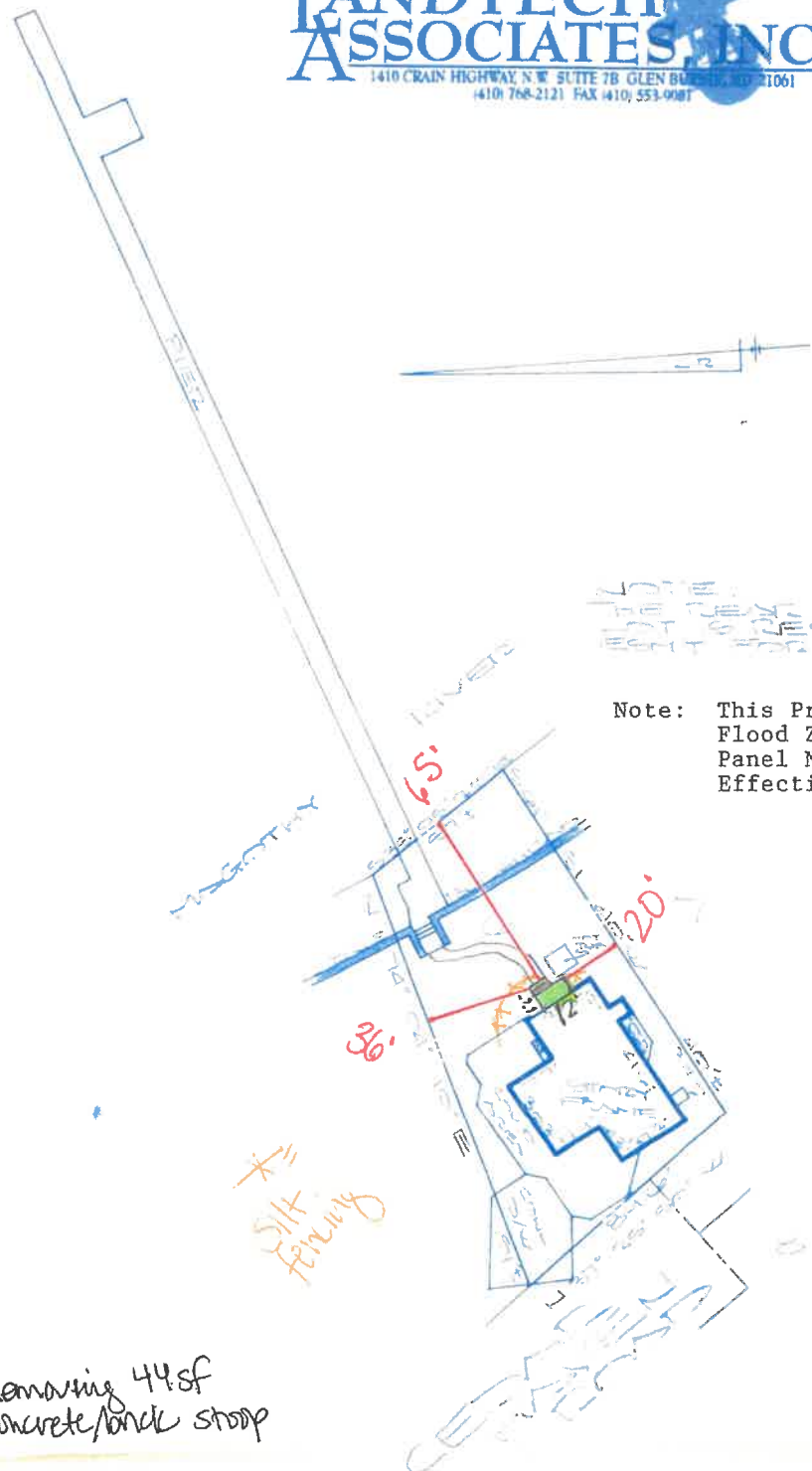
Rev. 4-18-91: Flood Note added.

**PAUL K. MILLER & ASSOCIATES**  
 1509 RITCHIE HIGHWAY, SUITE D  
 ARNOLD, MARYLAND 21012  
 (301) 757-9202

SCALE 1" = 30'	DRAWING No.
DATE APRIL, 1991	PROJECT No. A-1516

Sala Deck

**LANDTECH ASSOCIATES, INC.**  
1410 CRAIN HIGHWAY, N.W. SUITE 7B GLEN BURTON, MD 21061  
(410) 768-2121 FAX (410) 553-9087



ALL UTILITIES OF EACH LOT SHALL BE SERVED AS AN INDIVIDUAL UTILITY.

Note: This Property Lies in Flood Zone A-9 (EL-8).  
Panel No. 240008 0028C.  
Effective Date 5/2/83.

Removing 44sf concrete/brick stoop

- Notes.
- 1) This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing
  - 2) This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements
  - 3) This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing
  - 4) No title report furnished



Certification: This is to certify that the improvements indicated hereon are located as shown

*Braden A. Rogers*  
GRADEN A. ROGERS - Prop. L.S. MD. Lic. No 119

LIBER \_\_\_\_\_ FOLI \_\_\_\_\_  
 LOT 6 BLOCK \_\_\_\_\_ SECT. \_\_\_\_\_ PLAT \_\_\_\_\_  
 PLAT ENTITLED CEDAR HAVEN  
 RECORDED IN SILVER SPRING COUNTY MD  
 PLAT BOOK 30 FOLI 88

470 CEDAR HAVEN ROAD  
 SCALE 1" = 50' CASE NO. 200255  
 DATE 4/3 1995 JOB NO. 98711

CRITICAL AREA COMMISSION  
 CHESAPEAKE AND ATLANTIC COASTAL BAYS  
 1804 WEST STREET, SUITE 100  
 ANNAPOLIS, MD 21401

PROJECT NOTIFICATION APPLICATION

**GENERAL PROJECT INFORMATION**

Jurisdiction: Anne Arundel County

Date:

Tax Map #	Parcel #	Block #	Lot #	Section
0032	0477	~	16	-

Tax ID: 317631956200

**FOR RESUBMITTAL ONLY**

- Corrections
- Redesign
- No Change
- Non-Critical Area

\*Complete Only Page 1  
 General Project Information

Project Name (site name, subdivision name, or other) Sala Residence

Project location/Address 470 Cedar Haven Rd

City Annapolis Zip 21012

Local case number original Building Permit Number: B02419760

Applicant: Last name Sala First name Zygmunt

Company N/A

**Application Type (check all that apply):**

- |  |  |
|--|--|
| Building Permit <input type="checkbox"/>           | Variance <input checked="" type="checkbox"/> |
| Buffer Management Plan <input type="checkbox"/>    | Rezoning <input type="checkbox"/>            |
| Conditional Use <input type="checkbox"/>           | Site Plan <input type="checkbox"/>           |
| Consistency Report <input type="checkbox"/>        | Special Exception <input type="checkbox"/>   |
| Disturbance > 5,000 sq ft <input type="checkbox"/> | Subdivision <input type="checkbox"/>         |
| Grading Permit <input type="checkbox"/>            | Other <input type="checkbox"/>               |

**Local Jurisdiction Contact Information:**

Last name AACo Zoning Administration Section First name \_\_\_\_\_

Phone # 410-222-7437 Response from Commission Required By TBD

Fax # \_\_\_\_\_ Hearing date TBD

**SPECIFIC PROJECT INFORMATION**

Describe Proposed use of project site:

*Deck construction (28 sq FT) to Replace Brick Stoop and wooden steps (90 sq FT).*

Intra-Family Transfer	Yes <input type="checkbox"/>	Growth Allocation	Yes <input type="checkbox"/>
Grandfathered Lot	<input type="checkbox"/>	Buffer Exemption Area	<input type="checkbox"/>

**Project Type (check all that apply)**

Commercial	<input type="checkbox"/>	Recreational	<input type="checkbox"/>
Consistency Report	<input type="checkbox"/>	Redevelopment	<input type="checkbox"/>
Industrial	<input type="checkbox"/>	Residential	<input checked="" type="checkbox"/>
Institutional	<input type="checkbox"/>	Shore Erosion Control	<input type="checkbox"/>
Mixed Use	<input type="checkbox"/>	Water-Dependent Facility	<input type="checkbox"/>
Other	<input type="checkbox"/>		

**SITE INVENTORY (Enter acres or square feet)**

	Acres	Sq Ft	Total Disturbed Area	Acres	Sq Ft
IDA Area		10,585			78
LDA Area		0			
RCA Area		0			
Total Area		10,585	# of Lots Created		

	Acres	Sq Ft		Acres	Sq Ft
Existing Forest/Woodland/Trees		5	Existing Lot Coverage		4228
Created Forest/Woodland/Trees		0	New Lot Coverage		4216
Removed Forest/Woodland/Trees		0	Removed Lot Coverage		12
			Total Lot Coverage		4216

**VARIANCE INFORMATION (Check all that apply)**

	Acres	Sq Ft		Acres	Sq Ft
Buffer Disturbance		78	Buffer Forest Clearing		0
Non-Buffer Disturbance		0	Mitigation		0

<u>Variance Type</u>		<u>Structure</u>	
Buffer	<input checked="" type="checkbox"/>	Acc. Structure Addition	<input type="checkbox"/>
Forest Clearing	<input type="checkbox"/>	Barn	<input type="checkbox"/>
HPA Impact	<input type="checkbox"/>	Deck	<input checked="" type="checkbox"/>
Lot Coverage	<input type="checkbox"/>	Dwelling	<input type="checkbox"/>
Expanded Buffer	<input type="checkbox"/>	Dwelling Addition	<input type="checkbox"/>
Nontidal Wetlands	<input type="checkbox"/>	Garage	<input type="checkbox"/>
Setback	<input type="checkbox"/>	Gazebo	<input type="checkbox"/>
Steep Slopes	<input type="checkbox"/>	Patio	<input type="checkbox"/>
Other	<input type="checkbox"/>	Pool	<input type="checkbox"/>
		Shed	<input type="checkbox"/>
		Other	<input type="checkbox"/>

## Critical Area Narrative

A paragraph or less on a separate sheet addressing each point listed below:

- Describe the proposed use of the subject property and include if the project is residential, commercial, industrial, or maritime

**The subject property (470 Cedar Haven Rd, Arnold, MD 21012) is residential used as my primary residence.**

- Describe the type of predominant trees and shrubs on the subject property. Include a statement addressing the square footage of the property that is vegetated with trees and shrubs, how much of the property will be disturbed by the proposed development, and how the disturbance will be mitigated.

**The predominate trees are cedar, cherry, and Fig. The house is surrounded by flower/shrub beds that contain fig shrubs, various bushes, grasses, flowers, ferns. The flower beds encompass approximately 700 Sq Ft. The total amount of property disturbed will be a result of installing 6 support posts mostly in the existing flower beds. The flower beds have existing wooden edging. No trees or shrubs will be disturbed. The installer: The Fence and Deck Connection will mitigate the disturbance as required.**

- Describe the methods to minimize impacts on water quality and habitat from proposed construction (i.e. stormwater management, sediment control, and silt fence).

**The project is very small and the area to be disturbed is almost level ground. The project should be completed and stabilized in one day.**

- Calculate the impervious surface before and after construction, including all structures, gravel areas, driveways, and concrete areas.

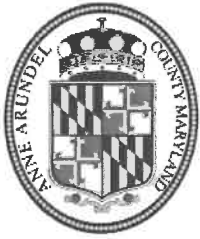
**Before construction: 4228. After Construction: 4216. Please note that the proposed deck will have 12 Sq Ft less impervious surface than the existing brick stoop and wooden stairs.**

- If applicable, describe any habitat protection areas on the subject property including expanded buffers, steep slopes of 15% or greater, rare and endangered species, anadromous fish propagation waters, colonial waterbird nesting sites, historic waterfowl staging and concentration areas, riparian forests, natural heritage areas, and plant and wildlife habitats of local significance.

N/A



Zygmunt E Sala  
470 Cedar Haven Rd  
Arnold, MD 21012  
Home Phone: 410-431-7248  
Cell Phone: 410-570-6477



**OFFICE OF PLANNING AND ZONING**  
**CONFIRMATION OF PRE-FILE**

**PRE-FILE #:** 2023-0028-P  
**DATE:** 09/12/2023  
**OPZ STAFF:** Jennifer Lechner  
Kelly Krinetz

**APPLICANT/REPRESENTATIVE:** ZYGMUNT & CHERYL SALA

**EMAIL:** zsala@verizon.net

**SITE LOCATION:** 470 CEDAR HAVEN RD ARNOLD 21012

**LOT SIZE:** 10,585 sqft

**ZONING:** R5      **CA DESIGNATION:** IDA      **BMA:** NO      **or**      **BUFFER:** YES      **APPLICATION TYPE:** Variance

---

The applicants are requesting the following variances for additions to the existing dwelling:

1. A variance to allow disturbance to slopes exceeding 15% in the Chesapeake Bay Critical Area (Article 17-8-201).
2. A variance to allow disturbance within the 100' Chesapeake Bay Critical Area Expanded Buffer (Article 18-2-301 (t)).

**COMMENTS**

**Critical Area Team:** offers no objection to the proposal.

**Zoning Administration Section:** In accordance with § 18-13-104 (a), there shall be a minimum 100-foot buffer landward from the mean high-water line of tidal waters, tributary streams, and tidal wetlands. Specific development criteria apply as set forth in Article 17 of this Code and COMAR. The proposed work will disturb the 100 ft buffer. A variance will be required to disturb the buffer.

The applicants are reminded that, in order for the Administrative Hearing Officer to grant approval of the variances, the proposal must meet ALL of the Critical Area variance standards provided under Section 18-16-305, which includes the requirement that the variance must be the minimum necessary to afford relief.

The Letter of Explanation for your variance submission should demonstrate that you meet all of those standards.

**INFORMATION FOR THE APPLICANT**

Section 18-16-301 (c ) Burden of Proof. The applicant has the burden of proof, including the burden of going forward with the production of evidence and the burden of persuasion, on all questions of fact. The burden of persuasion is by a preponderance of the evidence.

A variance to the requirements of the County's Critical Area Program may only be granted if the Administrative Hearing Officer makes affirmative findings that the applicant has addressed all the requirements outlined in Article 18-16-305. Comments made on this form are intended to provide guidance and are not intended to represent support or approval of the variance request.

**CRITICAL AREA REPORT WORKSHEET TO ACCOMPANY THE SITE PLAN**

Permit Number B02419760

Total Site Area 10,585 Square Feet (1 Acre = 43,560 Square Feet)

Total Wooded Area 0 Square Feet- 'Wooded' MEANS A BIOLOGICAL COMMUNITY DOMINATED BY TREES AND OTHER WOODY PLANTS (SHRUBS AND UNDERGROWTH), INCLUDING FORESTS THAT HAVE BEEN CUT BUT NOT CLEARED.

\* Please Indicate Square Footage of Woodland Removed for the following:

- 1. House 0 Sq. Ft.
- 2. Septic or sewer 0 Sq. Ft.
- 3. Well 0 Sq. Ft.
- 4. Driveway 0 Sq. Ft.
- 5. Accessory Structure 0 Sq. Ft.
- 6. Additions 0 Sq. Ft.
- 7. Storm Water Management 0 Sq. Ft.
- 8. Other Clearing: work area; access; stockpiles, etc. 0 Sq. Ft.

\* Total Woodland Removed = 0 Sq. Ft.

"Impervious Coverage" IS ANY SURFACE THAT WILL NOT ABSORB LIQUID. THIS INCLUDES ROOFS, SIDEWALKS, DRIVEWAYS, AND ANY TYPE OF PAVEMENT. COMPACTED GRAVAEL IS CONSIDERED AN IMPERVIOUS SURFACE.

\* Please Indicate Square Footage of Impervious Coverage for the following:

- | <u>Existing Impervious</u>                 | <u>Proposed Impervious</u>                |
|--|---|
| 1. House (roof area) <u>3649</u> Sq. Ft.   | 1. House (roof area) <u>0</u> Sq. Ft.     |
| 2. Driveway + Sidewalks <u>433</u> Sq. Ft. | 2. Driveway + Sidewalks <u>0</u> Sq. Ft.  |
| 3. Accessory Structures <u>146</u> Sq. Ft. | 3. Accessory Structures <u>78</u> Sq. Ft. |
|  | 4. Additions <u>0</u> Sq. Ft.             |

\* Total Existing and Proposed Impervious Coverage 4216 Sq. Ft.

Ⓢ PLEASE INCLUDE ALL EXISTING AND PROPOSED SQUARE FOOTAGE.

I Zygmunt E Sala, \_\_\_\_\_, (property owner and contract purchaser, if applicable) hereby certify that the above critical area worksheet is true and correct based upon personal knowledge. I further declare that a copy of the foregoing document will be transferred to any purchaser of this property from me (or corporation, if applicable) at the time of settlement. I hereby understand that these computations shall be a binding part of issuance of a building permit for lot # 16, block # \_\_\_\_\_ of Subdivision Cedar Haven.

I hereby certify that I have seen and read the record plat (if approved after 1986 and subject to Critical Area requirements) and have indicated on the attached site plan any easements, buffers, or other restrictions declared on said plat.

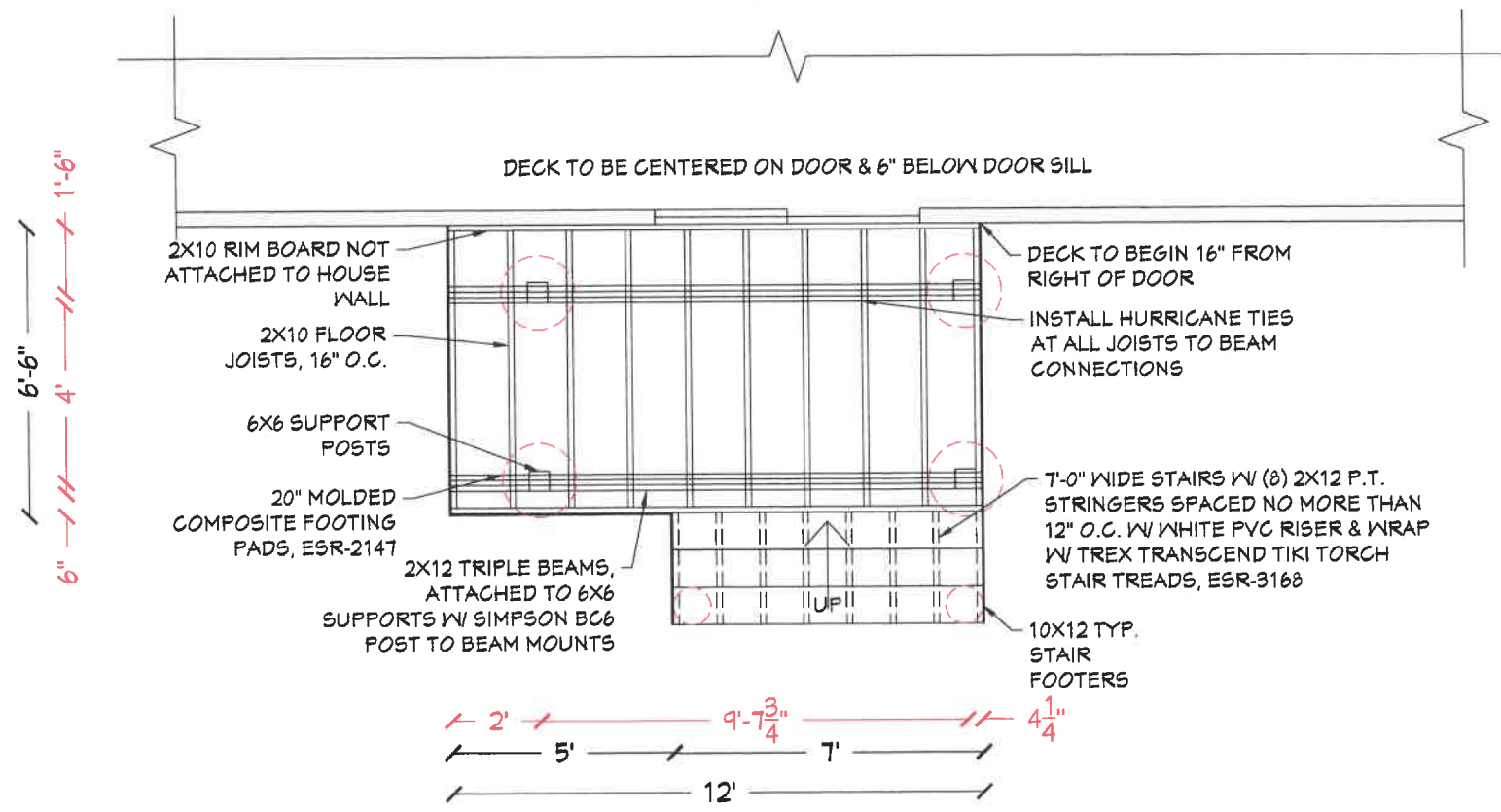
Zygmunt E Sala (Signature) 09/26/23 (Date)  
Property Owner (Title)

\_\_\_\_ (Signature) \_\_\_\_\_ (Date)  
\_\_\_\_ (Title)



**SHEET INDEX**

1	FRAMING
2	DECK
3	LT. ELEVATION
4	RT. ELEVATION
5	FT. ELEVATION
6	CAD DETAILS
T	FOOTING DETAIL



DECK TO BE CENTERED ON DOOR & 6" BELOW DOOR SILL

2X10 RIM BOARD NOT ATTACHED TO HOUSE WALL

2X10 FLOOR JOISTS, 16" O.C.

6X6 SUPPORT POSTS

20" MOLDED COMPOSITE FOOTING PADS, ESR-2147

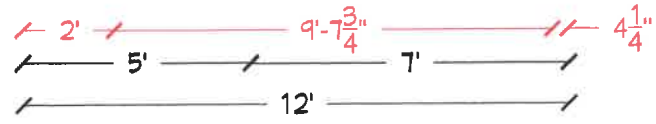
2X12 TRIPLE BEAMS, ATTACHED TO 6X6 SUPPORTS W/ SIMPSON BC6 POST TO BEAM MOUNTS

DECK TO BEGIN 16" FROM RIGHT OF DOOR

INSTALL HURRICANE TIES AT ALL JOISTS TO BEAM CONNECTIONS

7'-0" WIDE STAIRS W/ (8) 2X12 P.T. STRINGERS SPACED NO MORE THAN 12" O.C. W/ WHITE PVC RISER & WRAP W/ TREX TRANSCEND TIKI TORCH STAIR TREADS, ESR-3168

10X12 TYP. STAIR FOOTERS



**JOB NOTES:**  
1. CUSTOMER IS GOING TO DEMO BRICK/CONCRETE PORCH.

**DECK MATERIALS:**  
1. DECKING-TREX TRANSCEND TIKI TORCH, ESR-3168.  
2. WRAP - WHITE PVC TEXTURED SIDE OUT.

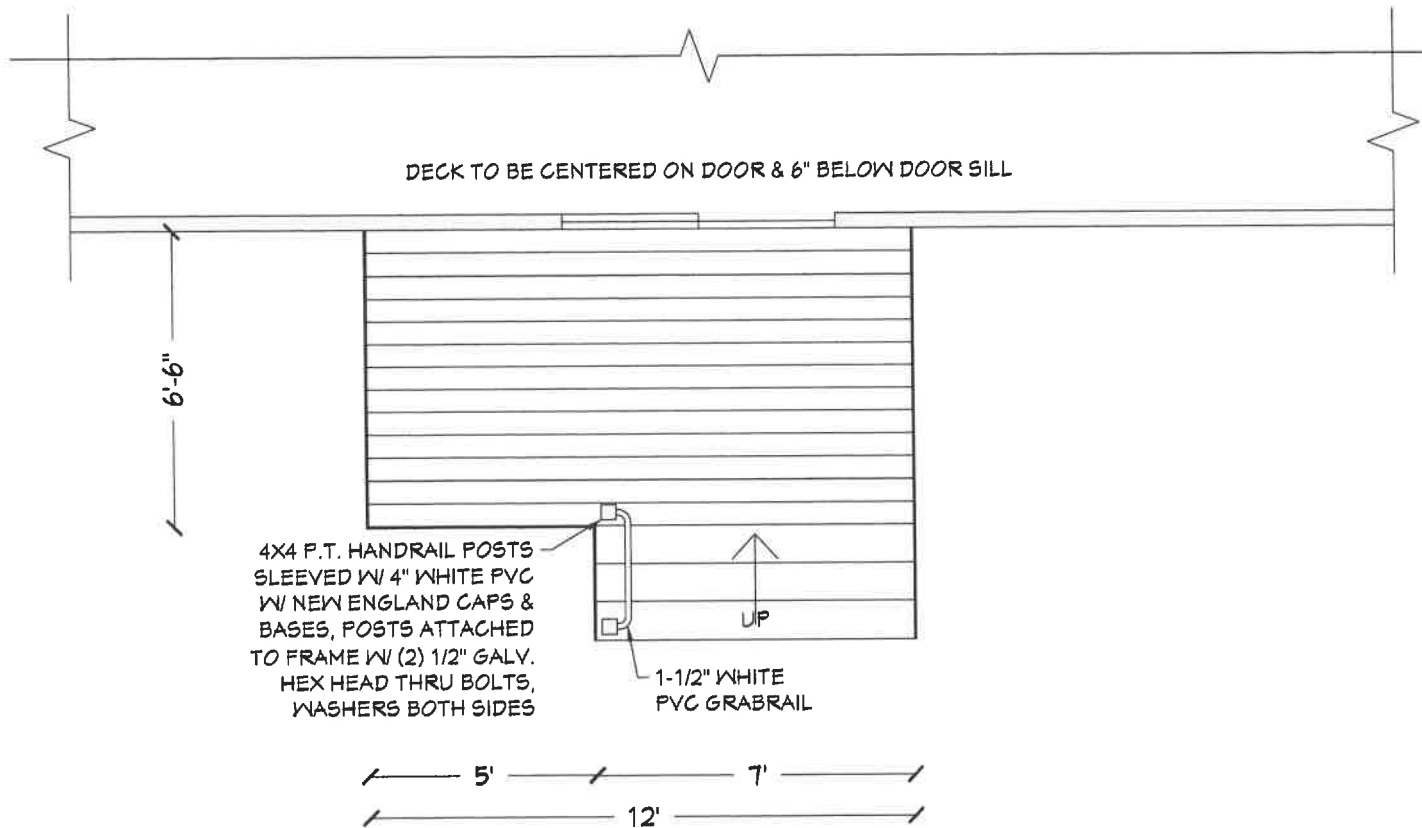
**PROJECT DESCRIPTION:**  
Sala Deck Layout  
Cheryl Sala  
470 Cedar Haven Road,  
Arnold, Maryland 21012

**DRAWINGS PROVIDED BY:**  
Fence & Deck Connection, Inc.  
8057 Veterans Highway  
Millersville, MD, 21108  
410-969-4444  
www.fenceanddeckconnection.com

**DATE:**  
08/01/2023

**SCALE:**  
PER PLAN

**SHEET:**  
A-1



**DECK LAYOUT**

Scale : 3/8" = 1'-0"

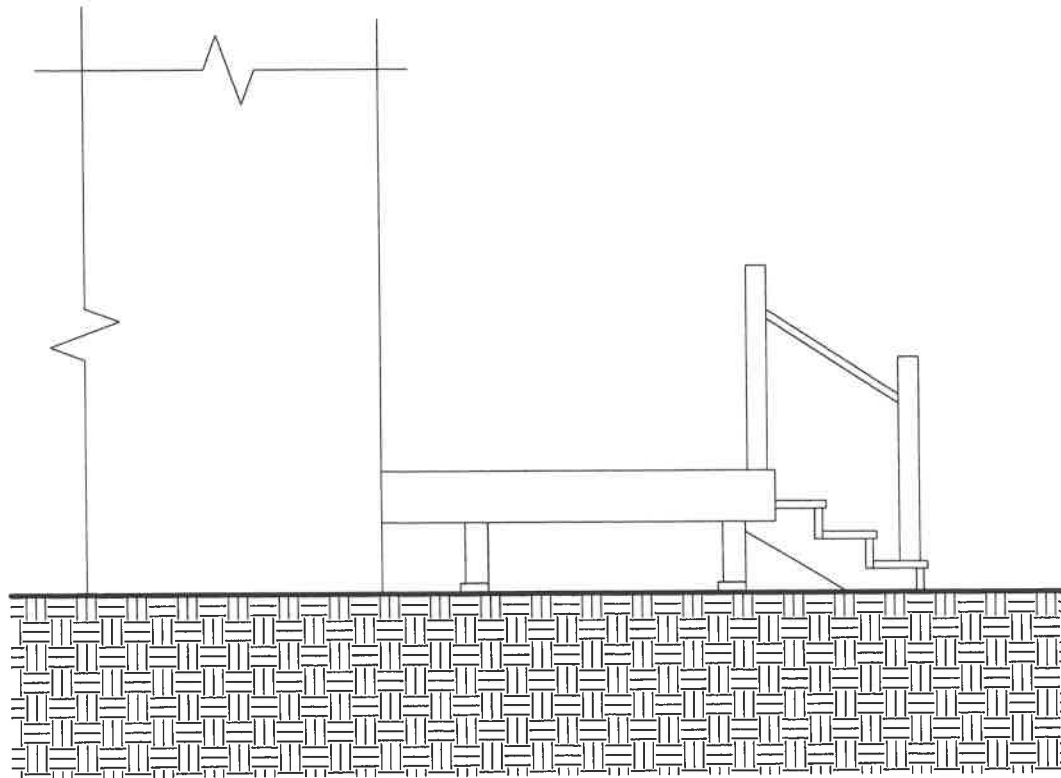
SHEET INDEX

1	FRAMING
2	DECK
3	L.T. ELEVATION
4	PT. ELEVATION
5	RT. ELEVATION
6	CAD DETAILS
7	FOOTING DETAIL

PROJECT DESCRIPTION:  
 Sala Deck Layout  
 Cheryl Sala  
 470 Cedar Haven Road,  
 Arnold, Maryland 21012

DRAWINGS PROVIDED BY:  
 Fence & Deck Connection, Inc.  
 8057 Veterans Highway  
 Millersville, MD, 21108  
 410-969-4444  
[www.fenceanddeckconnection.com](http://www.fenceanddeckconnection.com)

DATE:	08/01/2023
SCALE:	PER PLAN
SHEET:	A-2



**LEFT ELEVATION**

Scale : 1/2" = 1'-0"

SHEET INDEX

1	FRAMING
2	DECK
3	LT. ELEVATION
4	FT. ELEVATION
5	RT. ELEVATION
6	CAD DETAILS
7	FOOTING DETAIL

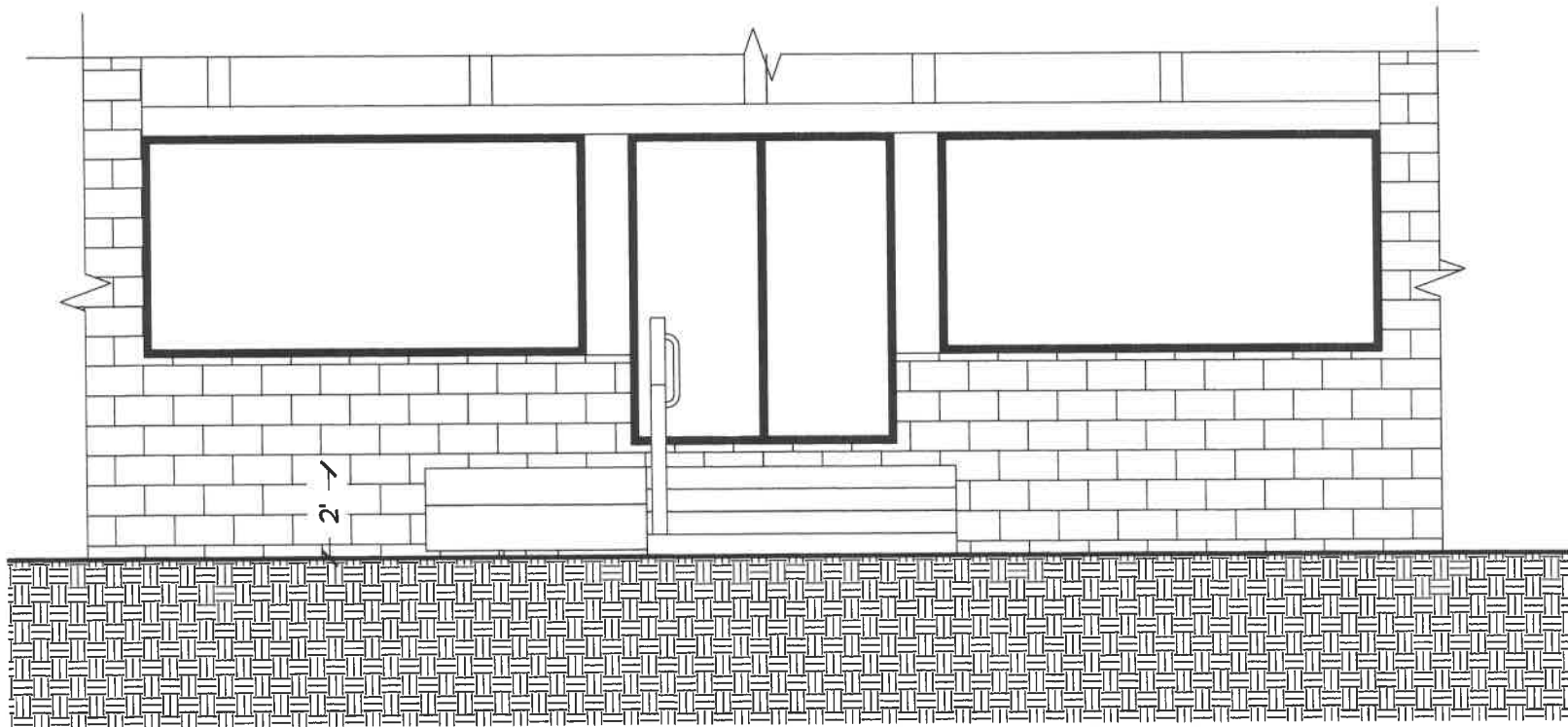
**PROJECT DESCRIPTION:**  
Sala Deck Layout  
Cheryl Sala  
470 Cedar Haven Road,  
Arnold, Maryland 21012

**DRAWINGS PROVIDED BY:**  
Fence & Deck Connection, Inc.  
8057 Veterans Highway  
Millersville, MD, 21106  
410-967-4444  
[www.fencedeckconnection.com](http://www.fencedeckconnection.com)

**DATE:**  
08/01/2023

**SCALE:**  
PER PLAN

**SHEET:**  
A-3



**FRONT ELEVATION**

Scale : 3/8" = 1'-0"

- SHEET INDEX**
- 1 FRAMING
  - 2 DECK
  - 3 LT. ELEVATION
  - 4 FT. ELEVATION
  - 5 RT. ELEVATION
  - 6 CAD DETAILS
  - 7 FOOTING DETAIL

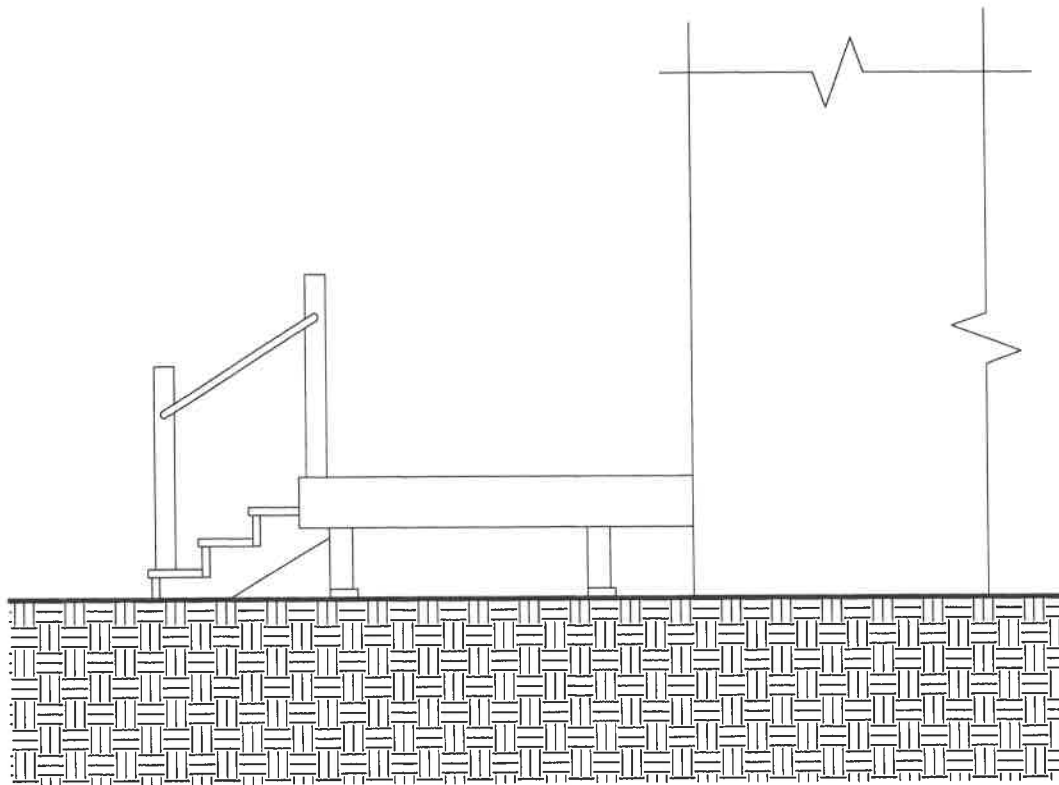
**PROJECT DESCRIPTION:**  
 Sala Deck Layout  
 Cheryl Sala  
 470 Cedar Haven Road,  
 Arnold, Maryland 21012

**DRAWINGS PROVIDED BY:**  
 Fence & Deck Connection, Inc.  
 8057 Veterans Highway  
 Millersville, MD, 21106  
 410-464-4444  
[www.fenceanddeckconnection.com](http://www.fenceanddeckconnection.com)

**DATE:**  
 08/01/2023

**SCALE:**  
 PER PLAN

**SHEET:**  
 A-4



**RIGHT ELEVATION**

Scale : 1/2" = 1'-0"

SHEET INDEX

1	FRAMING
2	DECK
3	LT. ELEVATION
4	FT. ELEVATION
5	RT. ELEVATION
6	CAD DETAILS
7	FOOTING DETAIL

PROJECT DESCRIPTION:  
Sala Deck Layout  
Cheryl Sala  
470 Cedar Haven Road,  
Arnold, Maryland 21012

DRAWINGS PROVIDED BY:  
Fence & Deck Connection, Inc.  
805T Veterans Highway  
Millersville, MD, 21108  
410-469-4444  
www.fenceanddeckconnection.com

DATE:  
08/01/2023

SCALE:  
PER PLAN

SHEET:  
A-5

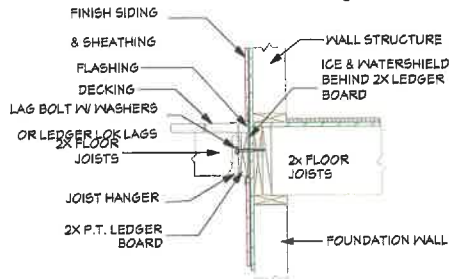
DETAIL SHEET  
SCALE: 1/2" = 1'-0"

GENERAL NOTES:  
ALL FASTENERS SHALL BE ACQ APPROVED.  
ALL LUMBER TO BE #2 S. PINE OR BETTER.  
ALL WOOD RAILING AND DECKING TO BE #1 S. PINE.  
ALL LUMBER SHALL BE P.T.

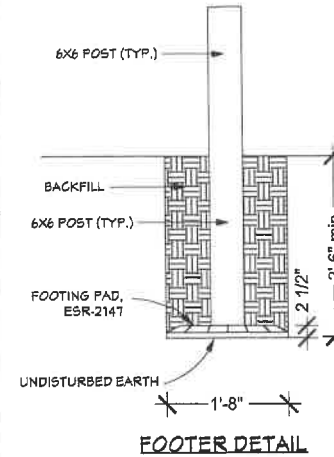
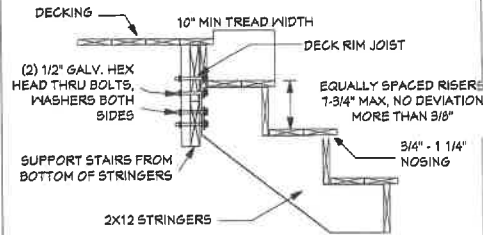
JOB NOTES:

1. 2X10 FLOOR JOISTS, PRESSURE TREATED.
2. 2X12 TRIPLE BEAMS, PRESSURE TREATED.
3. 6X6 SUPPORT POSTS, PRESSURE TREATED.
4. TREX TRANSCEND TIKI TORCH ECKING W/ HIDDEN FASTENERS, ESR-3166.
5. WHITE PVC WRAP (TEXTURED SIDE OUT).

Deck Anchored to Wood Wall: Ledger to Wall



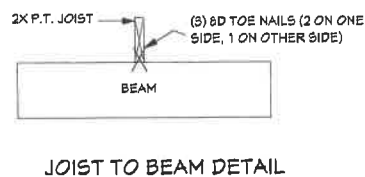
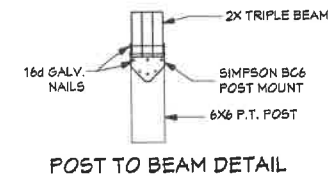
Exterior Stair Detail



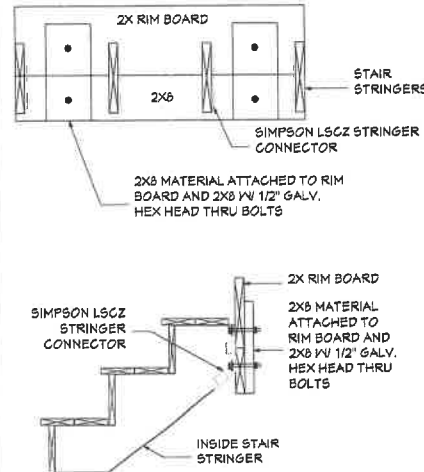
SHEET INDEX

1	FRAMING
2	DECK
3	L.T. ELEVATION
4	FT. ELEVATION
5	RT. ELEVATION
6	CAD DETAILS
7	FOOTING DETAIL

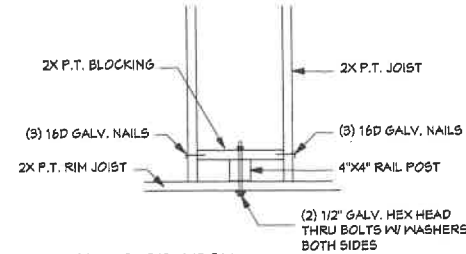
PROJECT DESCRIPTION:  
Sala Deck Layout  
Cheryl Sala  
470 Cedar Haven Road,  
Arnold, Maryland 21012



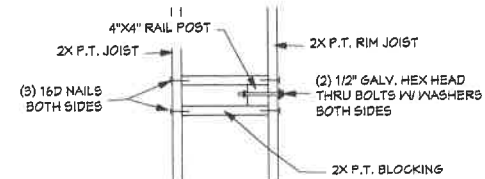
STAIR STRINGER ATTACHMENT



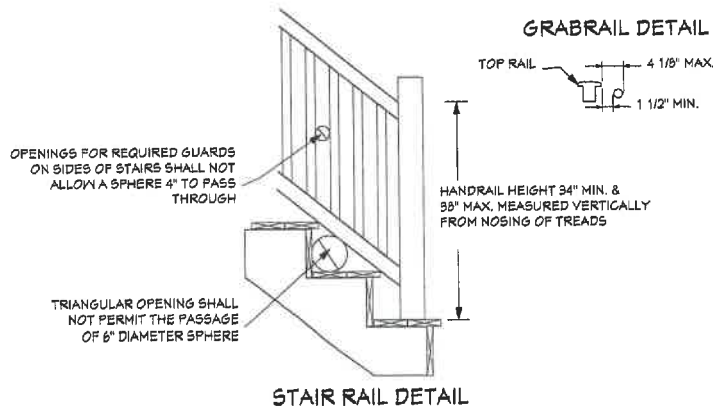
FRONT OF DECK ATTACHMENT



SIDES OF DECK ATTACHMENT

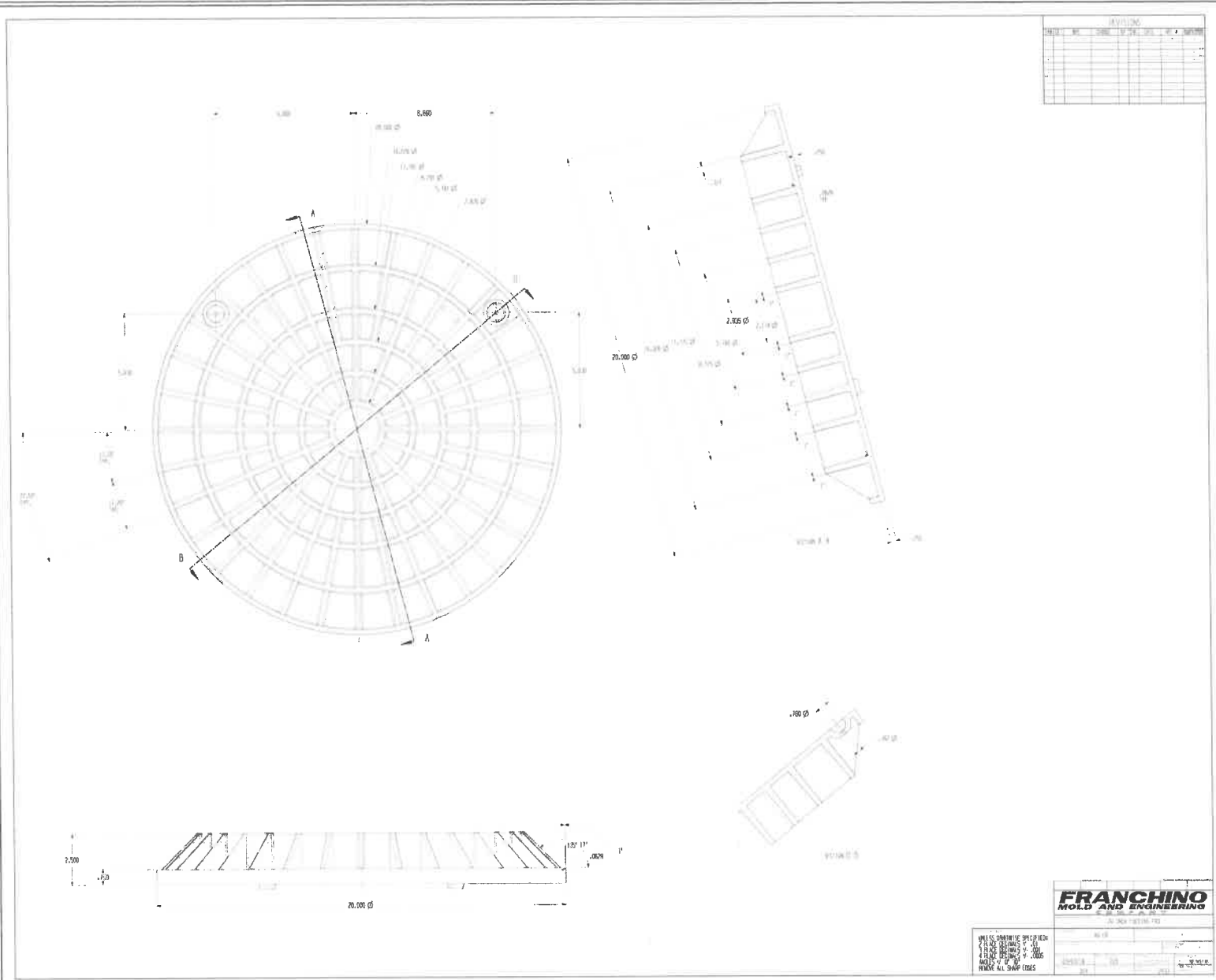


RAILING POST ATTACHMENT



DRAWINGS PROVIDED BY:  
Fence & Deck Connection, Inc.  
2051 Veterans Highway  
Millersville, MD, 21108  
410-969-4444  
www.fencedeckconnection.com

DATE:	08/01/2023
SCALE:	PER PLAN
SHEET:	A-6



**SHEET INDEX**

1	FRAMING
2	DECK
3	L.T. ELEVATION
4	FT. ELEVATION
5	RT. ELEVATION
6	CAD DETAILS
7	FOOTING DETAIL

**PROJECT DESCRIPTION:**  
 Sala Deck Layout  
 Cheryl Sala  
 410 Cedar Haven Road,  
 Annapolis, Maryland 21012

**DRAWINGS PROVIDED BY:**  
 Fence & Deck Connection, Inc.  
 805T Veterans Highway  
 Millersville, MD, 21108  
 410-969-4444  
 www.fencedeckconnection.com

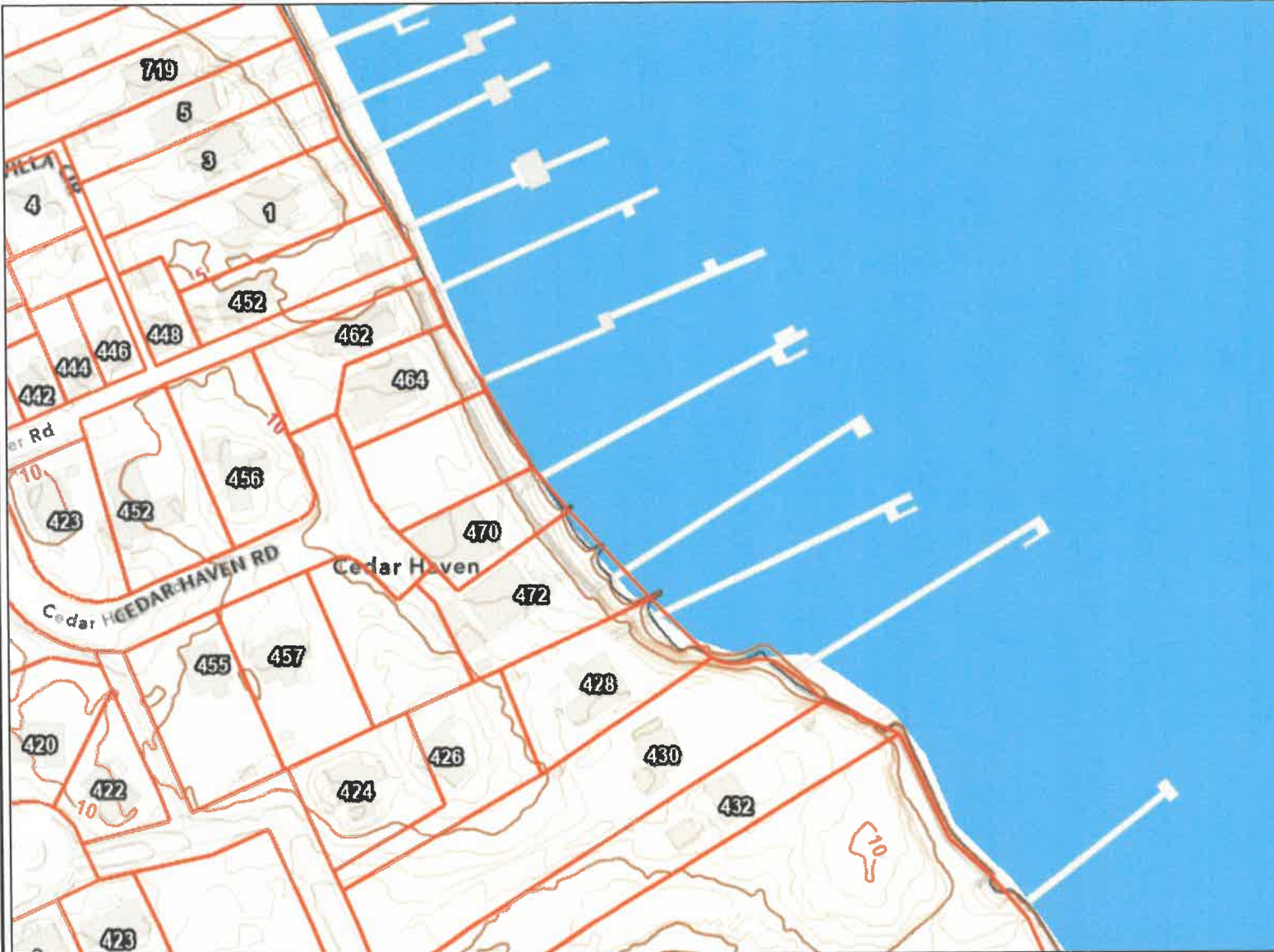
**DATE:**  
 08/01/2023

**SCALE:**  
 PER PLAN

**SHEET:**  
 A-7

**FRANCHINO**  
 MOLD AND ENGINEERING  
 3000 W. 10th Street  
 Oklahoma City, Oklahoma 73106  
 (405) 591-1100  
 www.franchino.com

# Topographic Map - - Lot outline Ref ONLY not exact



## Legend

- Foundation
  - Addressing
  - Parcels
- Elevation
  - Topo 2020
  - Index
  - Intermediate



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

Esri Community Maps Contributors,  
 County of Anne Arundel, VGIN, ©  
 OpenStreetMap, Microsoft, Esri,  
 HERE, Garmin, SafeGraph,  
 GeoTechnologies, Inc, METI/NASA,

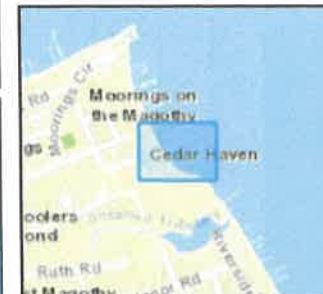
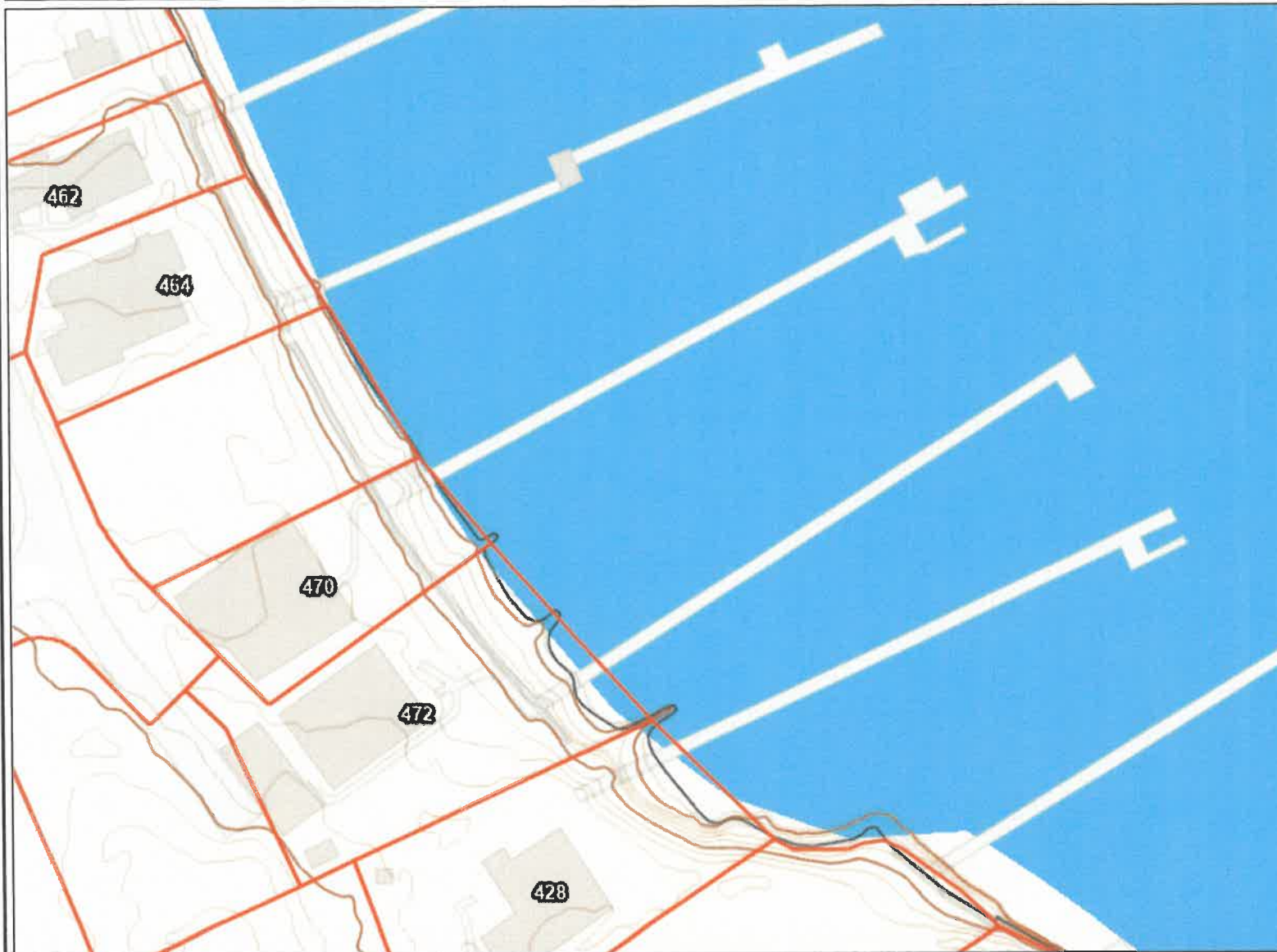


THIS MAP IS NOT TO BE  
 USED FOR NAVIGATION

Notes 1" = 200 ft - Lot outline Ref ONLY not exact



# Topographic Map - - Lot outline Ref ONLY not exact



## Legend

Foundation

Addressing



Parcels



Elevation

Topo 2020

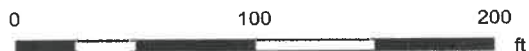
Index

Intermediate



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

Esri Community Maps Contributors,  
County of Anne Arundel, VGIN, ©  
OpenStreetMap, Microsoft, Esri,  
HERE, Garmin, SafeGraph,  
GeoTechnologies, Inc, METI/NASA,



THIS MAP IS NOT TO BE  
USED FOR NAVIGATION

Notes 1" = 100 ft - Lot outline Ref ONLY not exact