

Letter of Explanation

3545 Narragansett Ave
Annapolis MD 21403
Tax ID: 02-002-02234400

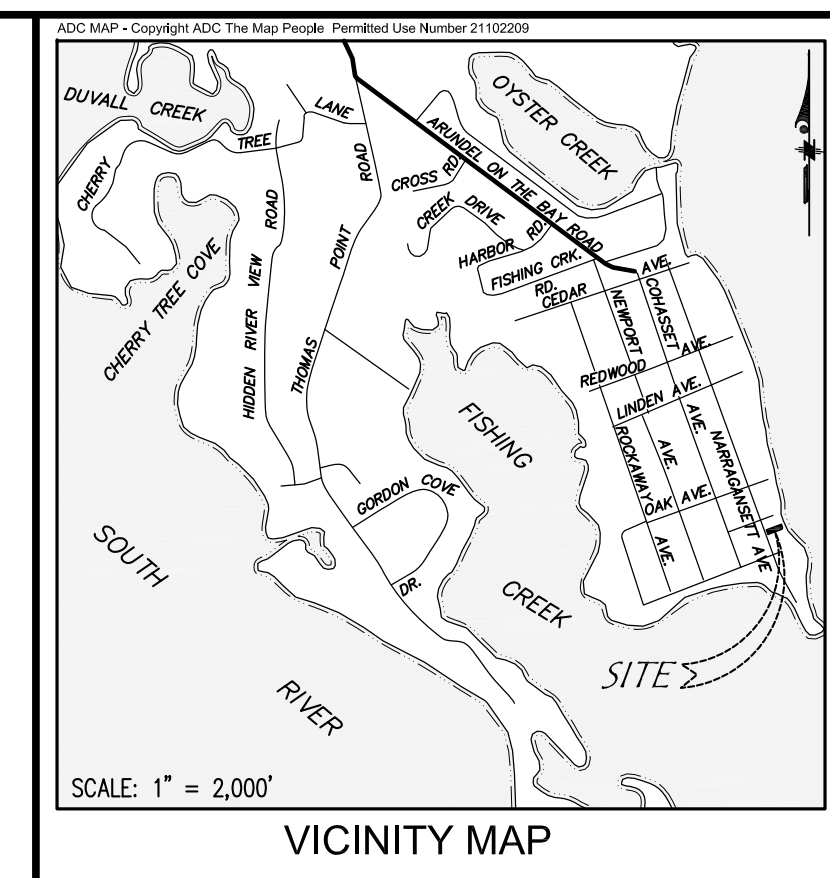
3545 Narragansett Ave is a 8901 sqft property with a 1 ½ story primary dwelling on it. The current lot coverage is 2950 sqft to include the dwelling, 1 ½ story attached garage, open deck, side walk and driveway. The proposed project that I have will stay within the current footprint of the existing home, apart from the roof on the southeast side of the garage. A dormer will be added to the north and south sides of the existing garage to give way to easier head room. This will not provide additional living space; it will only allow the average human to stand up straight in the room. There will be some lot coverage removed as well leaving the lot coverage at 2625 sqft with all proposed alterations.

I am seeking relief from code 18-4-601 for the 7ft side lot line setback. I believe an exception would maximize the enjoyment of the property and ease of access in the proposed dormers on the 2nd story room above the garage. It is highly unlikely that granting this variance would cause hardship to the community or surrounding properties as the current exterior wall sits at 5.8 ft into the setback.

Currently the dwelling is encroaching on the 7' required setback at 5.8ft, the proposed project would add head space in the attached garage with a dormer on the North and South sides of the garage. The end of the roof would line up with the current setback at 5.8 ft.

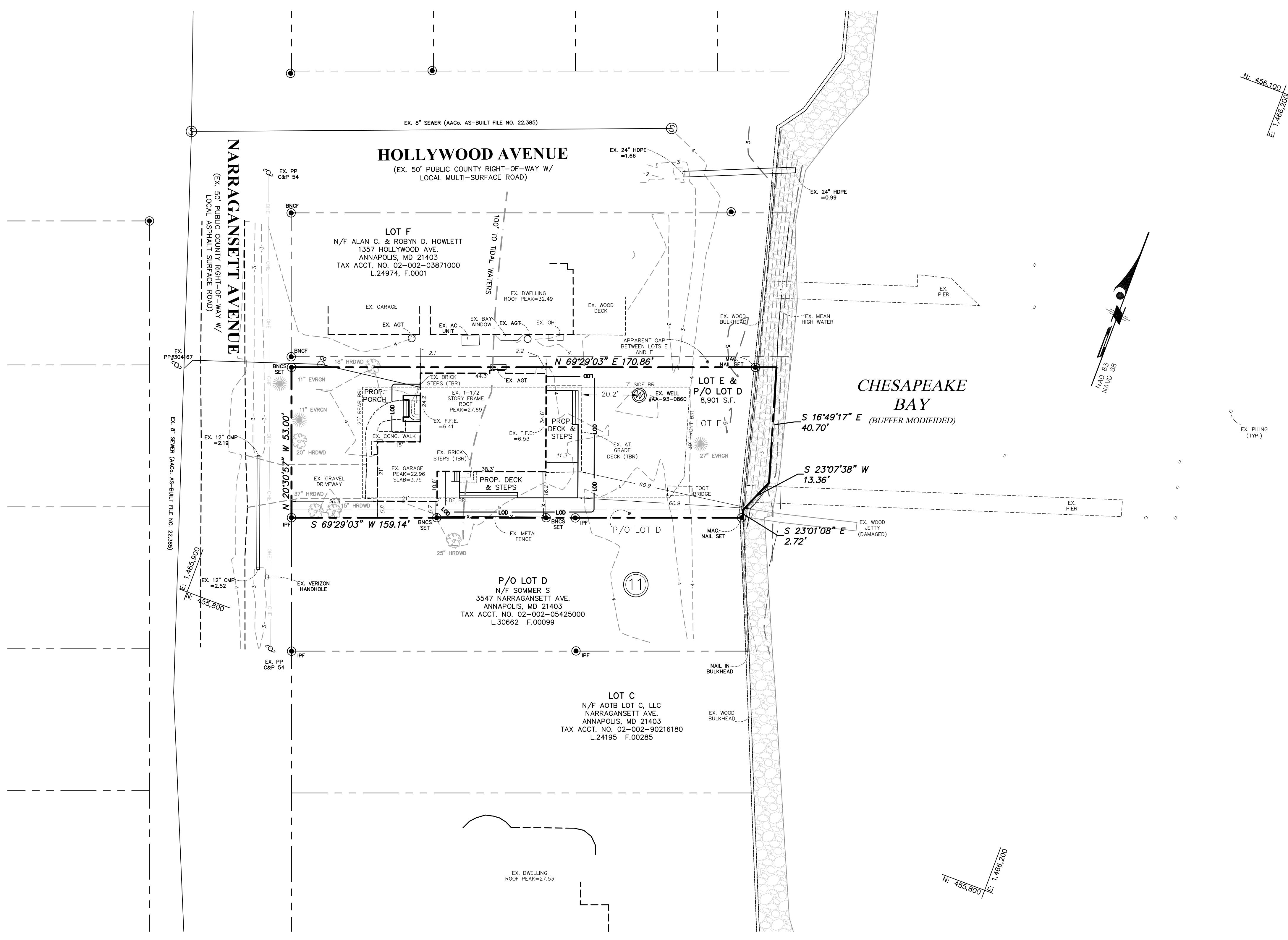
The exterior renovations will also include a deck that will be to the southeast of the existing deck on the waterfront (north side) of the home, the existing deck will be shortened so it will be further from the shoreline. All other renovations will be interior alterations and will be compliant with county code once decided through the permit process.

Thank you for your consideration.



LINE	LENGTH	DIRECTION
L1	53.00'	N20°30'57"W
L2	170.86'	N69°29'03"E
L3	40.70'	S16°49'17"E
L4	13.36'	S23°07'38"W
L5	2.72'	S23°01'08"E
L6	159.14'	S69°29'03"W

- FLOODPLAIN NOTES**
- Zone VE
 - Bench Mark Station AACo. Mon. #2219 Elevation 3.38 (NAVD 88)
 - 100 Year Floodplain Elevation: 9.2 (NAVD 88)
 - See Flood Insurance Rate Map: 24003C0262E.
 - Lowest Floor Level Elevation: 10.2 FT (NAVD 88)
 - All electrical outlets shall be above the first floor elevation & the panel box a minimum 2' above the first floor elevation.
 - All plumbing fixtures shall be above elevation 10.2 (NAVD 88)



LEGEND

	EXISTING CONTOUR
	EX. WOODS LINE
	EX. OVERHEAD POWER LINE
	EX. SEWER LINE
	LIMIT OF DISTURBANCE
	PROPOSED GRADE
	PROPOSED SPOT ELEV.
	MEAN HIGH WATER LINE
	100' TO TIDAL WATERS LINE

SITE TABULATIONS

• TOTAL SITE AREA:	8,901 S.F. (0.20 Ac.)
• TOTAL ON-SITE DISTURBED AREA:	1,489 S.F. (0.03 Ac.)
• LOT COVERAGE:	
-EXISTING LOT COVERAGE:	2,950 S.F. (0.07 Ac.)
-PROPOSED LOT COVERAGE:	2,625 S.F. (0.06 Ac.)
-ALLOWABLE LOT COVERAGE:	2,782 S.F. (0.06 Ac.)
• CRITICAL AREA DESIGNATION:	LDA
• ZONING:	R-2
SETBACKS:	
-PRINCIPAL STRUCTURE	
FRONT=30', REAR=27', SIDE=7'	

DESIGNED: MWE DRAWN: SOH
 ORIG. DATE: 07 JUL 2023
 MODIFIED BY/DATE:
 CADD DWG #: BP Site Plan
 DLA PROJECT #: AN12223
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REVISIONS TO APPROVED PLANS			
No.	DATE	BY	DESCRIPTION

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CLIENT:
 NICHOLSON MASONRY
 C/O LAYNE JANASICK, PROJECT MANAGER
 1325 MEYERS STATION ROAD
 ODENTON, MARYLAND 21113

BUILDING PERMIT SITE PLAN
ARUNDEL ON THE BAY, LOTS E & P/O D, BLK. 11
 3545 NARRAGANSETT AVENUE, ANNAPOLIS, MARYLAND 21403
 TAX ACCT. No. 02-002-02234400
 GRID 0021 PARCEL 0015 DISTRICT 2ND
 ANNE ARUNDEL COUNTY, MARYLAND
 SCALE: 1" = 20' DATE: 8/4/2023 PROJ. NO: AN12223 SHEET 1 OF 1

Narrative Statement 3545 Narragansett Ave

The proposed project for 3545 Narragansett Ave includes internal renovation to the existing structure, a new roof on the second story of the attached garage, a 760sqft elevated deck to replace the existing waterfront (northeast) deck and extends down the southeast side of the structure. The shoreline's integrity will be protected with a silt fence and any other requirements for stormwater management will be followed once county decision has been made. Currently there is 2950 sqft of lot coverage, with proposed renovations the lot coverage will be 2625 sqft, total lot area is 8901 sqft. Currently there are 7 large trees on the property to include 3 Evergreens and 4 Hardwood trees, none of these trees will be impacted by the proposed project.

CRITICAL AREA REPORT WORKSHEET TO ACCOMPANY THE SITE PLAN

Permit Number _____

Total Site Area 8901 Square Feet (1 Acre = 43,560 Square Feet)

Total Wooded Area 5.04 Square Feet- 'Wooded' MEANS A BIOLOGICAL COMMUNITY DOMINATED BY TREES AND OTHER WOODY PLANTS (SHRUBS AND UNDERGROWTH), INCLUDING FORESTS THAT HAVE BEEN CUT BUT NOT CLEARED.

* Please Indicate Square Footage of Woodland Removed for the following:

- | | |
|----------------------------------|--|
| 1. House _____ Sq. Ft. | 5. Accessory Structure _____ Sq. Ft. |
| 2. Septic or sewer _____ Sq. Ft. | 6. Additions _____ Sq. Ft. |
| 3. Well _____ Sq. Ft. | 7. Storm Water Management _____ Sq. Ft. |
| 4. Driveway _____ Sq. Ft. | 8. Other Clearing: work area; access; stockpiles, etc. _____ Sq. Ft. |

* Total Woodland Removed = 0 Sq. Ft.

"Impervious Coverage" IS ANY SURFACE THAT WILL NOT ABSORB LIQUID. THIS INCLUDES ROOFS, SIDEWALKS, DRIVEWAYS, AND ANY TYPE OF PAVEMENT. COMPACTED GRAVAEL IS CONSIDERED AN IMPERVIOUS SURFACE.

* Please Indicate Square Footage of Impervious Coverage for the following:

- | <u>Existing Impervious</u> | <u>Proposed Impervious</u> |
|---|---|
| 1. House (roof area) <u>~1550</u> Sq. Ft. | 1. House (roof area) _____ Sq. Ft. |
| 2. Driveway + Sidewalks <u>~320</u> Sq. Ft. | 2. Driveway + Sidewalks _____ Sq. Ft. |
| 3. Accessory Structures _____ Sq. Ft. | 3. Accessory Structures _____ Sq. Ft. |
| | 4. Additions <u>760 (Elevated Deck)</u> Sq. Ft. |

* Total Existing and Proposed Impervious Coverage 0 Sq. Ft.

Ⓞ PLEASE INCLUDE ALL EXISTING AND PROPOSED SQUARE FOOTAGE.

I Layne Janasik, _____, (property owner and contract purchaser, if applicable) hereby certify that the above critical area worksheet is true and correct based upon personal knowledge. I further declare that a copy of the foregoing document will be transferred to any purchaser of this property from me (or corporation, if applicable) at the time of settlement. I hereby understand that these computations shall be a binding part of issuance of a building permit for lot # D, block # 11 of Subdivision Arundel on the Bay.

I hereby certify that I have seen and read the record plat (if approved after 1986 and subject to Critical Area requirements) and have indicated on the attached site plan any easements, buffers, or other restrictions declared on said plat.

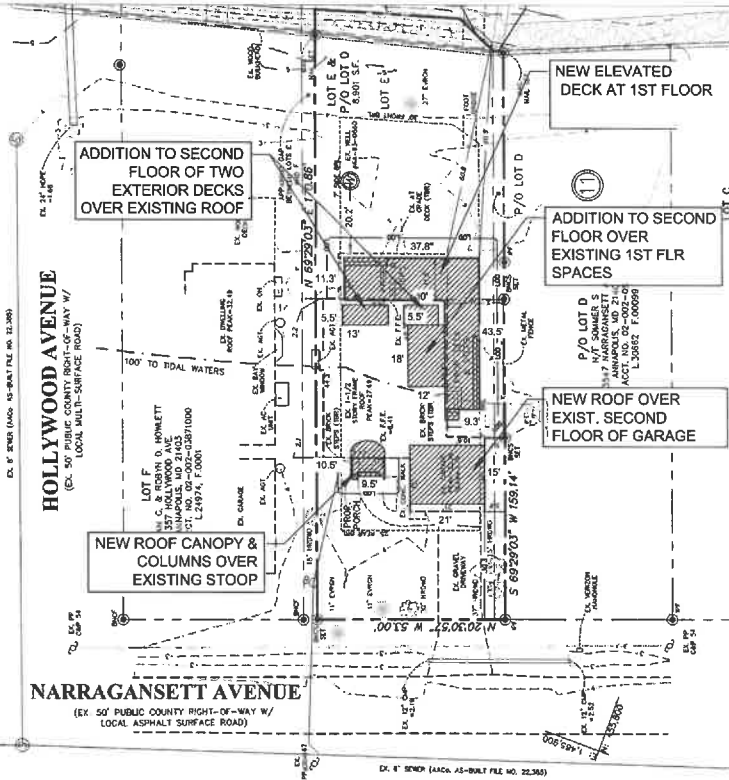
Layne Janasik (Signature) 09/27/2023 (Date)
 Applicant _____ (Title)

 _____ (Signature) _____ (Date)
 _____ (Title)

Burnett Residence

3545 Narragansett Avenue
Annapolis, Maryland 21403

Site Plan N.T.S



Project Narrative

THE PROJECT INVOLVES RENOVATION OF AN EXISTING TWO STORY RESIDENTIAL PROPERTY IN ANNAPOLIS, MARYLAND IN THE ARUNDEL ON THE BAY COMMUNITY.

THE WORK INCLUDES 1) THE ADDITION OF A ROOM ON THE SECOND FLOOR, ABOVE EXISTING FIRST FLOOR SPACE 2) ADDING TWO EXTERIOR DECKS ON THE SECOND FLOOR 3) ADDING AN ELEVATED DECK ON THE FIRST FLOOR 4) ADDING AN ROOF AND COLUMNS OVER THE EXISTING ENTRANCE STOOP 5) REMOVAL AND REPLACEMENT OF THE ROOF OVER THE SECOND FLOOR GARAGE SPACE 6) REMOVAL OF SOME INTERIOR WALLS AND PLUMBING FIXTURE RELOCATION 7) NEW HVAC SYSTEMS 8) NEW EXTERIOR WINDOWS AND DOORS 9) NEW INTERIOR FLOOR AND WALL FINISHES.

Notes and Specifications

- PROVIDE NEW ROOFING ON ENTIRE BUILDING, BOTH NEW AND EXISTING SURFACES WHERE SHOWN ON ROOF PLAN AND ELEVATIONS.
 - THESE ARE THREE TYPES OF ROOFING IN THE PROJECT. SEE ROOF PLAN SHEET A-2.3 FOR LOCATIONS AND EXTENTS.
 - PROVIDE 30 YEAR FIBERGLASS REINFORCED ASPHALT SHINGLES ON 30 LB ROOFING FELT ON EXIST. DECK OR NEW DECKING WHERE SHOWN ON ROOF PLAN AND ELEVATIONS. TIMBERLINE COOL SERIES ARCHITECTURAL SHINGLES OR EQUAL. COLOR TO BE SELECTED BY OWNER.
 - PROVIDE STANDING SEAM METAL ROOFING ON EXIST. ROOF SHEATHING OR NEW ROOF SHEATHING WHERE SHOWN ON ROOF PLAN AND ELEVATIONS. PAC-CLAD WITH KYMAR FINISH, OR EQUAL.
 - PROVIDE MODIFIED BITUMINOUS ROOFING OVER FLAT ROOF. ON EXIST. SHEATHING OR NEW SHEATHING WHERE SHOWN ON ROOF PLAN AND ELEVATIONS. MEMBRANE TO HAVE AN SR OF 78 MIN.
 - PROVIDE ADDITIONAL LAYER OF UNDERLAYMENT ON NEW AND EXISTING ROOFS LESS THAN #12. ADDITIONAL UNDERLAYMENT TO BE SAME AS ICE AND WATER SHELD MATERIAL.
 - PROVIDE ICE AND WATER SHELD AT EAVES EXTENDING 2'-0" FROM EXTERIOR WALLS UP SLOPE.
 - ROOF VENTING: PROVIDE AIR VENT RIDGE SHINGLE VENT 1" CUT BACK DECKING AS READ TO VENT. PROVIDE 3" DIA. BUTTON HOLE SOFFIT VENTING - VERIFY COLOR WITH OWNER AND SEE DETAILS SHEET A-2.3 FOR LOCATION.
 - PROVIDE EAVES BAFFLES BETWEEN EACH TRUSS OVER EXTERIOR WALL BEARING.
 - PRE-FINISHED ALUMINUM 1" DIA. HALF ROUND ALUM. GUTTERS AND 4" ROUND DOWNSPOUTS. PROVIDE GUTTER BRACKETS AT 18" OC. PROVIDE INTEGRAL ALUMINUM GUTTER SCREEN. COLOR TO BE SELECTED BY OWNER. SEE ROOF PLAN SHEET A-2.3 FOR LOCATIONS.
- FRAMING AND SHEATHING:
 - A. ROOF: WOOD ROOF TRUSSES TO BE DESIGNED AND ENGINEERED BY TRUSS MANUFACTURER. TRUSS MANUFACTURER TO PROVIDE SHOP DRAWINGS AND ENGINEERING STAMPS AS REQUIRED BY ANNE ARUNDEL COUNTY PERMIT PROCESS REQUIREMENTS.
 - PROVIDE 5/8" THICK 4824 SPAN RATING PLYWOOD ROOF SHEATHING, PLYWOOD TO COMPLY WITH APA RECOMMENDATIONS.
 - PROVIDE HURRICANE CLIPS AT EACH TRUSS.
 - WALL FRAMING TO BE 2 X 8 STUDS @ 24" O.C. HEADERS OVER WINDOWS TO BE INSULATED WITH 2" RIGID INSUL. RD. BETWEEN DOUBLE 2X'S.
 - FLOOR: PROVIDE 3/4" TAG 4824 SPAN FLOOR SHEATHING/UNDERLAYMENT - APA STURDI-FLOOR OR EQUAL.
- AIR BARRIER:
 - PROVIDE VAPOR PERMEABLE AIR BARRIER OVER EXTERIOR WALL SHEATHING. MANUFACTURER TO BE TYVEK OR EQUAL. FLASH ALL OPENINGS AND PENETRATIONS PER MANUFACTURERS REQUIREMENTS.
- INSULATION:
 - NEW RAFTERS TO HAVE R-49 SPRAY FOAM INSULATION.
 - NEW WALLS TO HAVE R-20 FIBERGLASS BATT INSULATION OR SPRAY FOAM INSULATION.
- EXTERIOR FINISHES:
 - CEMENTITIOUS SIDING PANELS WITH 5/8" CEMENTITIOUS TRIMS. MANUFACTURER TO BE JAMES HARDIE OR EQUAL. SEE ELEVATIONS FOR TYPES, MORTIS AND PATTERNING. PROVIDE SHINGLED CORNERS.
 - WINDOWS TO BE MARVIN CLAD WOOD WINDOWS, TYPE AS SHOWN ON ELEVATIONS, INTERIOR FINISH TO BE TRANSPARENT STAINED WOOD. SEE WINDOW SCHEDULES SHEET A-7.2.
 - NEW EXTERIOR DOORS TO BE MARVIN CLAD DOORS AS SPECIFIED IN THE DOOR SCHEDULE SHEET A-7.1. INTERIOR DOORS TO MATCH EXISTING INTERIOR DOORS IN PANEL STYLE.
- INTERIOR FINISHES:

NOTE: ALL PAPERS, SEALANTS, ADHESIVES AND FINISHES TO BE LOW OR NO VOC COMPOUNDS.

 - FLOORING: NEW WOOD FLOORING THROUGHOUT FIRST AND SECOND FLOOR, EXCEPT IN BATHROOMS. FINISH TO BE WATER CURED/CATALYZED URETHANE. OWNER TO SELECT WOOD TYPE AND FINISH.
 - ALL WALLS AND CEILING TO RECEIVE PRIMER COAT AND TWO FINISH COATS OF LATEX PAINT. COLORS TO BE SELECTED BY OWNER.
 - WINDOW AND BASE TRIMS TO BE TRANSPARENT STAINED WOOD (SPECIES TO BLEND WITH WINDOW TRIM WOOD).
 - NEW INTERIOR DOORS TO BE TRANSPARENT STAINED WOOD (SPECIES TO BLEND WITH DOOR TRIM WOOD). EXISTING DOORS TO REMAIN TO BE STRIPPED AND REFINISHED, OR REPLACED WITH NEW DOORS.
 - NEW BATHROOM TO RECEIVE TILE FLOOR, BASE AND WAINSCOT TO 48" AFF. TILE TO BE 8"-8" HIGH IN SHOWER/BATH ENCLOSURE - SEE INTERIOR ELEVATIONS SHEET FOR EXTENT OF TILE. PROVIDE TILE BACKER BOARD 3/8" X 48" OVER GLASS. 8"X10" WALL TILE SURFACES. TILE TO BE GLAZED OR PORCELAIN AND SELECTED BY OWNER. GROUT COLOR TO BE SELECTED BY OWNER (FROM SAMPLES).
 - SHOWER DOOR AND GLASS SHOWER PARTITIONS TO BE CUSTOM FRAMELESS. OWNER TO SELECT DOOR HARDWARE TYPE AND FINISHES.
- MECHANICAL AND PLUMBING:
 - EQUIPMENT SPECIFICATION AND SIZING TO BE BY MECHANICAL SUBCONTRACTOR.
 - METALL NEW PLUMBING FIXTURES - ALL FIXTURES TO BE SELECTED AND APPROVED BY OWNER. PLUMBING SUBCONTRACTOR TO VERIFY CAPACITY OF EXISTING OWNER'S HOT WATER HEATER TO SERVICE NEW PLUMBING FIXTURES. PROVIDE RECOMMENDATIONS TO OWNER AND COORDINATE WITH ARCHITECT. PROVIDE INSULATION ON ALL HOT WATER PIPING.
 - PROVIDE ELECTRIC DUPLEX AND FIXTURES AS SHOWN IN ELECTRIC LOCATION PLAN SHEET A-4.1. LIGHT FIXTURES TO BE SELECTED BY OWNER.

List of Drawings

- | | |
|-------|--|
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Burnett Residence
3545 Narragansett Avenue, Annapolis, MD 21403

Cover Sheet

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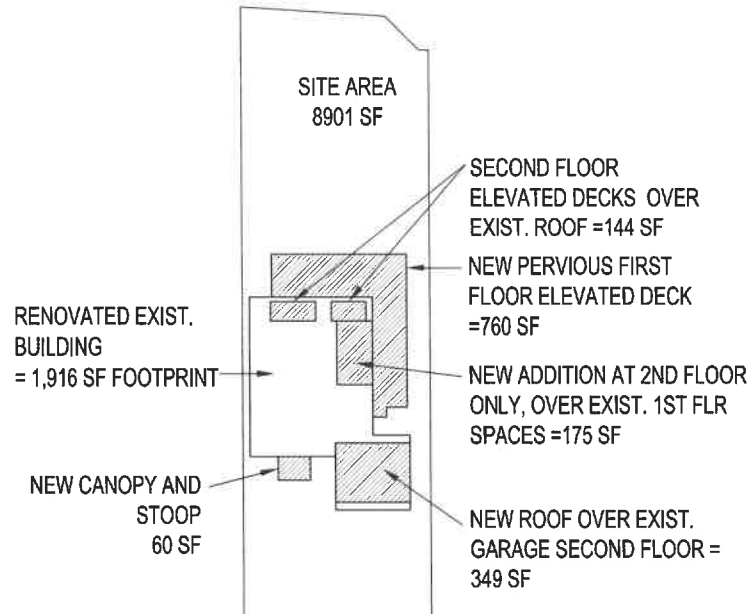
Construction Documents Progress Set

CS-1

09/18/23
2023.01

Variance Request

Area Calculations 1/16" = 1'-0"



Code Study

PROJECT DATA	LOT COVERAGE CALCULATIONS - R-55 ZONE		
	ITEM OR CODE REQMT.	EXISTING CONDITION	NEW/RENOVATED CONDITION
PROJECT ADDRESS: 3545 NARRAGANSETT AVENUE ANNAPOLIS, MD 21403 OWNER: ROBERT AND RHONICE BURNETT	FOOTPRINT AREA:	1344 SF	
SITE INFORMATION:	LOT AREA:	8801 SF OR .204 ACRES	
ZONE: R-2	PLOT COVERAGE ALLOWED: 30%	2907 SF	
BUILDING TYPE: ONE FAMILY DETACHED SUBDIVISION: LANCES ON THE BAY TAX MAP: 005 GRID: 3021 DISTRICT: 2ND PARCEL: 0015 LOTS: E & PW LOT D, BLOCK 11 USER: 2023 POLY: 192 LOT AREA: 8901 SF LOT COVERAGE ALLOWED: 30% BUILDING HEIGHT ALLOWED: 35 FEET AND TWO AND ONE HALF STORIES	BUILDING HEIGHT ALLOWED: 35 FEET	EXISTING HOUSE ROOF RIDGE APPROX. 21'-0" ABOVE GRADE. GARAGE ROOF RIDGE IS APPROX. 18'-0" ABOVE GRADE.	NEW ADDITION ON HOUSE ROOF RIDGE APPROX. 23'-0" ABOVE GRADE. NEW GARAGE ROOF RIDGE IS APPROX. 18'-0" ABOVE GRADE (SAME AS EXIST')
	SIDEYARD REQUIRED: TOTAL 17' 8" MIN. (NOTE: MAY BE REDUCED TO 7' IF PLATTED PRIOR TO 11/29/18)	7' SIDEYARD REQUIRED. EXISTING HOUSE AND GARAGE IS NON-COMFORMING (SEE SITEPLAN)	ALL NEW CONSTRUCTION ON HOUSE CONFORMS TO 7' SIDEYARD REQUIREMENT. ROOF CONSTRUCTION OVER EXISTING SECOND FLOOR OF GARAGE IS APPROX. 15" INTO SIDEYARD SETBACK - SEE SITEPLAN.
	FRONT YARD REQUIRED: 25'	COMPLIES	COMPLIES

APPLICABLE BUILDING CODES	ENERGY CODES			
	CODE	COMPONENT	REQUIRED	PROVIDED
2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS	IRC 2018 CLIMATE ZONE 4A (TABLE N1102.1.2, R402.1.2)	R-VALUE: WALLS (WOOD FRAME)	R-20 or (R-13 + R-5) MIN.	EXISTING SPRAY FOAM INSULATION IN 2X4 WOOD STUDS. NEW WALL CONSTRUCTION TO HAVE R-20 SPRAY FOAM INSULATION.
2018 INTERNATIONAL MECHANICAL CODE		R-VALUE: ROOF	R-49 MIN. (R1102.2.1, R402.2.1 ALLOWS R-38 OVER WALL TOP PLATE TO EAVES)	EXISTING SPRAY FOAM INSULATION IN 2X6 WOOD RAFTERS. NEW ROOF CONSTRUCTION TO HAVE R-49 SPRAY FOAM INSULATION.
2018 INTERNATIONAL PLUMBING CODE		R-VALUE: FLOOR	R-19 MIN.	R-19 MIN.
2018 INTERNATIONAL FUEL GAS CODE		U-VALUE: WINDOWS	.32 MAX.	.32 MAX.
CHAPTERS 16 & 17 OF THE AN COUNTY PLUMBING CODE, 1993		SHGC: WINDOWS	.40 MAX.	.40 MAX.
	IRC 2018 N1102.4.1.1, R402.4.1.1	CONTINUOUS AIR BARRIER	YES	YES AT NEW CONSTRUCTION (BUILDING WRAP)
	NOTES:			
	1) RECESSED LIGHTING AND HVAC BOOTHS AND REGISTERS THAT PENETRATE THE THERMAL ENVELOPE SHALL BE SEALED TO THE FINISHED SURFACE OF THE SUBFLOOR, WALL OR CEILING (IRC N1102.4.1.1).			

Building Height Diagram



Burnett Residence
3545 Narragansett Avenue, Annapolis, MD 21403

Data and Code Study

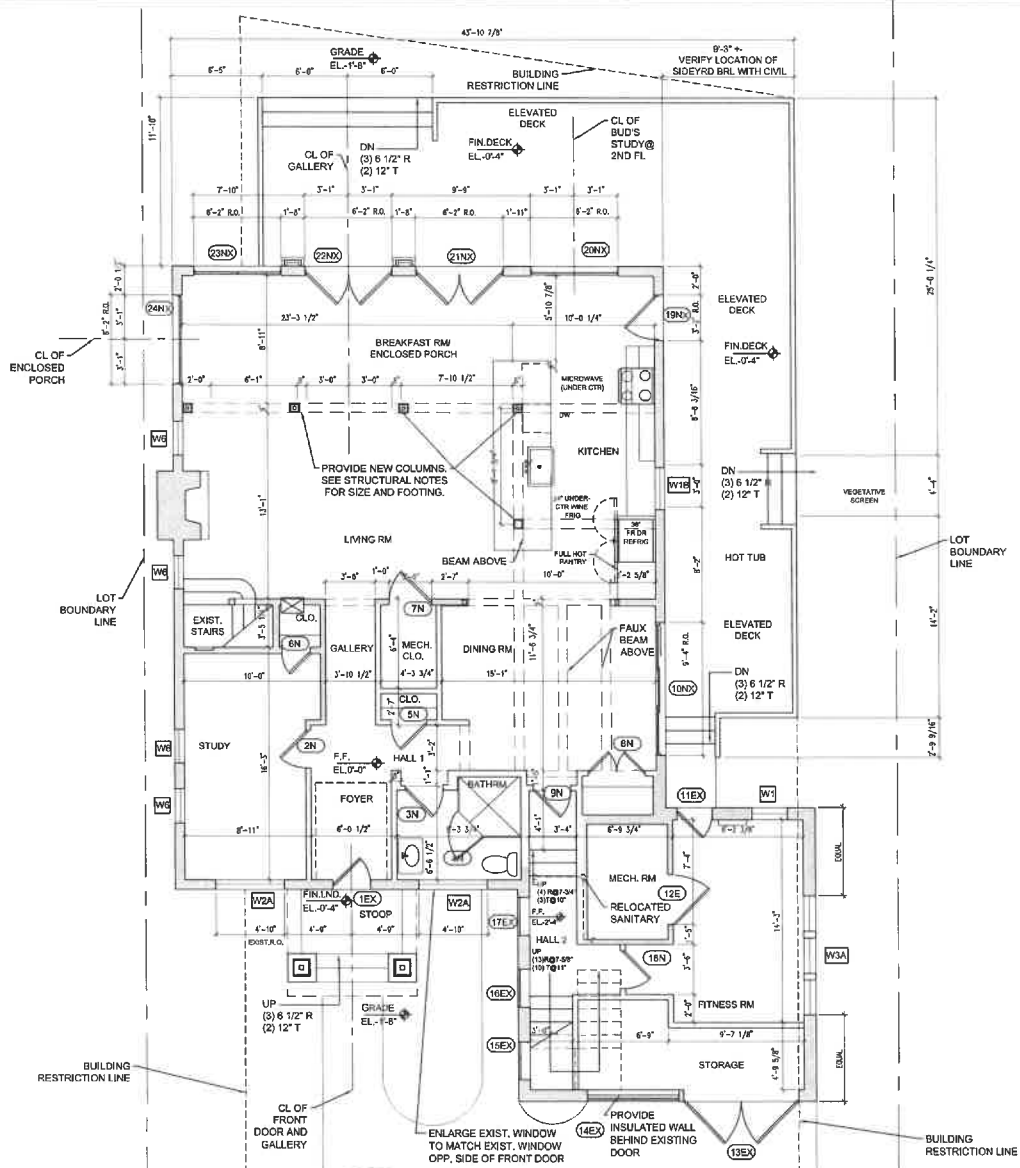
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Construction Documents Progress Set

CS-2

09/18/23
2023.01

Variances Request



1 First Floor Plan
Scale: 1/4" = 1'-0"

NEW CONSTRUCTION KEY

- EXISTING WALL TO REMAIN
- NEW WALL
- EXIST DOOR TO REMAIN.
- NEW DOOR

GENERAL NOTES:

- 1) CONTRACTOR TO VERIFY ALL SITE CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT OF DEVIATIONS BEFORE INSTALLATION OF NEW WALLS.
- 2) VERIFY HEADROOM IS MAINTAINED AT 6'-8" MIN. ABOVE NEW STAIR TREADS IN HALL 2 (FIRST FLOOR) OF GARAGE. NOTIFY ARCHITECT OF DEVIATIONS BEFORE INSTALLATION OF NEW TREADS AND RISERS.
- 3) DIMENSIONS ARE GIVEN FROM THE OUTSIDE FACE OF WALL TO OUTSIDE FACE OF WALL.
- 4) ALL TRUSSES TO BE DESIGNED, ENGINEERED AND SEALED BY TRUSS MANUFACTURER.
- 5) NEW INTERIOR WALLS TO BE 2 X 4 WITH 1/2" GYPSUM BOARD BOTH SIDES. SHIM AS REQUIRED TO MATCH EXISTING WALL FACES WHERE INFILLING IN EXISTING WALLS.
- 6) NEW EXTERIOR WALLS WILL BE 2 X 6 WITH 1/2" GYP. BOARD ON INTERIOR AND 1/2" SHEATHING ON EXTERIOR. SEE ELEVATIONS FOR EXTERIOR FINISHES.
- 7) CENTER DOORS IN WALLS UNLESS OTHERWISE DIMENSIONED.
- 8) CONTRACTOR TO VERIFY EXISTING GRADES BEFORE BUILDING EXTERIOR STAIRS. CONFIRM NUMBER OF TREADS AND RISERS WITH ARCHITECT.
- 9) CLOSETS TO RECEIVE WIRE SHELVES WITH INTEGRAL POLE. CONFIRM WITH OWNER'S CLOSET ACCESSORY SUPPLIER ON EXACT ARRANGEMENTS.
- 10) KITCHEN CABINET LAYOUT BY OWNER'S KITCHEN CABINET SUPPLIER. SUBMIT SHOP DRAWINGS TO ARCHITECT BEFORE FABRICATION.
- 11) GARAGE FIRST FLOOR TO RECEIVE NEW DRYWALL FINISH ON NEW AND EXISTING STUDS. PROVIDE 4" WOOD BASE. INSTALL NEW GARAGE FLOOR RECYCLED RUBBER SURFACE ON EXISTING CONC. SLAB. STORAGE AREA TO RECEIVE DRYWALL ON NEW AND EXISTING STUDS. CLEAN AND SEAL CONCRETE FLOOR.
- 12) GARAGE DOORS TO RECEIVE NEW THRESHOLD AND WEATHERSTRIPPING.
- 13) ALL FLOORING TO BE REPLACED ON FIRST FLOOR AND SECOND FLOOR. OWNER TO SELECT WOOD FLOORING TYPE AND FINISH.

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3545 Narraigansett Avenue, Annapolis, MD 21403

First Floor Plan

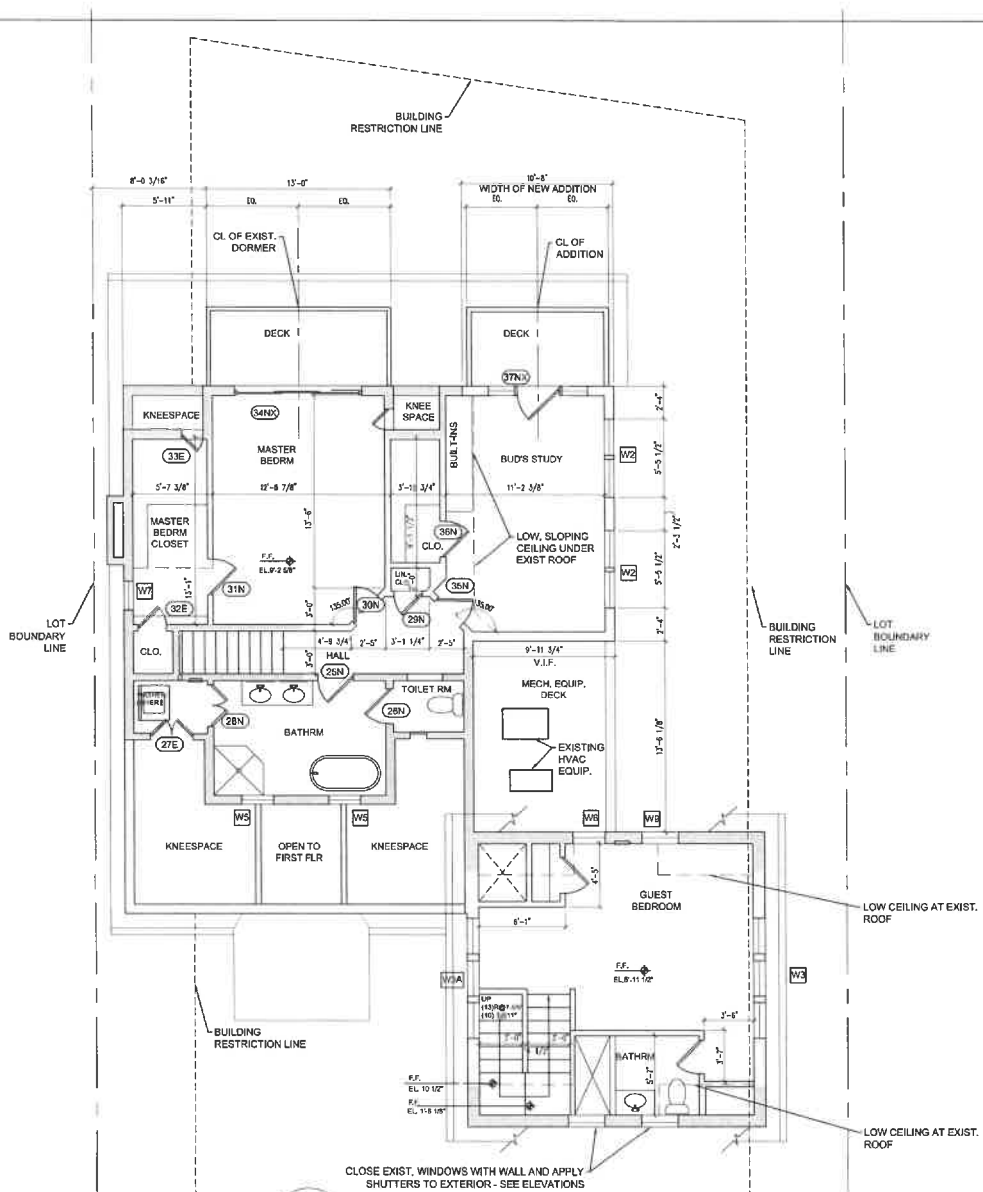
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Construction Documents
Progress Set

A-2.1

09/18/23
2023.01

Variance Request



1
Second Floor Plan
 Scale: 1/4" = 1'-0"

NEW CONSTRUCTION KEY

- EXISTING WALL TO REMAIN
- NEW WALL
- EXIST DOOR TO REMAIN.
- NEW DOOR

GENERAL NOTES:.

- 1) CONTRACTOR TO VERIFY ALL SITE CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT OF DEVIATIONS BEFORE INSTALLATION OF NEW WALLS.
- 2) VERIFY HEADROOM IS MAINTAINED AT 6'-6" MIN. ABOVE NEW STAIR TREADS IN HALL 2 (FIRST FLOOR) OF GARAGE. NOTIFY ARCHITECT OF DEVIATIONS BEFORE INSTALLATION OF NEW TREADS AND RISERS.
- 3) DIMENSIONS ARE GIVEN FROM THE OUTSIDE FACE OF WALL TO OUTSIDE FACE OF WALL.
- 4) ALL TRUSSES TO BE DESIGNED, ENGINEERED AND SEALED BY TRUSS MANUFACTURER.
- 5) NEW INTERIOR WALLS TO BE 2 X 4 WITH 1/2" GYPSUM BOARD BOTH SIDES. SHIM AS REQUIRED TO MATCH EXISTING WALL FACES WHERE INFILLING IN EXISTING WALLS.
- 6) NEW EXTERIOR WALL WALLS WILL BE 2 X 6 WITH 1/2" GYP. BOARD ON INTERIOR AND 1/2" SHEATHING ON EXTERIOR. SEE ELEVATIONS FOR EXTERIOR FINISHES.
- 7) CENTER DOORS IN WALLS UNLESS OTHERWISE DIMENSIONED.
- 8) CONTRACTOR TO VERIFY EXISTING GRADES BEFORE BUILDING EXTERIOR STAIRS. CONFIRM NUMBER OF TREADS AND RISERS WITH ARCHITECT.
- 9) CLOSETS TO RECEIVE WIRE SHELVES WITH INTEGRAL POLE. CONFIRM WITH OWNER'S CLOSET ACCESSORY SUPPLIER ON EXACT ARRANGEMENTS.
- 10) KITCHEN CABINET LAYOUT BY OWNER'S KITCHEN CABINET SUPPLIER. SUBMIT SHOP DRAWINGS TO ARCHITECT BEFORE FABRICATION.
- 11) GARAGE FIRST FLOOR TO RECEIVE NEW DRYWALL FINISH ON NEW AND EXISTING STUDS. PROVIDE 4" WOOD BASE. INSTALL NEW GARAGE FLOOR RECYCLED RUBBER SURFACE ON EXISTING CONC. SLAB. STORAGE AREA TO RECEIVE DRYWALL ON NEW AND EXISTING STUDS. CLEAN AND SEAL CONCRETE FLOOR.
- 12) GARAGE DOORS TO RECEIVE NEW THRESHOLD AND WEATHERSTRIPPING.
- 13) ALL FLOORING TO BE REPLACED ON FIRST FLOOR AND SECOND FLOOR. OWNER TO SELECT WOOD FLOORING TYPE AND FINISH.

Burnett Residence
 3545 Narragansett Avenue, Annapolis, MD 21403

Second Floor Plan

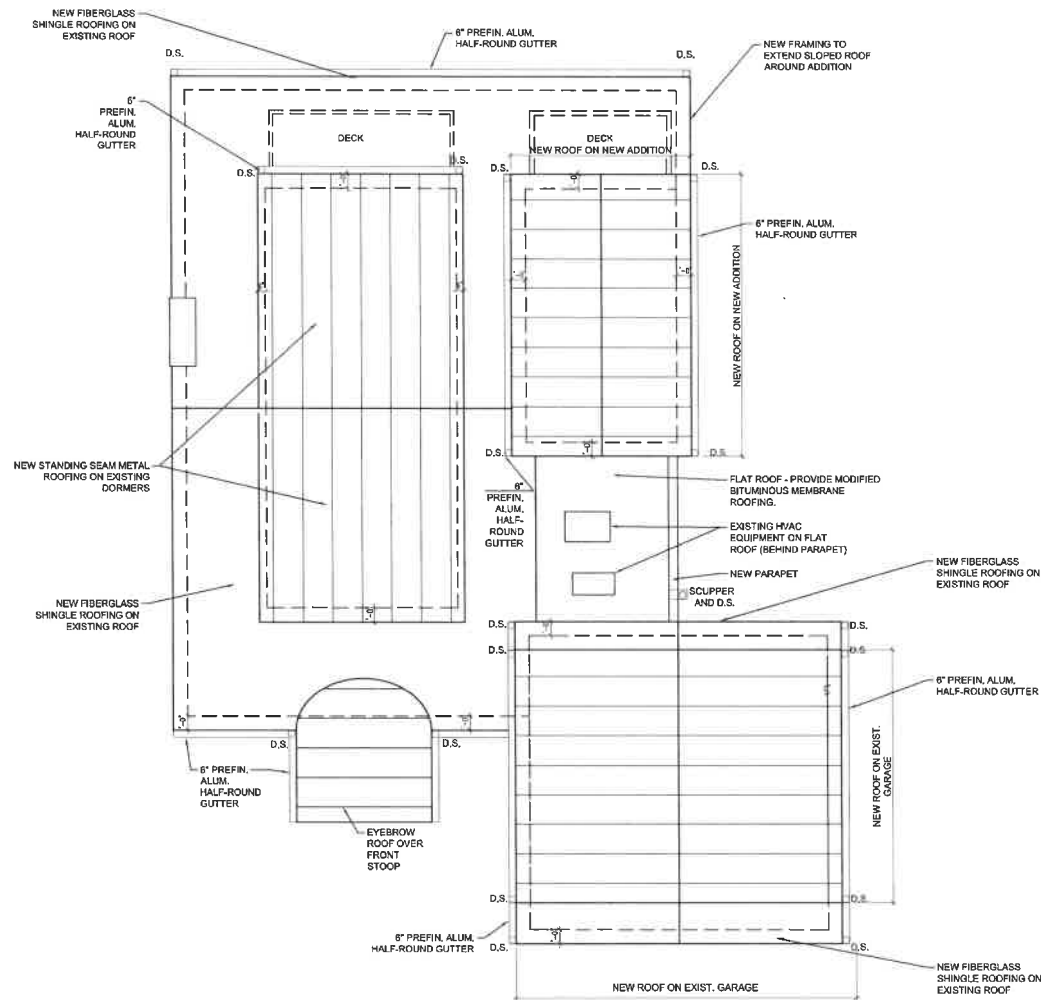
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Construction Documents
 Progress Set

A-2.2

09/18/23
 2023.01

Variance Request



1 Roof Plan
Scale: 1/4" = 1'-0"

Burnett Residence
3545 Narraquansett Avenue, Annapolis, MD 21403

Roof Plan

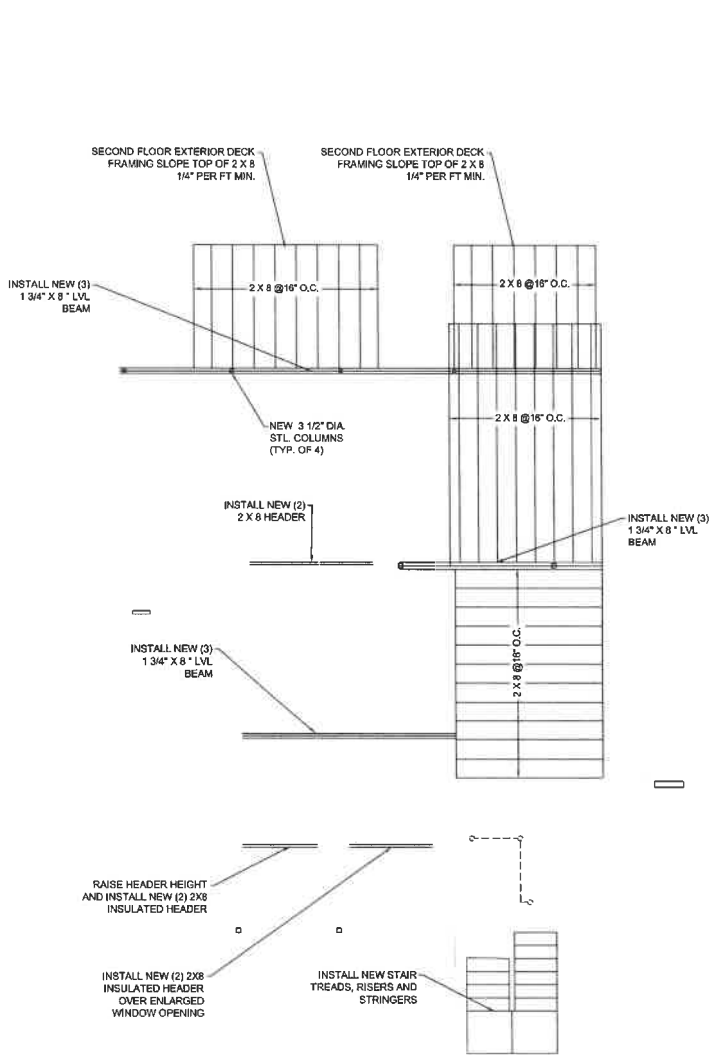
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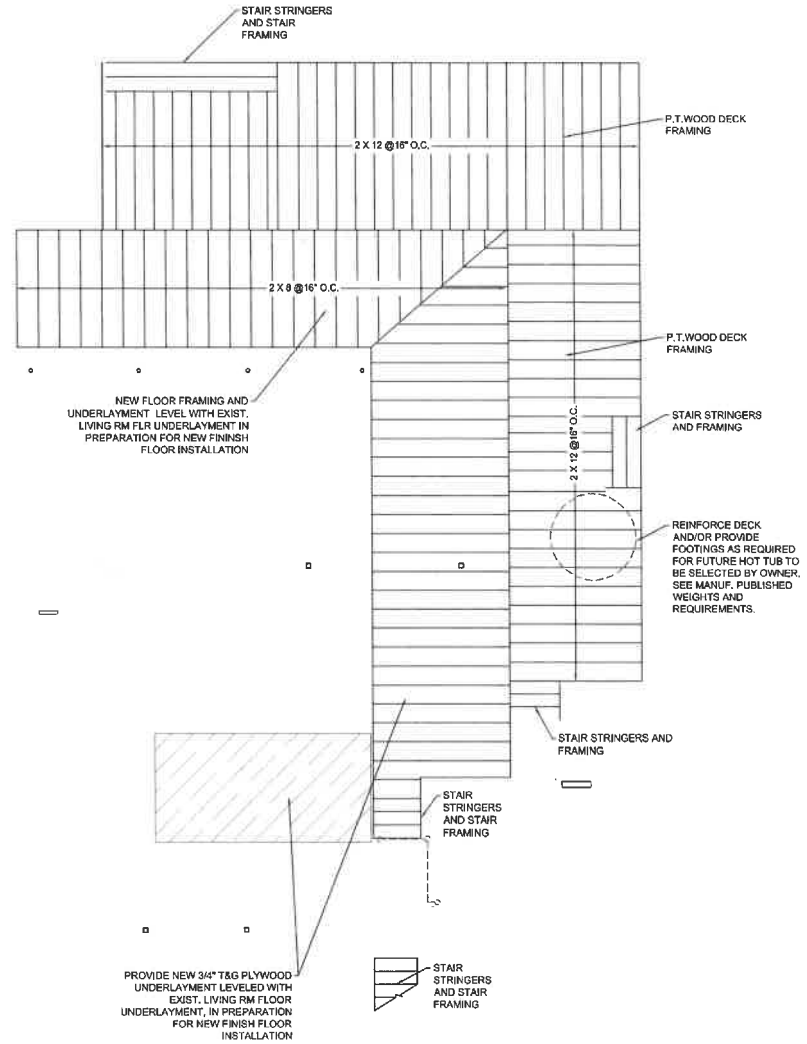
A-2.3

09/18/23
2023.01

Variance Request



2 Framing Plan - Second Floor
Scale: 1/4" = 1'-0"



1 Framing Plan - First Floor
Scale: 1/4" = 1'-0"

Burnett Residence
3545 Narraansett Avenue, Annapolis, MD 21403
Framing Plans

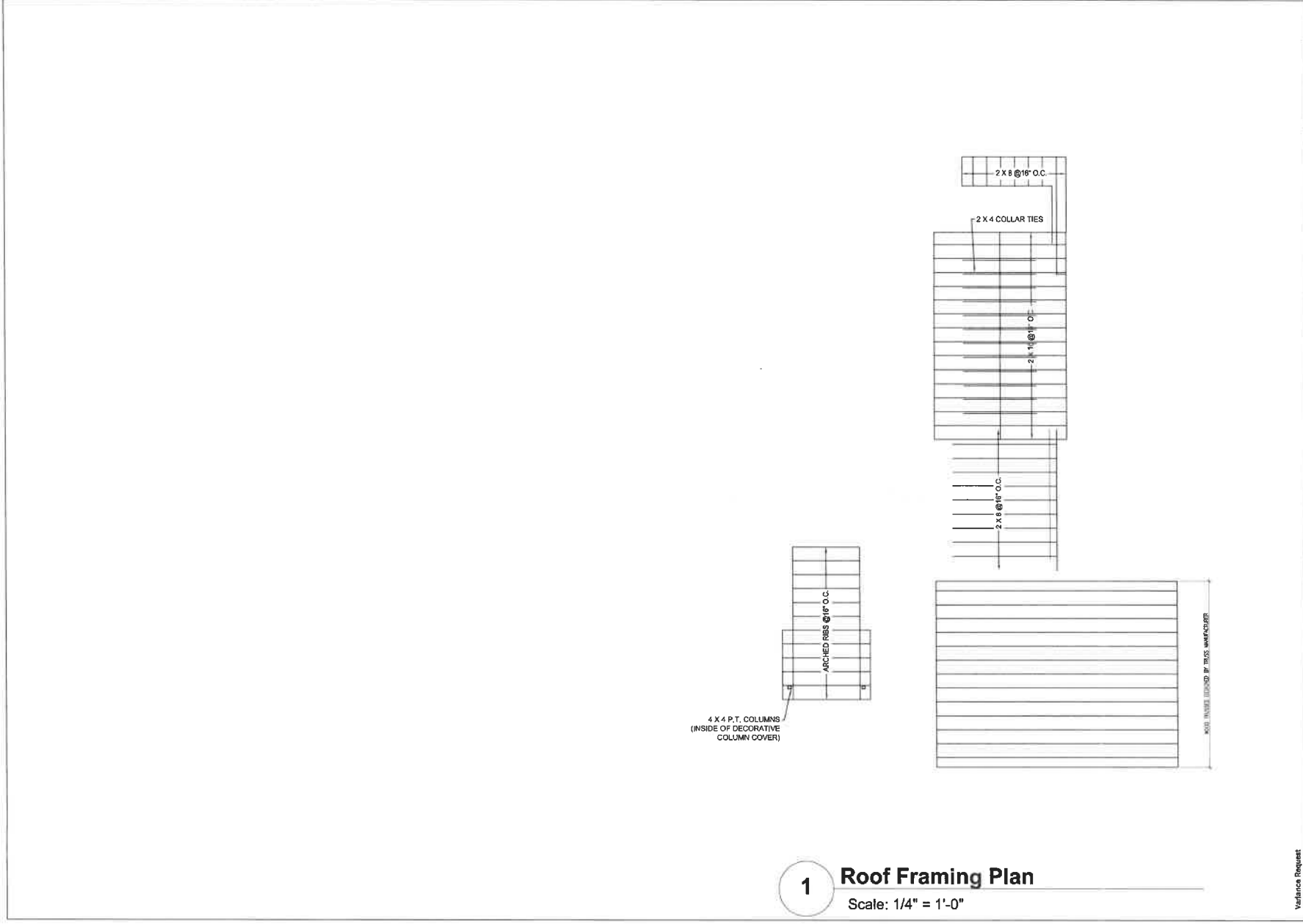
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A-2.4

09/18/23
2023.01

Variance Request



1

Roof Framing Plan

Scale: 1/4" = 1'-0"

Variance Request

Construction Documents
Progress Set

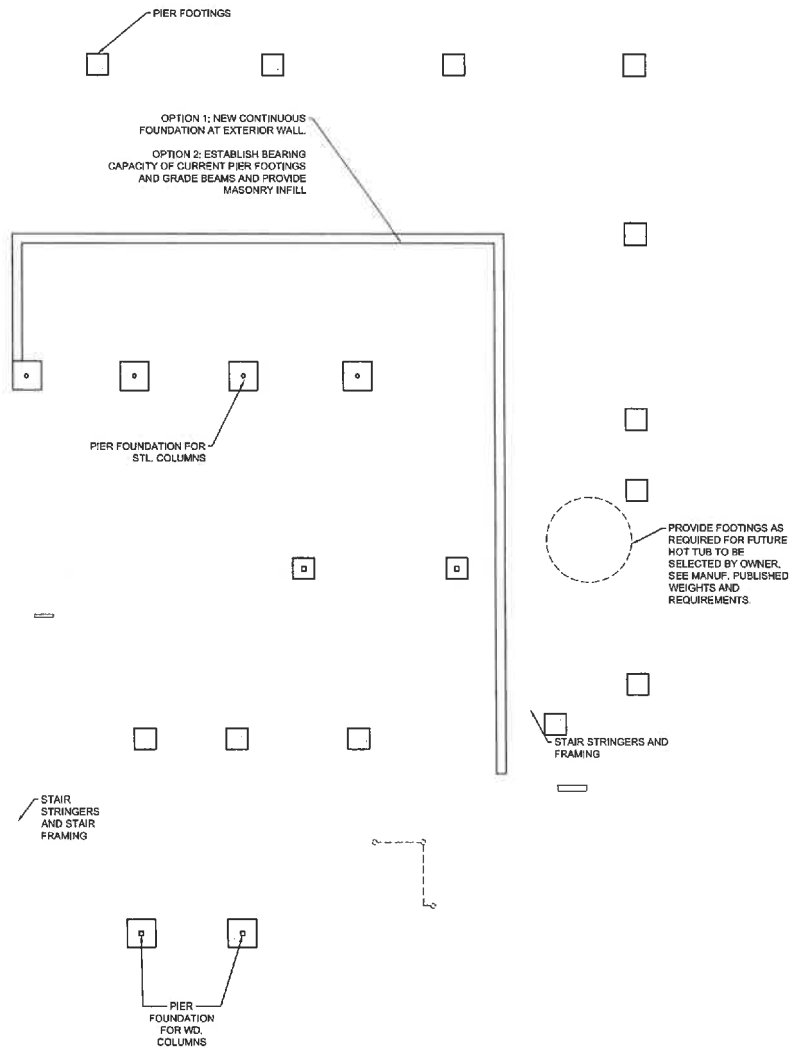
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Burnett Residence
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Framing Plans



1 **Foundation Plan**
Scale: 1/4" = 1'-0"

Burnett Residence
3545 Narragansett Avenue, Annapolis, MD 21403
Foundation Plan

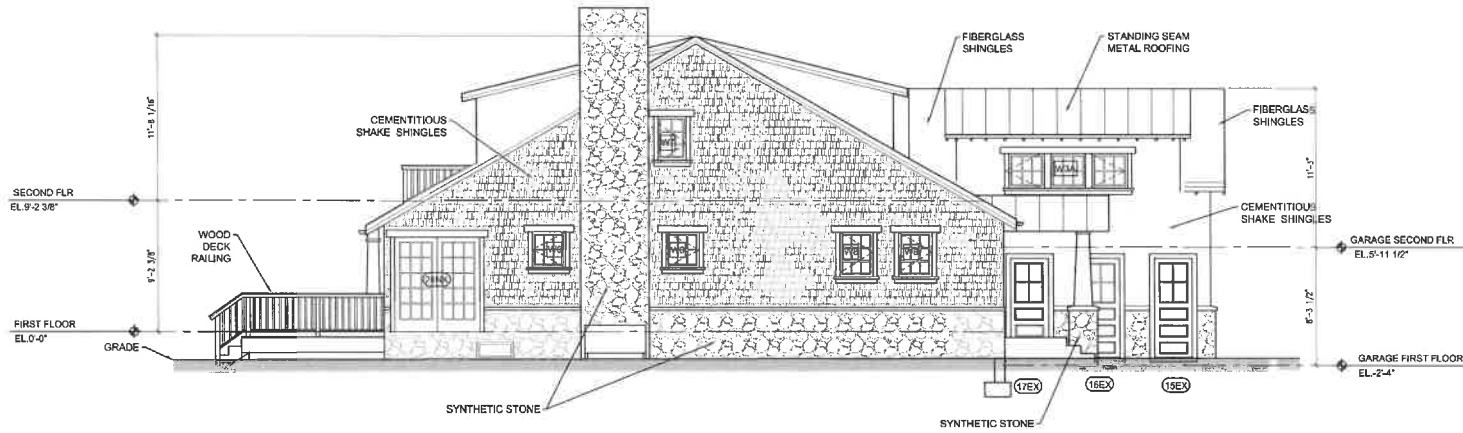
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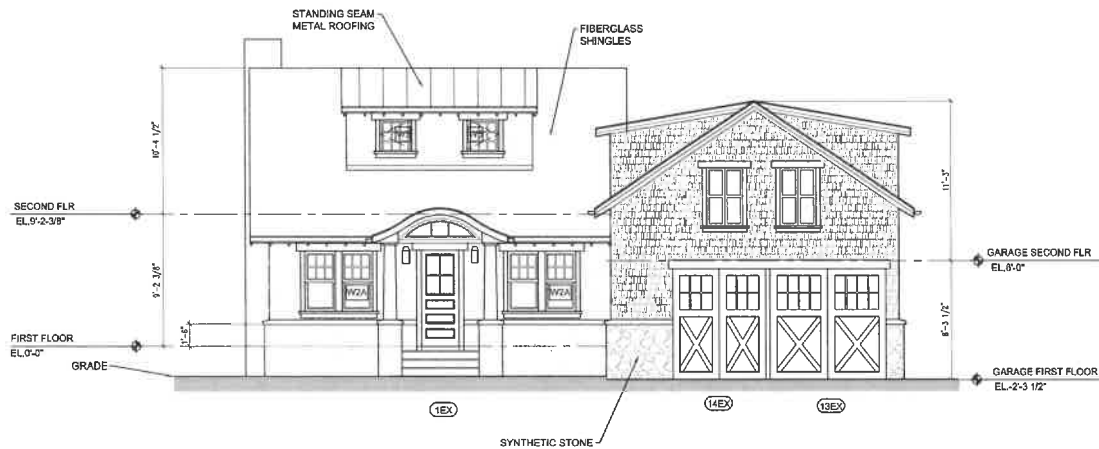
A-2.6

09/18/23
2023.01

Variance Request



2 North Side Elevation
Scale: 1/4" = 1'-0"



1 West Front Elevation
Scale: 1/4" = 1'-0"

Burnett Residence
3545 Narragansett Avenue, Annapolis, MD 21403

Elevations

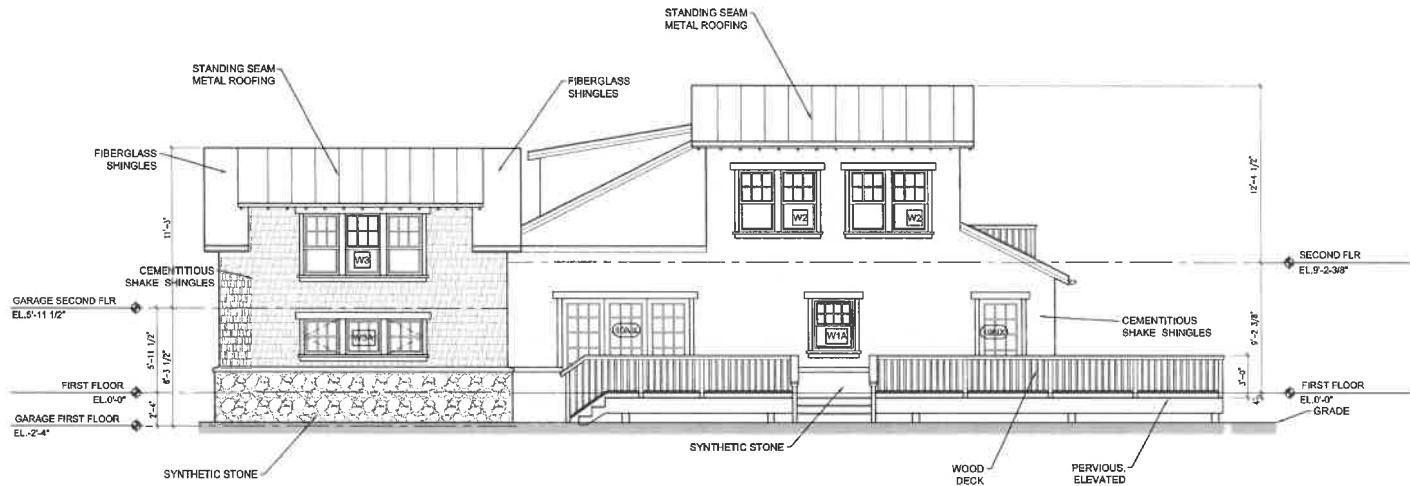
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Construction Documents
Progress Set

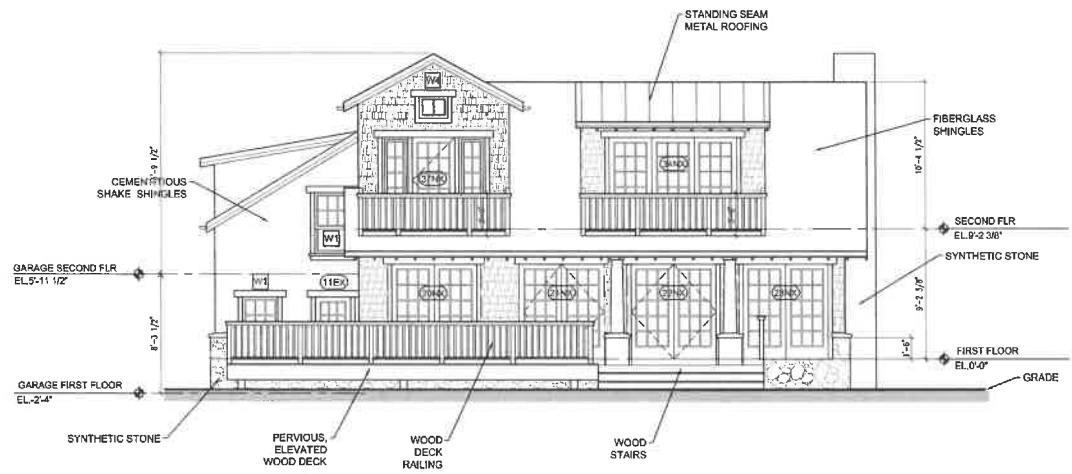
A-3.1

09/18/23
2023.01

Variance Request



2 South Side Elevation
Scale: 1/4" = 1'-0"



1 East Rear Elevation
Scale: 1/4" = 1'-0"

Burnett Residence
3545 Narragansett Avenue, Annapolis, MD 21403
Elevations

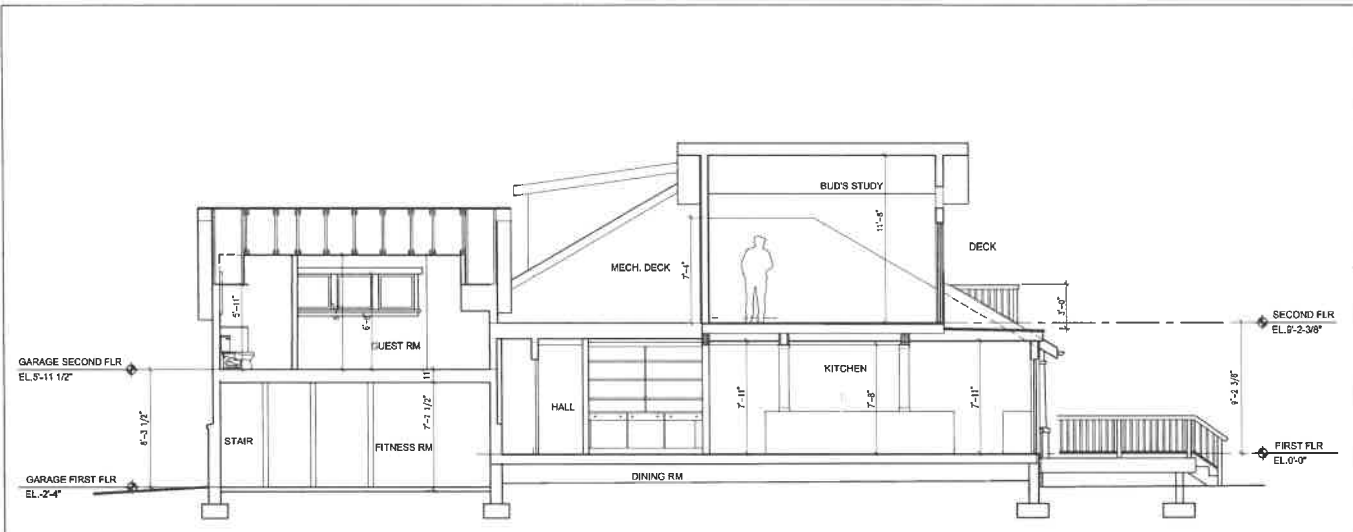
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A-3.2

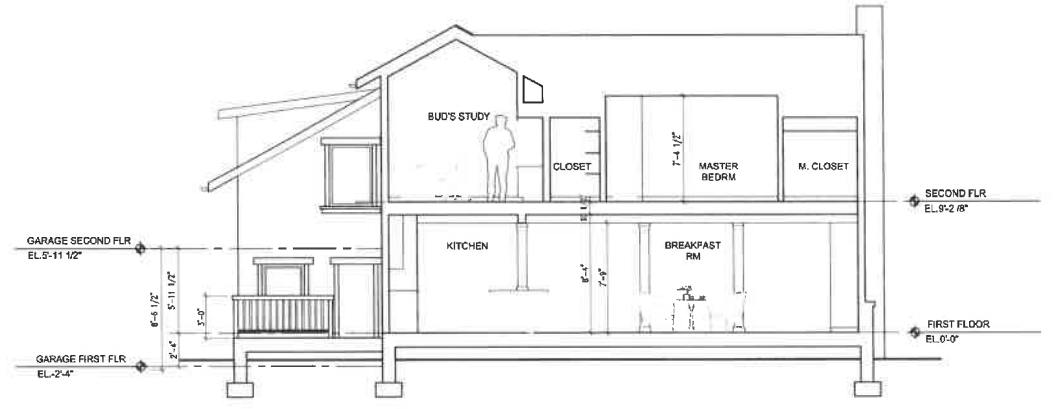
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Variance Request



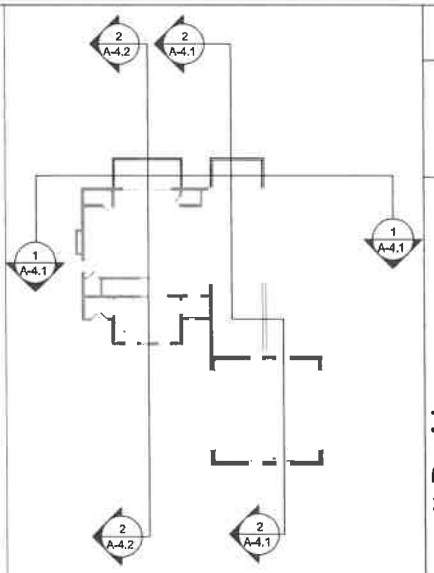
SECTION
SCALE = 1/4" = 1'-0"

2

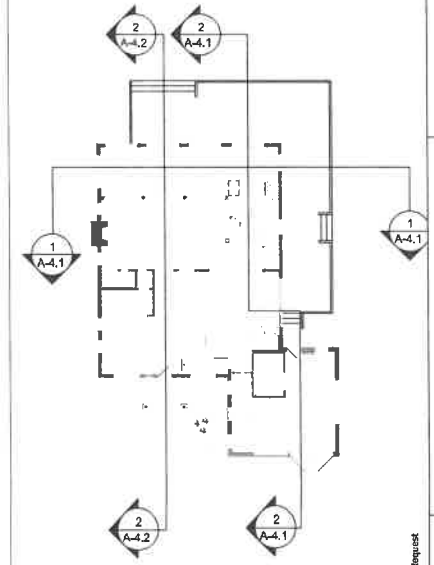


SECTION
SCALE = 1/4" = 1'-0"

1



Second Floor



First Floor
KEYPLANS

Burnett Residence
3545 Narragansett Avenue, Annapolis, MD 21403

Building Sections

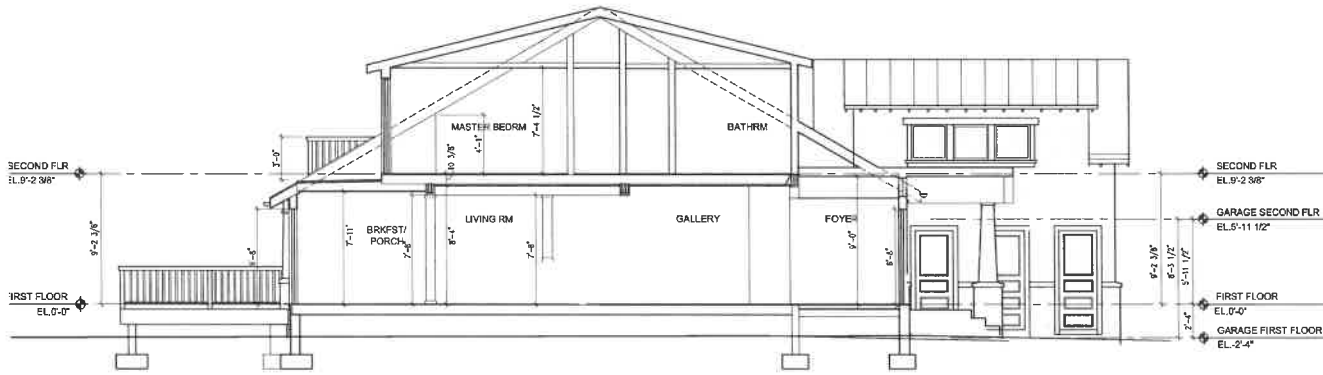
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Construction Documents
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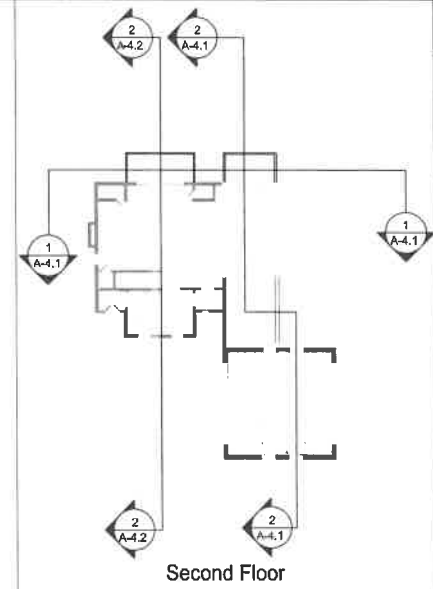
Varianco Request



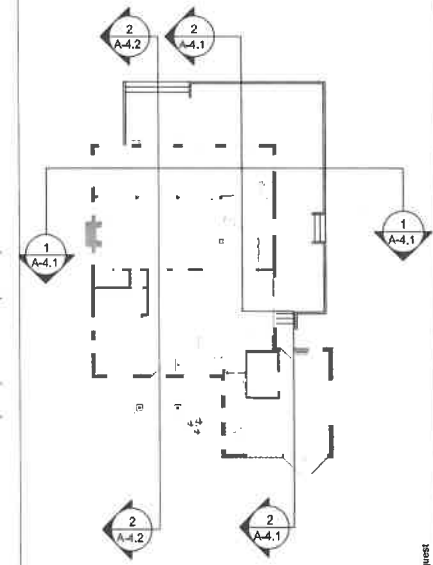
SECTION

SCALE = 1/4" = 1'-0"

1



Second Floor



First Floor
KEYPLANS

Variance Request

Burnett Residence
3545 Narragansett Avenue, Annapolis, MD 21403

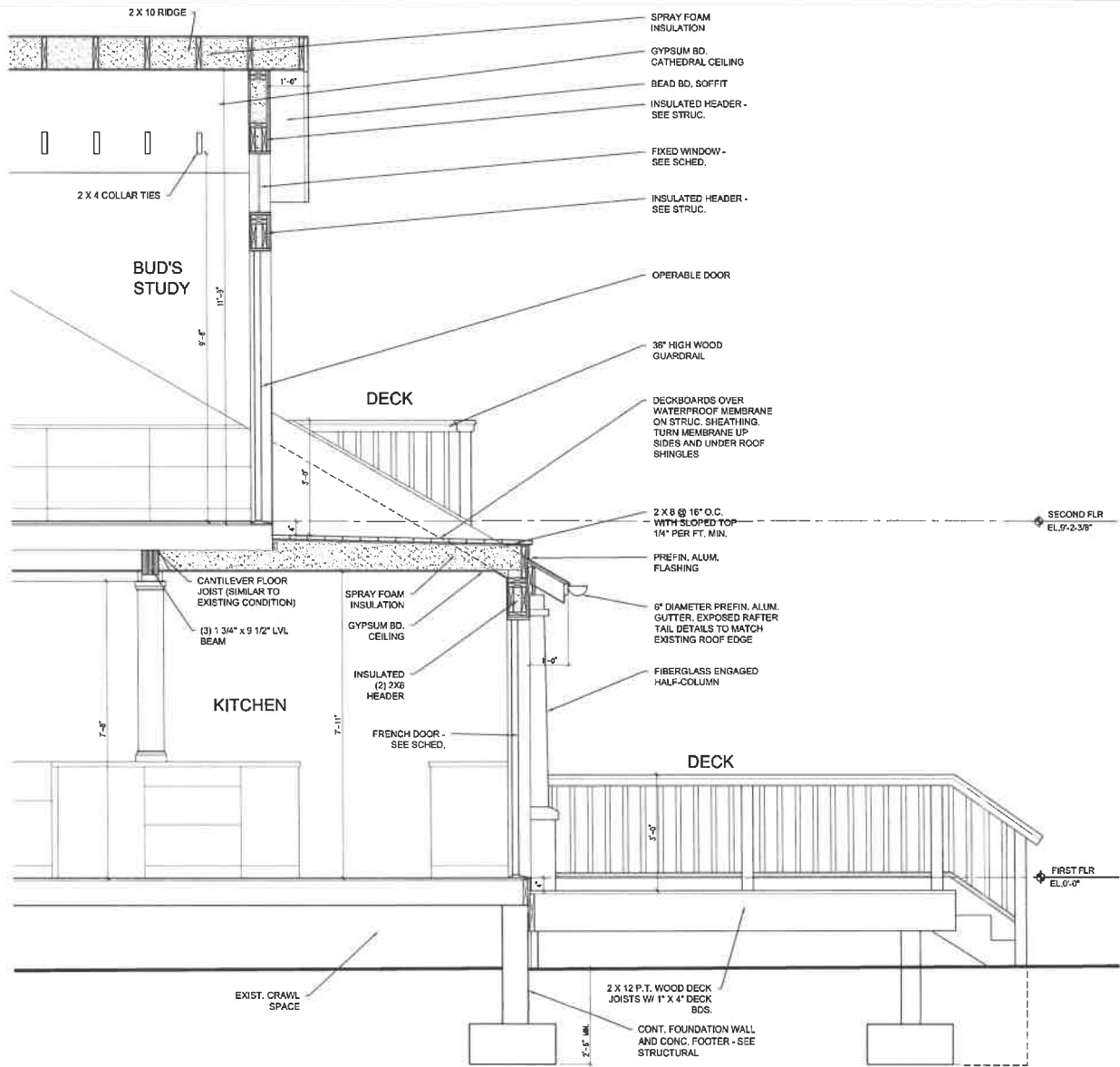
Building Sections

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Construction Documents
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WALL SECTION THRU SECOND FLOOR REAR DECKS

SCALE = 3/4" = 1'-0"

1

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WALL SECTIONS

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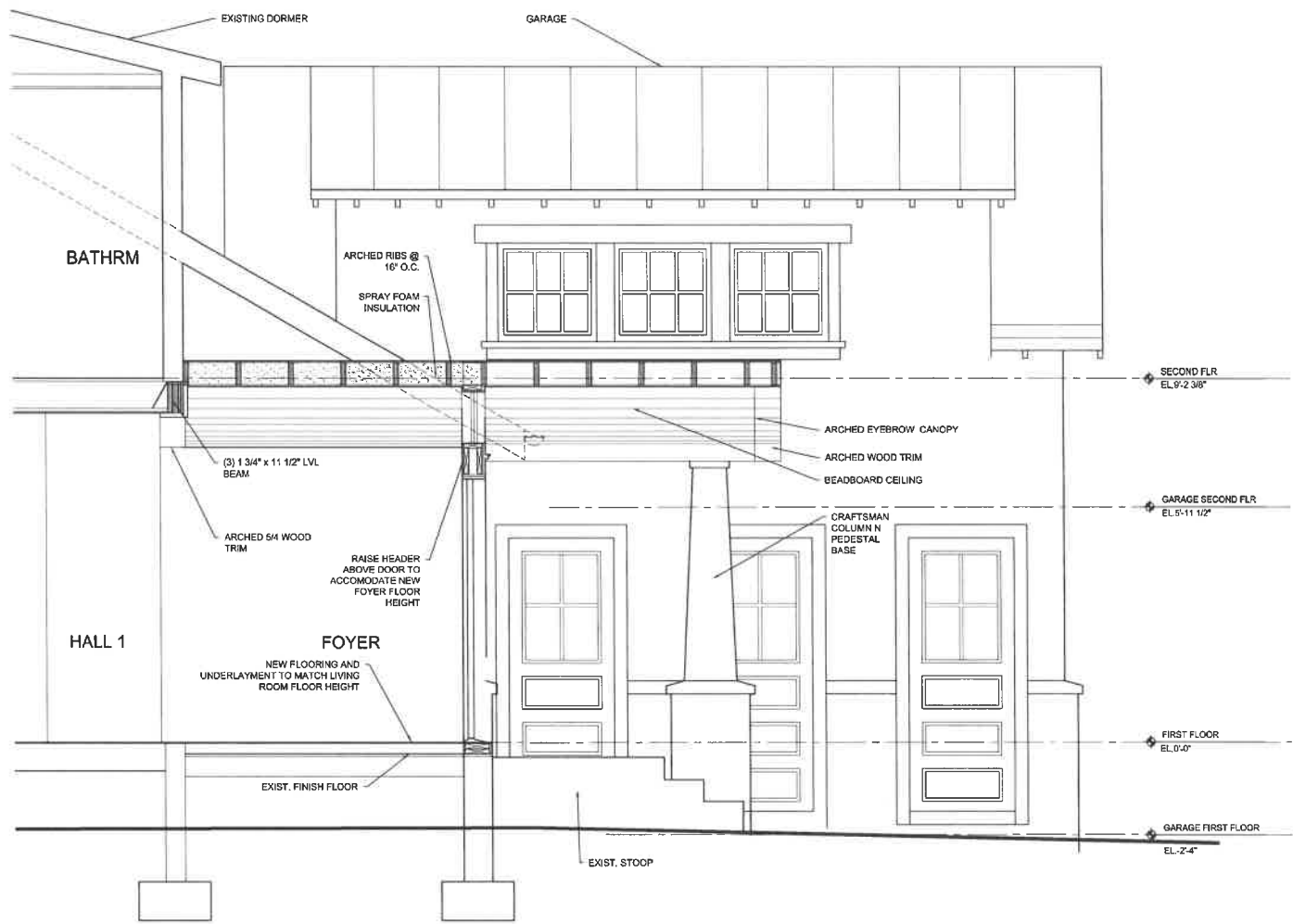
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Construction Documents
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Variance Request



WALL SECTION THRU ENTRY CANOPY
 SCALE = 3/4" = 1'-0"

1

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WALL SECTIONS

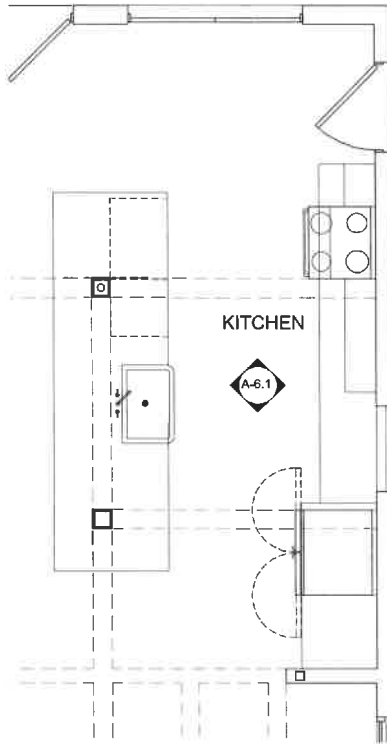
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Construction Documents
 Progress Set

A-5.2

09/18/23
 2023.01

Variance Request



1 Kitchen Enlarged Floor Plan
Scale: 1/2" = 1'-0"

- GENERAL NOTES:
- 1) CONTRACTOR TO VERIFY ALL SITE CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT OF DEVIATIONS BEFORE INSTALLATION OF NEW WALLS.
 - 2) DIMENSIONS ARE TO FINISH SURFACES OF WALLS. SEE PLANS FOR WALL TYPES.
 - 3) ALL NEW WALLS TO BE 2 X 4 WITH 1/2" GYPSUM BD (4 1/2"). IF BLENDING NEW WALLS WITH EXISTING WALLS, MATCH EXISTING WALL THICKNESSES.
 - 4) WALLS CONTAINING PLUMBING PIPING TO BE 2 X 6 WITH 1/2" GYPSUM BD AND ARE DIMENSIONED.
 - 5) INTERIOR SHELF AND POLE ARRANGEMENTS TO BE COORDINATED WITH OWNERS BEFORE INSTALLING.

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Interior Elevations and Enlarged Floor Plans

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Construction Documents
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Variance Request
A-6.1
09/18/23
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FIXTURE AND FINISH KEYNOTES			
FIXTURE NO.	DESCRIPTION	MANUFACTURER	NOTES
01	TOILET	ROCKWELL WITH CISTERN TANK - GREEN - EXACT MODEL TO BE SELECTED BY OWNER	COORDINATE LEVER LOCATION WITH OWNER (WHICH SIDE)
02	30" W CERAMIC PEDESTAL LAV	ROCKWELL BY WATERMONOPOLY - GREEN	
02A	FAUCET	ROCKWELL DECK MTD TAPS BY WATERMONOPOLY - TO BE SELECTED BY OWNER	
03	GLASS SHOWER DOOR SYSTEM (FRAMELESS)	SELECTED BY OWNER	
04	BATHTUB	SELECTED BY OWNER	
05	DOUBLE LAV CABINET	SELECTED BY OWNER	
05A	FAUCET	SELECTED BY OWNER	
06	TOILET	SELECTED BY OWNER	
07	GLASS SHOWER DOOR SYSTEM (FRAMELESS)	SELECTED BY OWNER	
08	TOILET	SELECTED BY OWNER	
09	LAV	SELECTED BY OWNER	
09A	FAUCET	SELECTED BY OWNER	
10	GLASS SHOWER DOOR SYSTEM (FRAMELESS)	SELECTED BY OWNER	

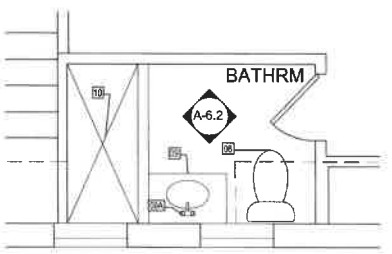
GENERAL NOTES:-

- 1) CONTRACTOR TO VERIFY ALL SITE CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT OF DEVIATIONS BEFORE INSTALLATION OF NEW WALLS.
- 2) DIMENSIONS ARE TO FINISH SURFACES OF WALLS. SEE PLANS FOR WALL TYPES.
- 3) ALL NEW WALLS TO BE 2 X 4 WITH 1/2" GYPSUM BD (4 1/2"). IF BLENDING NEW WALLS WITH EXISTING WALLS, MATCH EXISTING WALL THICKNESSES.
- 4) WALLS CONTAINING PLUMBING PIPING TO BE 2 X 6 WITH 1/2" GYPSUM BD AND ARE DIMENSIONED.
- 5) INTERIOR SHELF AND POLE ARRANGEMENTS TO BE COORDINATED WITH OWNERS BEFORE INSTALLING.

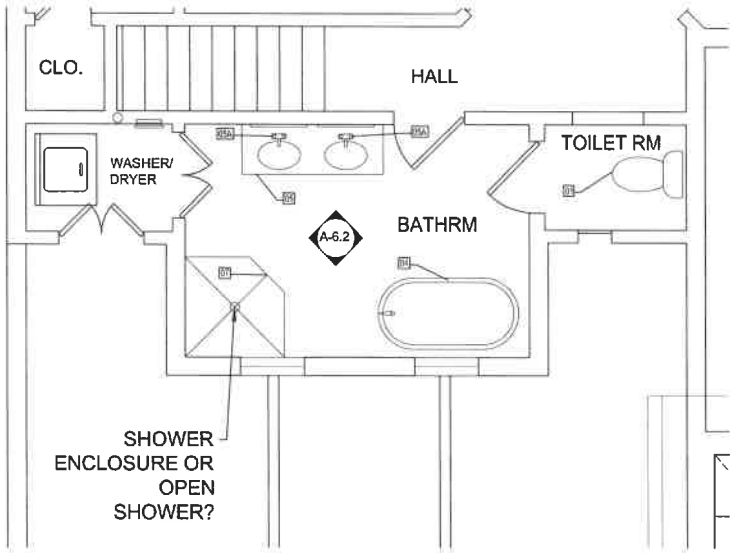
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Interior Elevations and Enlarged Floor Plans

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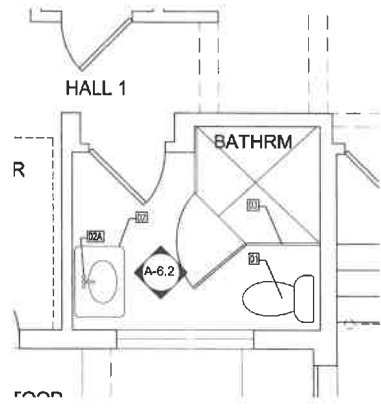
Construction Documents
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 09/18/23
 2023.01



3 **Garage Bathroom Enlarged Floor Plan**
 Scale: 1/2" = 1'-0"



2 **Second Floor Master Bathroom Enlarged Floor Plan**
 Scale: 1/2" = 1'-0"



1 **First Floor Bathroom Enlarged Floor Plan**
 Scale: 1/2" = 1'-0"

Variance Request

DOOR SCHEDULE												
N=NEW DOOR, E=EXISTING DOOR, X=EXTERIOR DOOR		DOOR										
LEVEL	DOOR NUMBER	LOCATION	WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	INTERIOR FINISH	EXTERIOR FINISH	GLASS TYPE	SHMASHI FUNCTION	NOTES
FIRST FLOOR	1EX	FOYER	2'-6"	6'-8"	-	D1	WOOD	PAINTED	PAINTED	EXIST.	EXIST.	EXISTING DOOR AND HARDWARE TO REMAIN, PROTECT DURING CONSTRUCTION.
	2N	STUDY	2'-8"	6'-8"	1-1/8"	D2	WOOD	STAINED	-	-	PRIVACY LOCK	
	3N	BATHROOM	2'-8"	6'-8"	1-1/8"	D2	WOOD	STAINED	-	-	PRIVACY LOCK	
	4N	SHOWER	2'-0"	6'-0"	-	D3	FRAMELESS GLASS	-	-	G3	PULL	
	6N	HALL 1 CLOSET	2'-6"	6'-8"	1-1/8"	D2	WOOD	STAINED	-	-	PASSAGE SET	
	6N	STUDY CLOSET	2'-0"	6'-8"	1-1/8"	D2	WOOD	STAINED	-	-	PASSAGE SET	
	7N	MECH. CLOSET	3'-0"	6'-8"	1-1/8"	D2	WOOD	STAINED	-	-	PASSAGE SET	
	8N	DINING RM CLOSET	2 X 2'-0"	6'-8"	1-1/8"	D4	WOOD	STAINED	-	-	PASSAGE SET	
	9N	DINING RM (DOOR TO HALL 2)	2'-8"	6'-8"	1-1/8"	D2	WOOD	STAINED	-	-	PRIVACY LOCK	
	10NX	DINING RM EXTERIOR	5'-0"	6'-8"	1-3/4"	D6	WOOD	STAINED	ALUM. CLAD	G2	LOCKING SLIDING DOOR HARDWARE	SLIDING FRENCH DOORS - ONLY ONE OPERABLE PANEL, TWO PANELS TO BE FIXED
	11EX	FITNESS RM	2'-8"	6'-8"	-	D1	WOOD	PAINTED	PAINTED	EXIST.	EXIST.	EXISTING DOOR AND HARDWARE TO REMAIN, PROTECT DURING CONSTRUCTION.
	12E	MECH. RM	2'-6"	6'-8"	-	-	WOOD	STAINED	-	-	PASSAGE SET	EXISTING DOOR TO REMAIN.
	13EX	STORAGE	2 x 4'-9"	7'-8"	-	D10	WOOD	PAINTED	PAINTED	EXIST.	EXIST.	SEE NOTES EXISTING DOOR TO REMAIN. REPAIR AND PAINT. PROVIDE THRESHOLD AND NEW LOCKING HARDWARE.
	14EX	STORAGE	2 x 3'-3"	7'-8"	-	D9	WOOD	PAINTED	PAINTED	EXIST.	EXIST.	SEE NOTES EXISTING DOOR TO REMAIN. REPAIR AND PAINT. PROVIDE NEW, OBSCURE GLASS. FIX IN PLACE AND MAKE INOPERABLE.
	15EX	HALL 2	2'-8"	6'-8"	-	-	WOOD	PAINTED	PAINTED	-	-	SEE NOTES EXISTING DOOR TO REMAIN, REPAIR AND PAINT, FIX IN PLACE AND MAKE INOPERABLE.
	16EX	HALL 2	2'-8"	6'-8"	-	-	WOOD	PAINTED	PAINTED	-	-	SEE NOTES EXISTING DOOR TO REMAIN, REPAIR AND PAINT, FIX IN PLACE AND MAKE INOPERABLE.
	17EX	HALL 2	2'-8"	6'-8"	-	-	WOOD	PAINTED	PAINTED	-	-	SEE NOTES EXISTING DOOR TO REMAIN, REPAIR AND PAINT, FIX IN PLACE AND MAKE INOPERABLE.
	18N	HALL 2	2'-8"	6'-8"	1-1/8"	D1	WOOD	STAINED	-	-	PRIVACY LOCK	
	18NX	KITCHEN	3'-0"	6'-8"	1-3/4"	D5	WOOD	STAINED	ALUM. CLAD	G2	ENTRY LOCK	
	20NX	ENCLOSED PORCH	2 x 3'-0"	6'-8"	1-3/4"	D7	WOOD	STAINED	ALUM. CLAD	G2	SEE NOTES	DOUBLE FRENCH DOORS TO BE FIXED IN PLACE
	21NX	ENCLOSED PORCH	2 x 3'-0"	6'-8"	1-3/4"	D7	WOOD	STAINED	ALUM. CLAD	G2	ENTRY LOCK	
	22NX	ENCLOSED PORCH	2 x 3'-0"	6'-8"	1-3/4"	D7	WOOD	STAINED	ALUM. CLAD	G2	ENTRY LOCK	
	23NX	ENCLOSED PORCH	2 x 3'-0"	6'-8"	1-3/4"	D7	WOOD	STAINED	ALUM. CLAD	G2	SEE NOTES	DOUBLE FRENCH DOORS TO BE FIXED IN PLACE
	24NX	ENCLOSED PORCH	2 x 3'-0"	6'-8"	1-3/4"	D7	WOOD	STAINED	ALUM. CLAD	G2	SEE NOTES	DOUBLE FRENCH DOORS TO BE FIXED IN PLACE
SECOND FLOOR	25N	BATHROOM	2'-8"	6'-8"	1-1/8"	D2	WOOD	STAINED	-	-	PRIVACY LOCK	EXISTING DOOR TO REMAIN.
	26N	TOILET RM	2'-8"	6'-8"	1-1/8"	D2	WOOD	STAINED	-	-	PRIVACY LOCK	
	27E	ATTIC ACCESS	2 X 1'-6"	-	-	-	WOOD	PAINTED	-	-	EXIST.	EXISTING DOOR TO REMAIN.
	28N	WASHER/DRYER	2 X 1'-6"	6'-8"	1-1/8"	D2	WOOD	STAINED	-	-	PASSAGE SET	
	29N	LINEN CLOSET	2'-0"	6'-8"	1-1/8"	D2	WOOD	STAINED	-	-	PASSAGE SET	
	30N	MASTER BEDROOM	2'-8"	6'-8"	1-1/8"	D2	WOOD	STAINED	-	-	PRIVACY LOCK	
	31N	MASTER BEDRM CLOSET	2'-8"	6'-8"	1-1/8"	D2	WOOD	STAINED	-	-	PASSAGE SET	
	32E	CLO.	2'-0"	-	1-1/8"	-	WOOD	PAINTED	-	-	EXIST.	EXISTING DOOR TO REMAIN.
	33E	KNEESPACE ACCESS PANEL	1'-8"	-	1-1/8"	-	WOOD	PAINTED	-	-	EXIST.	EXISTING DOOR TO REMAIN.
	34NX	MASTER BEDROOM DECK	9'-0"	6'-8"	1-3/4"	D6	WOOD	STAINED	ALUM. CLAD	G2	ENTRY LOCK	
	35N	BUOY STUDY	2'-8"	6'-8"	1-1/8"	D2	WOOD	STAINED	-	-	PRIVACY LOCK	
	36N	BUOY STUDY CLOSET	2'-8"	6'-8"	1-1/8"	D2	WOOD	STAINED	-	-	PASSAGE SET	
	34NX	BUOY STUDY DECK	2 X 11'-10" SIDE LIGHTS 3'-0" DOOR	6'-8"	1-3/4"	D8	WOOD	STAINED	ALUM. CLAD	G2	ENTRY LOCK	

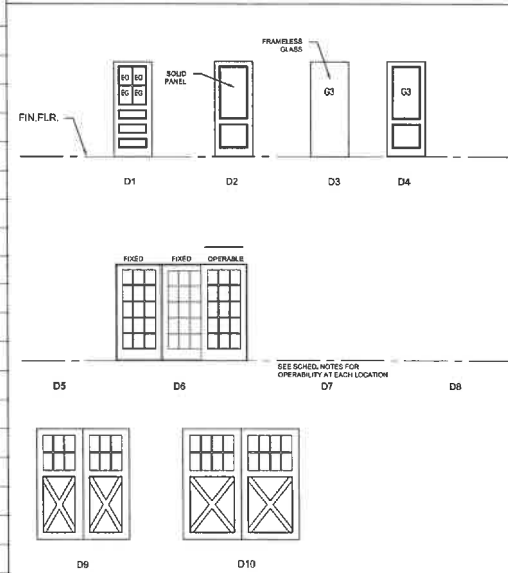
GENERAL NOTES

- SEE FLOOR PLANS FOR DOOR NUMBER TAGS.
- EXTERIOR DOORS TO BE MARVIN WOOD ULTIMATE COMMERCIAL 1-3/4" THICK DOORS WITH ALUM. CLADDING ON EXTERIOR. INTERIOR WOOD TO BE MIXED GRAIN DOUGLAS FIR WITH CLEAR FINISH. SEE SHT. GS-1.1 FOR ALL CODE REQUIREMENTS FOR "U" AND "SCMG" VALUES REQUIRED. SUBMIT SHOP DRAWINGS SHOWING VALUES BEFORE PURCHASING OR INSTALLING DOORS.
- INTERIOR DOORS TO BE STAIN GRADE WOOD DOORS TO MATCH AND BLEND WITH SELECTED WOOD GRAIN AND STAIN OF EXTERIOR DOORS. PROVIDE OWNER WITH ALTERNATE PRICE FOR PAINTED INTERIOR FINISH FOR WOOD DOORS.
- HARDWARE TO BE COORDINATED WITH OWNER FOR KEYING/MASTER KEYING. EXISTING HARDWARE TO REMAIN TO BE REPAIRED/ CLEANED. NEW HARDWARE FINISH TO BE OIL RUBBED BRONZE. NEW HARDWARE MAKE AND STYLE TO BE SELECTED BY OWNER.
- CONTRACTOR IS TO COORDINATE EXISTING ELECTRONIC SECURITY ALARM SYSTEM WITH DOORS AND HARDWARE AS REQUIRED.

GLASS SCHEDULE

G1	INSULATED, CLEAR, LOW-E, ARGON FILLED
G2	INSULATED, CLEAR, LOW-E, ARGON FILLED, TEMPERED GLASS
G3	SINGLE PANE, CLEAR, TEMPERED GLASS
G4	SINGLE PANE, FROSTED, TEMPERED GLASS
EG	EXISTING GLASS AND MULLIONS. REPAIR GLAZING COMPLUD AS REQUIRED.

DOOR TYPES



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DOOR SCHEDULE

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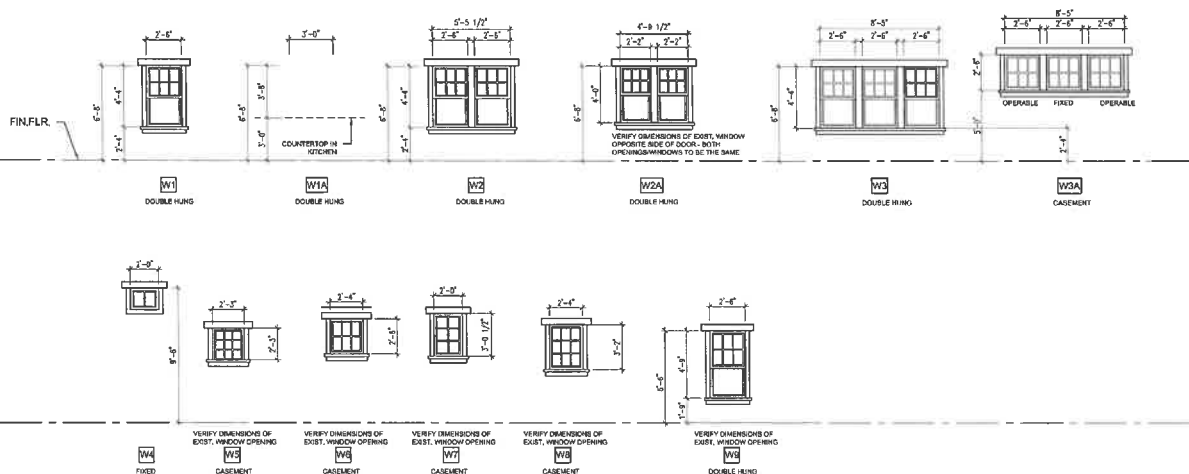
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Variances Request

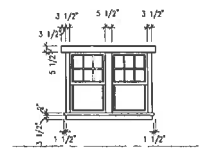
WINDOW TYPES



GENERAL NOTES

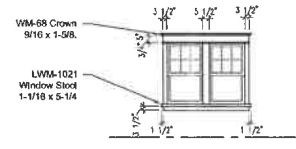
1. ALL EXISTING WINDOWS TO BE REPLACED. CONTRACTOR TO VERIFY EXISTING ROUGH OPEN SIZES BEFORE ORDERING AND INSTALLING NEW WINDOWS.
2. ALL WINDOWS TO BE MARVIN WOOD WINDOWS WITH ALUM. CLADDING ON EXTERIOR. INTERIOR WOOD TO BE MIXED GRAIN DOUGLAS FIR WITH CLEAR FINISH.
3. SEE SHT. CS-1.1 FOR ALL CODE REQUIREMENTS FOR "U" AND "SCHGG" VALUES REQUIRED. SUBMIT SHOP DRAWINGS SHOWING VALUES BEFORE PURCHASING OR INSTALLING WINDOWS.
4. PROVIDE OWNER WITH ALTERNATE PRICE FOR PAINTED INTERIOR FINISH.
5. SEE ELEVATIONS FOR SWING INDICATION FOR CASEMENTS. SEE FLOOR PLANS FOR WINDOW TAGS.

TYPICAL EXTERIOR WINDOW TRIM



TRIM TO BE 5/4 THICK SMOOTH CEMENTIOUS TRIM

TYPICAL INTERIOR WINDOW TRIM



TRIM TO BE 5/4 THICK WOOD TRIM

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WINDOW SCHEDULE

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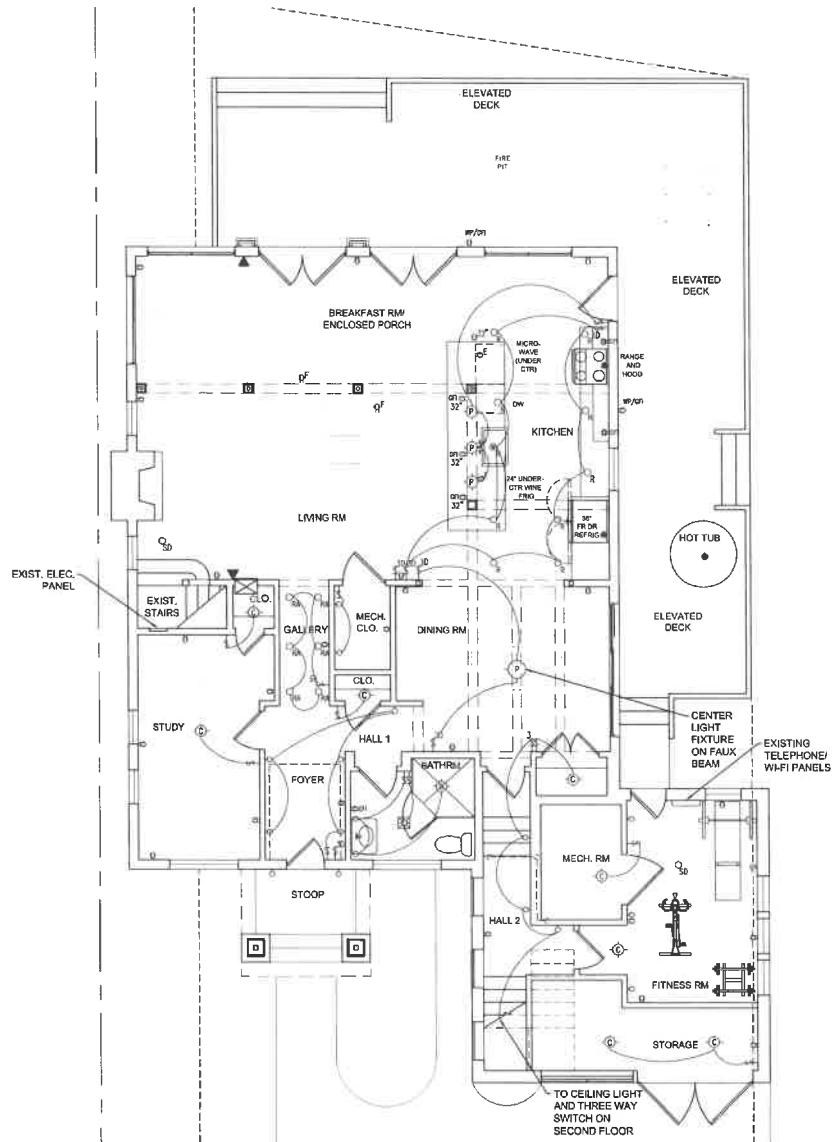
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Construction Documents
Progress Set

A-7.2

Window Request

09/18/23
2023.01



1 Electric Fixture Location Plan - First Floor
 Scale: 1/4" = 1'-0"

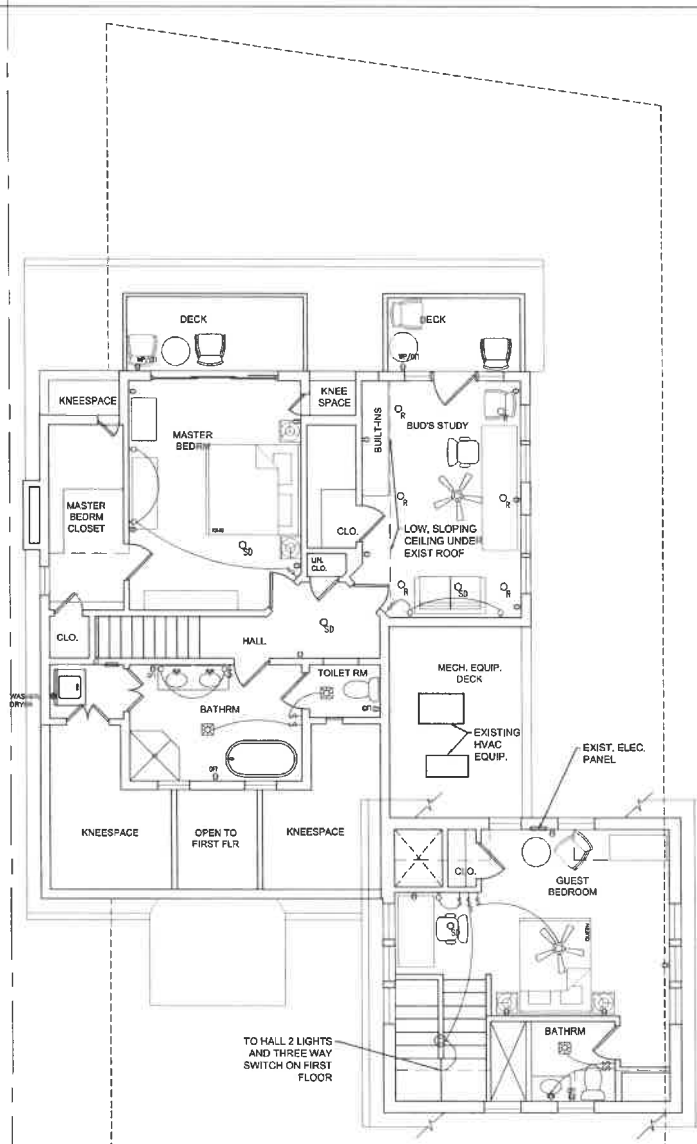
- Electrical Plan Key**
- Switch
 - Switch Fan
 - Switch Under Counter
 - Dimmer Switch
 - 3 Way / Dimmer Switch
 - Outlet Outlet @ 12" H, 14"-18" x 1.5
 - Quad Pwr Outlet with USB @ counter 1/2" (center @ 64" x 1.5)
 - Outlet outlet @ Height required by appliance or equipment (contractor to coordinate)
 - Outlet outlet @ Speedie Height (8") in inches
 - Outlet outlet @ Floor - flush with finish floor, bronze finish
 - Outlet Outlet Ground Fault Interrupt Reset
 - Weather Protection Covered Duplex Outlet
 - Dedicated Outlet
 - Surface Mounted Light
 - Surface Mounted Pull Chain Light
 - Pendant Mounted Light
 - Pendant Mounted Light - Chandelier
 - Recessed Light - 4" aperture, LED
 - Recessed Light - 4" aperture, LED, adjustable/directional tube
 - Wall Mounted Light
 - Undercabinet Light 1" Tall
 - Exhaust Fan and Light Fixture
 - Exhaust Fan
 - Calling Fan
 - Heated Towel Bar
 - Doorbell Button
 - Thermostat
 - Surface Junction Box
 - Surface Junction Box Ceiling
 - Security System Console
 - Fire/Smoke Detector -hardwired
 - Telephone/Data/TV Jack
 - Utility Meter

Burnett Residence
 3545 Narragansett Avenue, Annapolis, MD 21403
Electrical Fixture Location Plan
First Floor

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Construction Documents
 Progress Set
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 2023.01

Variances Request



1 Electric Fixture Location Plan - Second Floor
 Scale: 1/4" = 1'-0"

Electrical Plan Key

- Switch
- Switch Fan
- Switch Under Counter
- Dimmer Switch
- 3 Way / Dimmer Switch
- Duplex Outlet @ and in: (4-11" x 1.1)
- Grid Plan Outlet with USB @ center pt. (center @ 44" x 1.1)
- Duplex Outlet @ Height required by appliance or installation (Contractor to coordinate)
- Duplex outlet @ Special Height (ft) in inches
- Duplex Outlet @ Floor - flush with brick floor, bronze finish
- Duplex Outlet Ground Fault Interrupt Reset
- Washbas Protection Covered Duplex Outlet
- Dedicated Outlet
- Surface Mounted Light
- Surface Mounted Pull Chain Light
- Pendant Mounted Light
- Pendant Mounted Light - Chandelier
- Recessed Light - 4" aperture, LED
- Recessed Light - 4" aperture, LED, adjustable/directional balls
- Wall Mounted Light
- Undercabinet Light 17" tall
- Exhaust Fan and Light Fixture
- Exhaust Fan
- Ceiling Fan
- Heated Towel Bar
- Doorbell Button
- Thermostat
- Surface Junction Box
- Surface Junction Box Ceiling
- SEC Security System Console
- Fire/Smoke Detector - hardwired
- Telephone/Internet/TV Jack
- Utility Meter

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Electrical Fixture Location Plan
Second Floor

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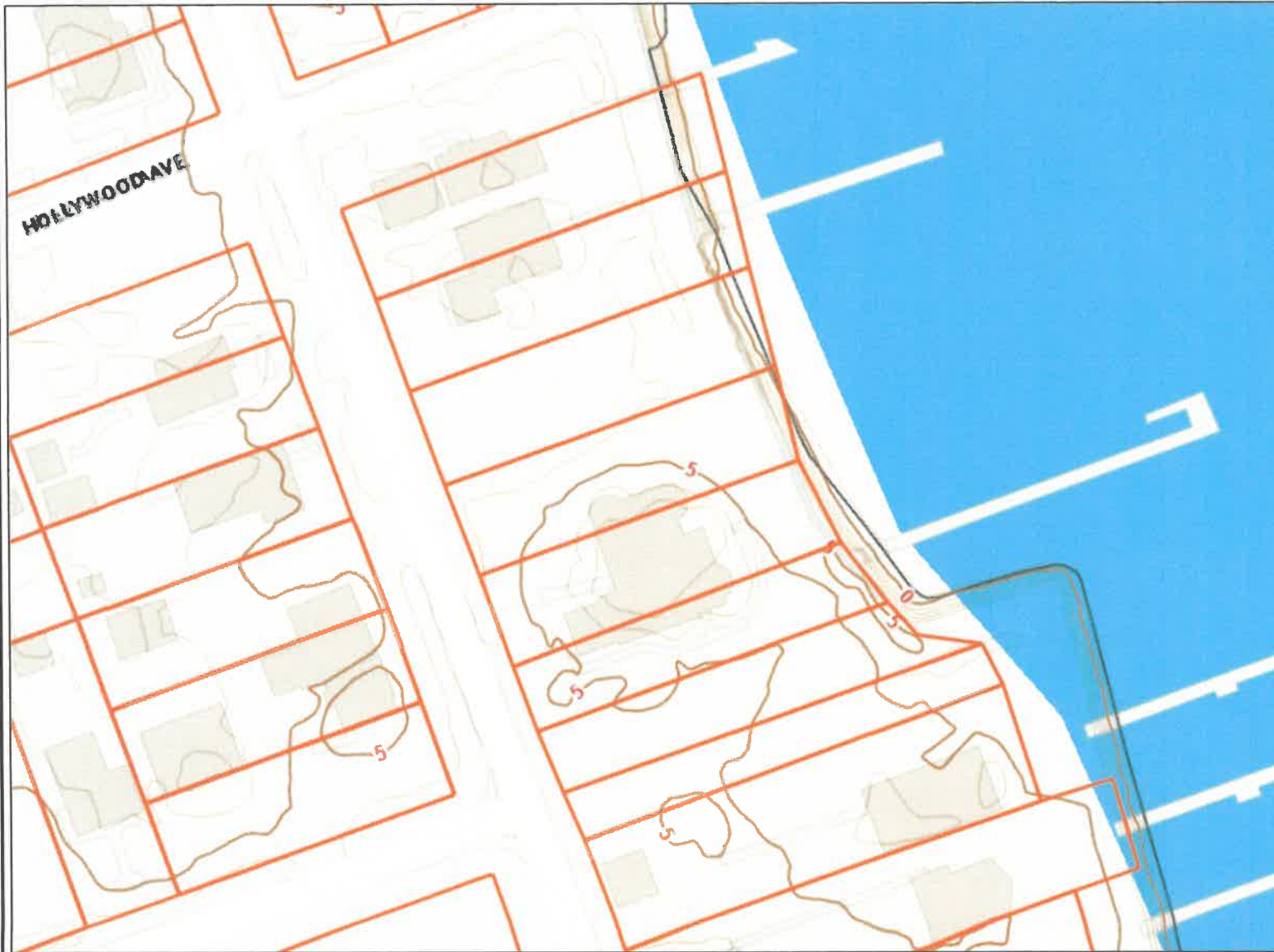
Construction Documents
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09/18/23
 2023.01

Variance Request

Topographic Map - lot outline is ref only NOT exact



Legend

Foundation

Parcels



Elevation

Topo 2020

Index

Intermediate



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USED FOR NAVIGATION

0 100 200
ft

Notes 1" = 100 ft lot outline is ref only NOT exact