



11519 H. G. Trueman Road, Lusby, Maryland 20657
johnkrauseconstruction@gmail.com
443-404-5284

November 2, 2023

Anne Arundel County, Maryland
Office of Administrative Hearings
Arundel Center, PO Box 2700
Annapolis, Maryland 21404-2700

Re: Building Permit #B-02413204
Anthony & Mildred Grieb
922 Arundel Drive, Arnold, Maryland 21012
Letter of Explanation for Variance Request

To whom it may concern:

On behalf of the owners, we respectfully submit this Variance request to disturb 15% slopes or greater in the critical area, and to disturb the 25' buffer to steep slopes on the above-mentioned critical area residential property. Please let this serve as the Letter of Explanation for the Variance Request.

The lot is developed with a single family (split-foyer) dwelling, shed, swimming pool and associated improvements. This lot means the definition of a buildable lot, subject to the approvals of the county. The property is 68,399 square feet in area. The site is served by private septic, (which was recently replaced) a private well, and a paved road, (Arundel Drive), a public right of way. The site drains from the north side of the property to the south side. The site is located in the LDA (Limited Development Area) of the Critical Area but is not waterfront, however there is a stream running along the entire south side of the property which has an associated 100' buffer. The site is zoned R1 residential. The south side of the property consists of steep slopes within the 25' steep slope buffer.

The applicant wishes to update the existing dwelling and construct a partial second story on the dwelling resulting in four (4) bedroom home that is ADA Compliant on the first floor. The Septic Tank was upgraded to a BAT System and is now compliant with Bay Nitrate Requirements. The septic system also meets the requirements for the house designed. The existing well meets the requirements for both the county and homeowners and will not need replacement. The existing drain fields are to remain, which are located in the front of the property with room for a replacement field as well. Two (2) additional replacement fields are identified as available in the rear of the property. Mr. Grieb has a degenerative spine condition that will require him to have a house with one story living for future wheelchair accessibility. A Split Foyer home does not meet this requirement without the redesign of the first floor living space. The design of the house is similar to the design and build of the other houses in the community.

A variance is requested to Article 17-6-403 which pertains to distance of steep slopes and the 25' buffer to steep slopes. The proposal being presented is to disturb a portion of the slopes and the 25' buffer to steep slope buffer in the Critical Area. This disturbance is for the construction of a 2nd story with temporary distance within the buffer for the construction. The Steep slope/buffer disturbance is unavoidable for this project but will be kept to the minimum necessary for the required work.

The proposed work calls for a 2nd story addition with some interior remodeling. The variance requested is as follows and the proposed work will require the following critical area variances:

1. A critical area variance from the prohibition in 17-8-301 against disturbing the buffer to allow the applicants to construct a 2nd story addition with the actual disturbance being at the time of permitting.
2. A critical area variance from the prohibition in 17-8-201(a) against disturbing steep slopes to allow the applicants to construct the proposed 2nd story addition with the actual disturbance being at the time of permitting.

The relief requested is to allow the applicants to build a 2nd story addition onto the existing home with minimal disturbance to the stream buffer.

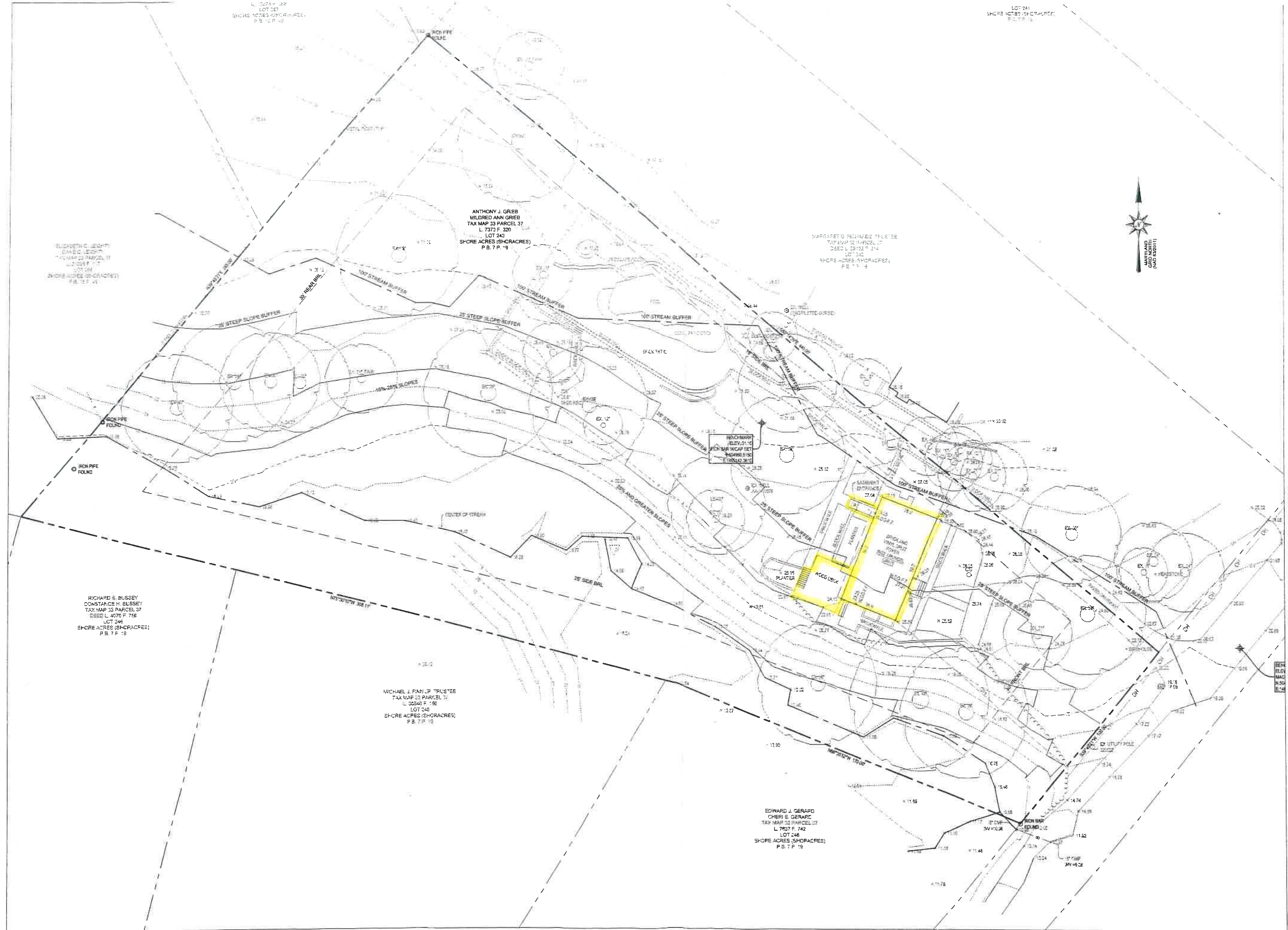
Thank you in advance for your consideration and we look forward to your response.

Sincerely,

John Krause

John Krause, President
John Krause Construction, Inc.

Enclosure: Variance Application and Site Plan



EXISTING CONDITIONS & RESOURCE MAPPING PLAN
SCALE: 1" = 20'

Revisions	Date	By	Discipline

Bay Engineering Inc.
 1500 N. W. 10th St., Suite 100
 Ft. Lauderdale, FL 33304
 Phone: (954) 571-1111
 Fax: (954) 571-1112
 Email: info@bayeng.com

Date: OCTOBER, 2019
 Job Number: 19-7321
 Scale: AS SHOWN
 Drawn By: MG
 Approved By: M. GILLESPIE
 Folder Reference: BRIAN GRIEB SHORE ACRES

Bay Engineering Inc.
 SITE PLANS
 GRIEB PROPERTY

Sheet No.

CRITICAL AREA REPORT WORKSHEET TO ACCOMPANY THE SITE PLAN

Permit Number B 02413204

Total Site Area 68399 Square Feet (1 Acre = 43,560 Square Feet)

Total Wooded Area _____ Square Feet- 'Wooded' MEANS A BIOLOGICAL COMMUNITY DOMINATED BY TREES AND OTHER WOODY PLANTS (SHRUBS AND UNDERGROWTH), INCLUDING FORESTS THAT HAVE BEEN CUT BUT NOT CLEARED.

* Please Indicate Square Footage of Woodland Removed for the following:

- 1. House 1350 Sq. Ft.
- 2. Septic or sewer _____ Sq. Ft.
- 3. Well _____ Sq. Ft.
- 4. Driveway 8660 Sq. Ft.
- 5. Accessory Structure Concrete stairwell & shed 172 Sq. Ft.
- 6. Additions _____ Sq. Ft.
- 7. Storm Water Management _____ Sq. Ft.
- 8. Other Clearing: work area; access; stockpiles, etc. _____ Sq. Ft.

* Total Woodland Removed = 0 Sq. Ft.

"Impervious Coverage" IS ANY SURFACE THAT WILL NOT ABSORB LIQUID. THIS INCLUDES ROOFS, SIDEWALKS, DRIVEWAYS, AND ANY TYPE OF PAVEMENT. COMPACTED GRAVEL IS CONSIDERED AN IMPERVIOUS SURFACE.

* Please Indicate Square Footage of Impervious Coverage for the following:

- | <u>Existing Impervious</u> | <u>Proposed Impervious</u> |
|--|---------------------------------------|
| 1. House (roof area) <u>1350</u> Sq. Ft. | 1. House (roof area) _____ Sq. Ft. |
| 2. Driveway + Sidewalks <u>8660</u> Sq. Ft. | 2. Driveway + Sidewalks _____ Sq. Ft. |
| 3. Accessory Structures <u>Concrete Stairwell & shed 172</u> Sq. Ft. | 3. Accessory Structures _____ Sq. Ft. |
| | 4. Additions _____ Sq. Ft. |

* Total Existing and Proposed Impervious Coverage 10,182 Sq. Ft.

Ⓢ PLEASE INCLUDE ALL EXISTING AND PROPOSED SQUARE FOOTAGE.

I John Krause Construction, (property owner and contract purchaser, if applicable) hereby certify that the above critical area worksheet is true and correct based upon personal knowledge. I further declare that a copy of the foregoing document will be transferred to any purchaser of this property from me (or corporation, if applicable) at the time of settlement. I hereby understand that these computations shall be a binding part of issuance of a building permit for lot # 243 block # _____ of Subdivision Shore Acres.

I hereby certify that I have seen and read the record plat (if approved after 1986 and subject to Critical Area requirements) and have indicated on the attached site plan any easements, buffers, or other restrictions declared on said plat.

[Signature] (Signature) 10/25/23 (Date)
President, John Krause Construction

____ (Signature) _____ (Date)

____ (Title)

EXISTING LOT COVERAGE SUMMARY

DESCRIPTION	AMOUNT	PERCENT
TOTAL LOT AREA	8,771 SQ. FT. OR 0.20 ACRES	
EXISTING LOT COVERAGE	6,771 SQ. FT. OR 0.15 ACRES	
EX. LOT COVERAGE WITHIN 10' BUFFER	9 SQ. FT. OR 0.0002 ACRES	
EX. LOT COVERAGE WITHIN 50' BUFFER	1,720 SQ. FT. OR 0.04 ACRES	
ALLOWABLE COVERAGE WITHIN 50' BUFFER	12,333 SQ. FT. OR 0.28 ACRES	
EXISTING WOODLANDS ON SITE	47,198 SQ. FT. OR 1.08 ACRES	

LEGEND

BUILDING RESTRICTION LINE	---
PROPERTY LINE / RIGHT-OF-WAY	---
EXISTING CONTOUR	---
EXISTING SPOT ELEVATION	---
EXISTING BUILDING	---
EXISTING SOILS TYPE DESIGNATION	Ase/AsC
EXISTING TREE LINE	---
EXISTING FENCE	---
STEEP SLOPES 15 - 25%	---
STEEP SLOPES > 25%	---
25' STEEP SLOPE BUFFER	---
100' STREAM BUFFER	---
FEMA LINE	---

SOILS TABLE

SYMBOL	NAME	HYDROLOGIC SOIL TYPE	PERCENT COVERAGE	HYDRIC SOIL	HIGHLY ERODIBLE SOIL
ANB	ANNAPOLIS LOAMY SAND	C	14.37%	NO	NO
CRD	COLLETON AND ANNAPOLIS SOE S	TF	80.82%	NO	NO
PAH	PATAPOSCO EVERBROOK-FORT MOTT COMPLEX	M	6.01%	NO	NO



MARYLAND
DEPARTMENT OF HEALTH
Division of Environmental Health
3 Harry S. Truman Parkway
Annapolis, MD 21404
Phone: 410-223-2222 Fax: 410-223-1475
Maryland Relay: (1-777) 711
www.maryland.gov

PHILIP B. BARNETT, M.D., RACP
Health Officer

ANTHONY CRENS
522 ARUNDEL DRIVE
ANNAPOLIS, MD 21403

(January 24, 2023)

RE: Project #2020000004
The Arundel RD/ARUNDEL DR
522 ARUNDEL DRIVE
ANNAPOLIS

This plan does not constitute a Health Department or Building Department approval for an individual job. The Anne Arundel County Department of Public Health is responsible for the public health aspects of this project. Permits and fees are available on March 3, 2023. Minimum charge representation for plans for a project under the current rules. Plans must be submitted to the Health Department for review. The submission does not constitute an approval for any other system not regulated by the Health Department.

Septic Tank S&C

Soiled Tank Pads:

Unit # 1
Tank Length 100 feet
Width of Tank 2 feet
Length of Tank 10 feet
Depth of Tank 2 feet
Pipe to septic tank depth 2 feet
Tankhead depth of 2 feet 6 inches
Tankhead depth of 2 feet 6 inches

Replacement system:

Unit # 2
Tank Length 100 feet
Width of Tank 2 feet
Length of Tank 10 feet
Depth of Tank 2 feet
Pipe to septic tank depth 2 feet
Tankhead depth of 2 feet 6 inches
Tankhead depth of 2 feet 6 inches

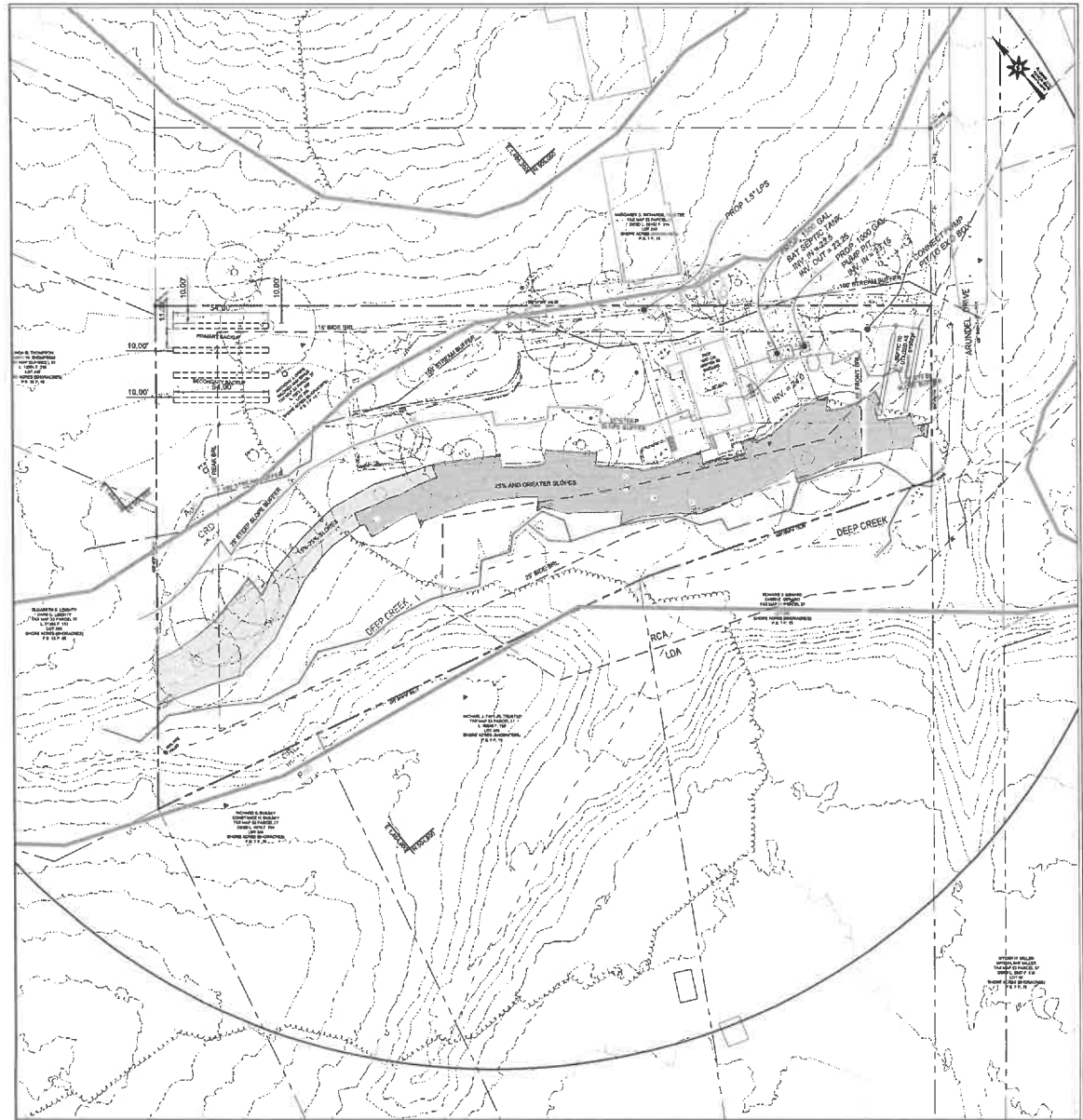
Note: MINIMUM COVER FROM FURNACE MAY BE REQUIRED.

A change reflecting professional work will be required with the change of the original stamped system. The reason for this requirement is that property is located in the Chesapeake Bay watershed as required by COMAR 26.04.02.02.

The submitted design replacement based plans are for the purpose of preparing an application for the submitted property.

Before approval of a septic system for this property is considered, six (6) copies of the plan should include all items on the enclosed site plan worksheet along with other applicable permit information. A completed and the copy of the proposed final design (septic tank [replacement]) must be prepared by the owner/contractor and submitted to the office for review.

CALL BEFORE YOU DIG!
MARYLAND LAW REQUIRES 48 HOURS NOTICE
BEFORE PLANNED WORK TO MARK
UNDERGROUND UTILITIES PRIOR TO EXCAVATION
WEB UTILITY: 1-800-251-7777



SEPTIC SITE PLAN

T02050549

SCALE: 1" = 30'

Rev.	By	Date	Description



Anthony Crens
Professional Engineer
State of Maryland
License No. 14322
Exp. 12/31/2025



Bay Engineering Inc.
Professional Engineering Firm
266 E. River Road, Suite 200
Annapolis, MD 21403
Phone: 410-223-2222
Fax: 410-223-1475
www.bayengineering.com

Date	AUGUST 2023
Job Number	20-2023
Scale	AS SHOWN
Drawn By	TU
Approved By	TU
Field Reference	522 ARUNDEL DRIVE ANNAPOLIS, MD

SEPTIC SITE PLAN
SITE PLANS
GRIEB PROPERTY
522 ARUNDEL DRIVE, ANNAPOLIS, MD 21403
TANK & ABSORPTION AREAS 100' x 2' x 2'
DEEP BRANCHES 7.5' x 10' x 2' (A, B, C) & 6' x 10' x 2' (D)
THIRD DISTRICT - ANNE ARUNDEL COUNTY

Sheet No. **1 OF 1**

PLOTTED: Aug 18, 2023 - 4:03pm

F:\23-0223-022-022-0023 Grading Permit Plans.dwg

EXISTING LOT COVERAGE SUMMARY

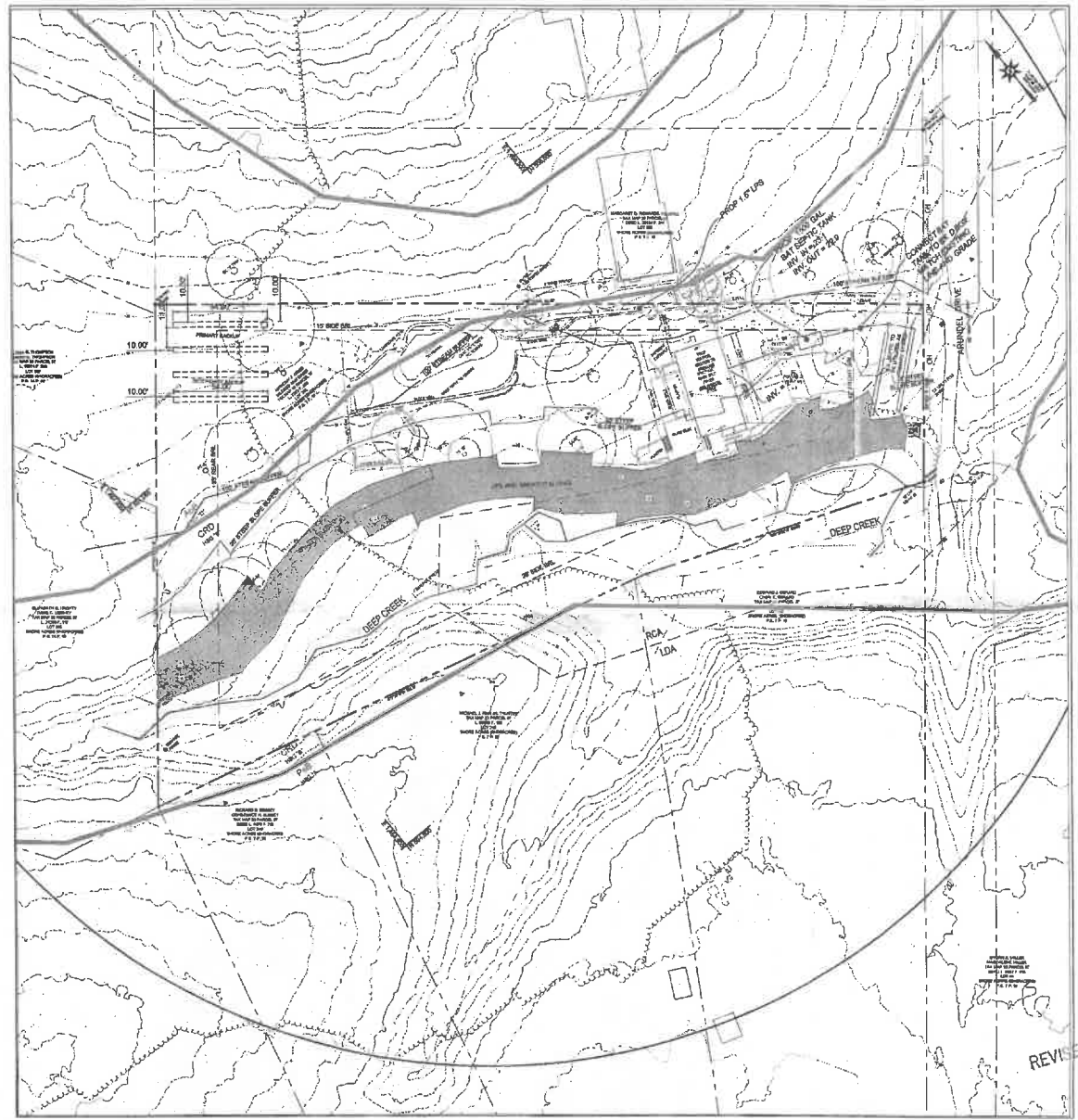
DESCRIPTION	AREA
TOTAL LOT AREA	81.881 SQ. FT. OR 1.87 ACRES
EXISTING LOT COVERAGE	8.1718 SQ. FT. OR 0.187 ACRES
FE LOT COVERAGE WITH 1% SLOPES	8 SQ. FT. OR 0.184 ACRES
FE LOT COVERAGE WITH 2% SLOPES	1.1323 SQ. FT. OR 0.026 ACRES
ALLOWABLE COVERAGE WITH LPA (1%)	47.116 SQ. FT. OR 1.08 ACRES
EXISTING WOODLAND ON SITE	

LEGEND

BUILDING RESTRICTION LINE	-----
PROPERTY LINE / RIGHT-OF-WAY	-----
EXISTING CONTOUR	----- 142
EXISTING SPOT ELEVATION	>112.3
EXISTING BUILDING	-----
EXISTING SOILS TYPE DESIGNATION	Ase/Asc
EXISTING TREE LINE	-----
EXISTING FENCE	-----
STEEP SLOPES 14 - 25%	-----
STEEP SLOPES >25%	-----
25' STEEP SLOPS BUFFER	-----
100' STREAM BUFFER	-----
FEMA LINE	-----

SOILS TABLE

SYMBOL	NAME	HYDROLOGIC SOIL TYPE	PERCENT COVERAGE	HYDRIC SOIL	HIGHLY ERODABLE SOIL
Ash	ANNAPOLIS LOAMY SAND	T	18.37%	NO	NO
CSD	COLLEEN INC. ANNAPOLIS SOILS	T	63.00%	NO	NO
Pub	PATAPSCO-BYSSONO-FORT MOTT COMPLEX	T	0.01%	NO	NO



SEPTIC SITE PLAN

T02050549

SCALE: 1" = 30'

THIS PLAN HAS BEEN APPROVED BY THE ANNE ARUNDEL COUNTY HEALTH DEPARTMENT. NO OTHER REVISIONS FROM THE PLAN OWNER ARE IN THE INTEREST OF THE PUBLIC.

MARYLAND DEPARTMENT OF HEALTH
 Division of Environmental Health
 2300 S. Powers Building
 Annapolis, MD 21404
 Phone: (410) 327-7300 Fax: (410) 327-7470
 Maryland Relay (TDD) 711
 www.doh.maryland.gov
 Permit: 2020050549, MBL, P&T
 Revision: 01

ADJUTANT GENERAL
 202 ANNE ARUNDEL COUNTY
 ANNAPOLIS, MD 21402

XX: No. 01/20/2020
 The Anne Arundel County Health Department is hereby certifying that the information on this plan is true and correct as shown on the attached drawings and specifications. The information on this plan is true and correct as shown on the attached drawings and specifications. The information on this plan is true and correct as shown on the attached drawings and specifications.

Site Tank Size
 Initial Capacity: 100 gal
 Final Capacity: 100 gal
 Total Length: 200 ft
 Width of Tank: 3 ft
 Length of Tank: 19 ft
 Height of Tank: 2 ft
 Depth of Tank: 2 ft
 This is based on a design flow of 2.0 gpm. Tankage determined by 2.0 gal flow times edge to edge.

Other: ONE CULVERT PERMANENT TANK MAY BE REQUIRED.

A septic collecting permit must be applied for and approved prior to the design of a septic disposal system. The owner for this treatment is the property to be served by the septic system. It is recommended that the owner consult with the County Health Department for further information.

The minimum design requirement based on a design flow of 2.0 gpm is as follows:
 - Tank #1: Total Length 200 ft, Width of Tank 3 ft, Length of Tank 19 ft, Height of Tank 2 ft, Depth of Tank 2 ft
 - Tank #2: Total Length 200 ft, Width of Tank 3 ft, Length of Tank 19 ft, Height of Tank 2 ft, Depth of Tank 2 ft
 - This is based on a design flow of 2.0 gpm. Tankage determined by 2.0 gal flow times edge to edge.

Other: ONE CULVERT PERMANENT TANK MAY BE REQUIRED.

ADJUTANT GENERAL
 202 ANNE ARUNDEL COUNTY
 ANNAPOLIS, MD 21402

January 24, 2023

PLOTTED: Aug 21, 2023 - 10:47am



CALL BEFORE YOU DIG
 MARYLAND LAW ENFORCES 48 HOURS NOTICE
 BEFORE PLANNED WORK TO MARK
 UNDERGROUND UTILITIES PRIOR TO EXCAVATION
 1-800-387-7177

Revision

No.	Date	Description



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Bay Engineering Inc.
 2300 S. Powers Building
 Annapolis, MD 21402
 Phone: (410) 327-7300
 Fax: (410) 327-7470
 www.bayengineering.com

Date: AUGUST 2023

Job Number	T02050549
Scale	AS SHOWN
Drawn By	WJ
Approved By	WJ
Federal Registration	000000000000000000
Professional Seal	000000000000000000

SEPTIC SITE PLAN

SITE PLANS

GRIEB PROPERTY
 832 ANNE ARUNDEL DRIVE, ANNAPOLIS, MD 21402
 TAX MAP 33 - CSD 22 - PARCEL 37 - LOT 43 SHORE ACRES
 DEED REFERENCE: 7371/200 T.A. #297-96-BORNETOWN - ZONE R-1
 THIRD DISTRICT - ANNE ARUNDEL COUNTY

Sheet No. 1 OF 1

F:\02-6023 022 Anundel Site 19-25110 Drawing Files\02-6023 0222 Grading Permit Plans.dwg



OFFICE OF PLANNING AND ZONING

CONFIRMATION OF PRE-FILE

PRE-FILE #: 2023-0061-P
DATE: 12/18/2023
OPZ STAFF: Jennifer Lechner
Kelly Krinetz

APPLICANT/REPRESENTATIVE: Anthony & Mildred Grieb / John Krause Construction

EMAIL: johnkrauseconstruction@gmail.com

SITE LOCATION: 922 Arundel Drive, Arnold, 21012

LOT SIZE: 68,399 sqft

ZONING: R1 **CA DESIGNATION:** LDA/RCA **BMA:** NO **BUFFER:** EXP **APPLICATION TYPE:** Variance

The applicants are proposing to temporarily disturb certain environmentally sensitive features, and their buffers, in order to construct a partial second story addition on the existing dwelling (proposed under B02413204, 2023-0210-V).

The proposed construction will disturb slopes of 15% or greater, the 25ft buffer to the top of the steep slopes, the 100ft Perennial Stream Buffer, the 100ft Intermittent Stream Buffer, Wetlands, the Non Critical 25ft buffer to Wetlands, and the Expanded Buffer. In addition to the variances noted below, modification(s) may also be required during permit review.

- A variance to 17-8-201(a), to allow development within slopes of 15% or greater in the LDA.
- A variance to 18-13-104(a) to allow development within the minimum 100-foot buffer landward from the mean high-water line of tidal waters, tributary streams, and tidal wetlands.
- A variance to 17-8-301, to allow development in the buffer and expanded buffer.

The applicants had been granted critical area variances to 17-8-301 and 17-8-201(a) to build a new SFD (2021-0120-V). However, it appears that permits were not obtained and the variance has expired.

COMMENTS

Critical Area Team: Offers no objection.

Zoning Administration Section:

The Letter of Explanation for the variance submission should reference the correct Code sections.

The applicants are reminded that, in order for the Administrative Hearing Officer to grant approval of the variances, the proposal must address and meet all of the applicable variance standards provided under Section 18-16-305.

The Administrative Site Plan should clearly indicate the proposed height (noted within the footprint of the house), and setbacks of the dwelling addition. In addition, the elevations/construction plans should be provided for clarification during variance application review. Correct the Total Lot Area on the site plan/letter of explanation, as necessary, for accuracy/consistency.

INFORMATION FOR THE APPLICANT

Section 18-16-301 (c) Burden of Proof. The applicant has the burden of proof, including the burden of going forward with the production of evidence and the burden of persuasion, on all questions of fact. The burden of persuasion is by a preponderance of the evidence.

A variance to the requirements of the County's Critical Area Program may only be granted if the Administrative Hearing Officer makes affirmative findings that the applicant has addressed all the requirements outlined in Article 18-16-305. Comments made on this form are intended to provide guidance and are not intended to represent support or approval of the variance request.

Anthony Grieb
322 Arnold Drive
Arnold, M.D. 21012
Revised
Page 1

Architectural Sketches

double 4 white
vinyl siding →

6x6 post →
wrapped with
white Aztek
Added to support
2nd floor See page 8

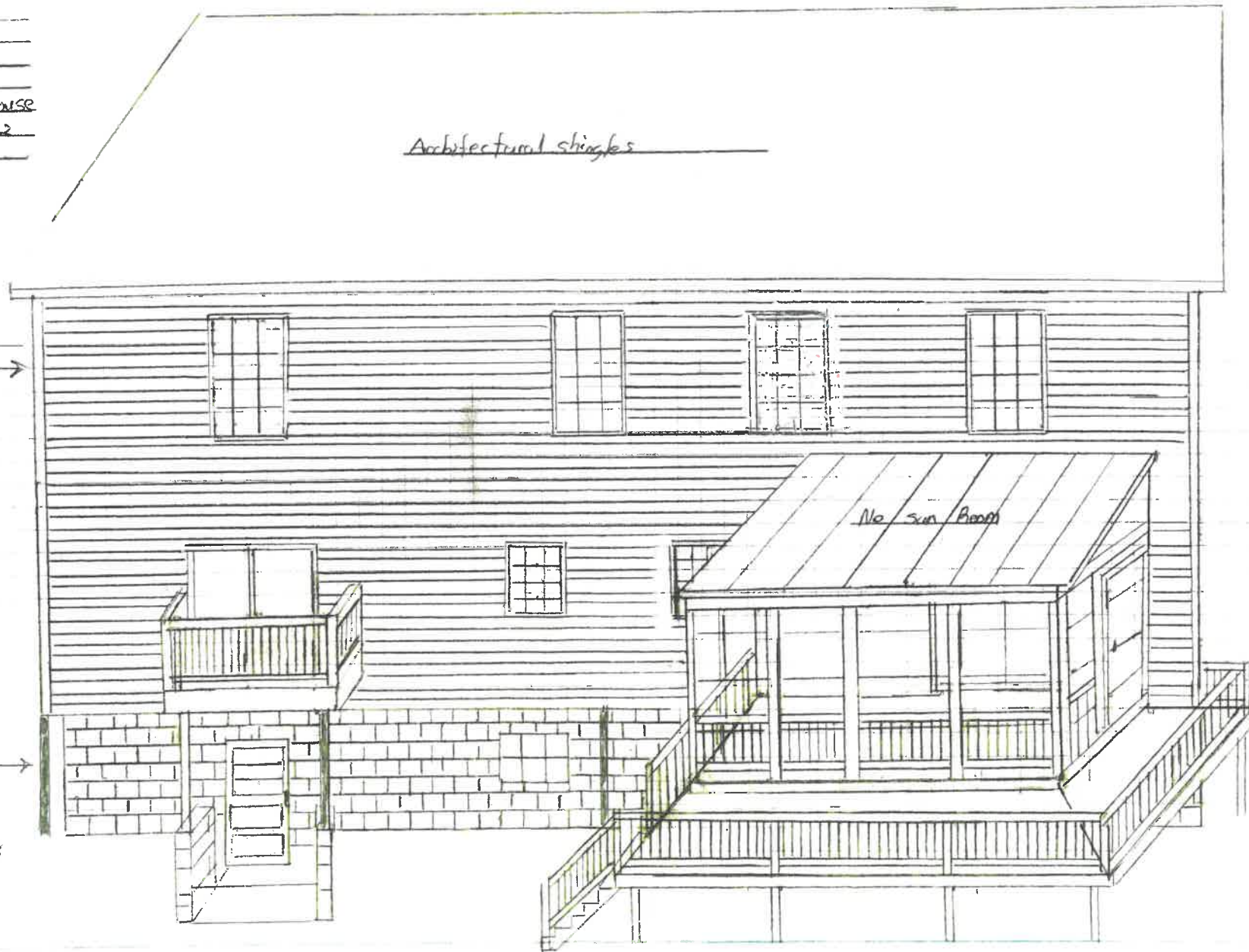


Anthony Grich
922 Arnold Md.
21012
Back of the house
Revised 9/29/2022
Page 2

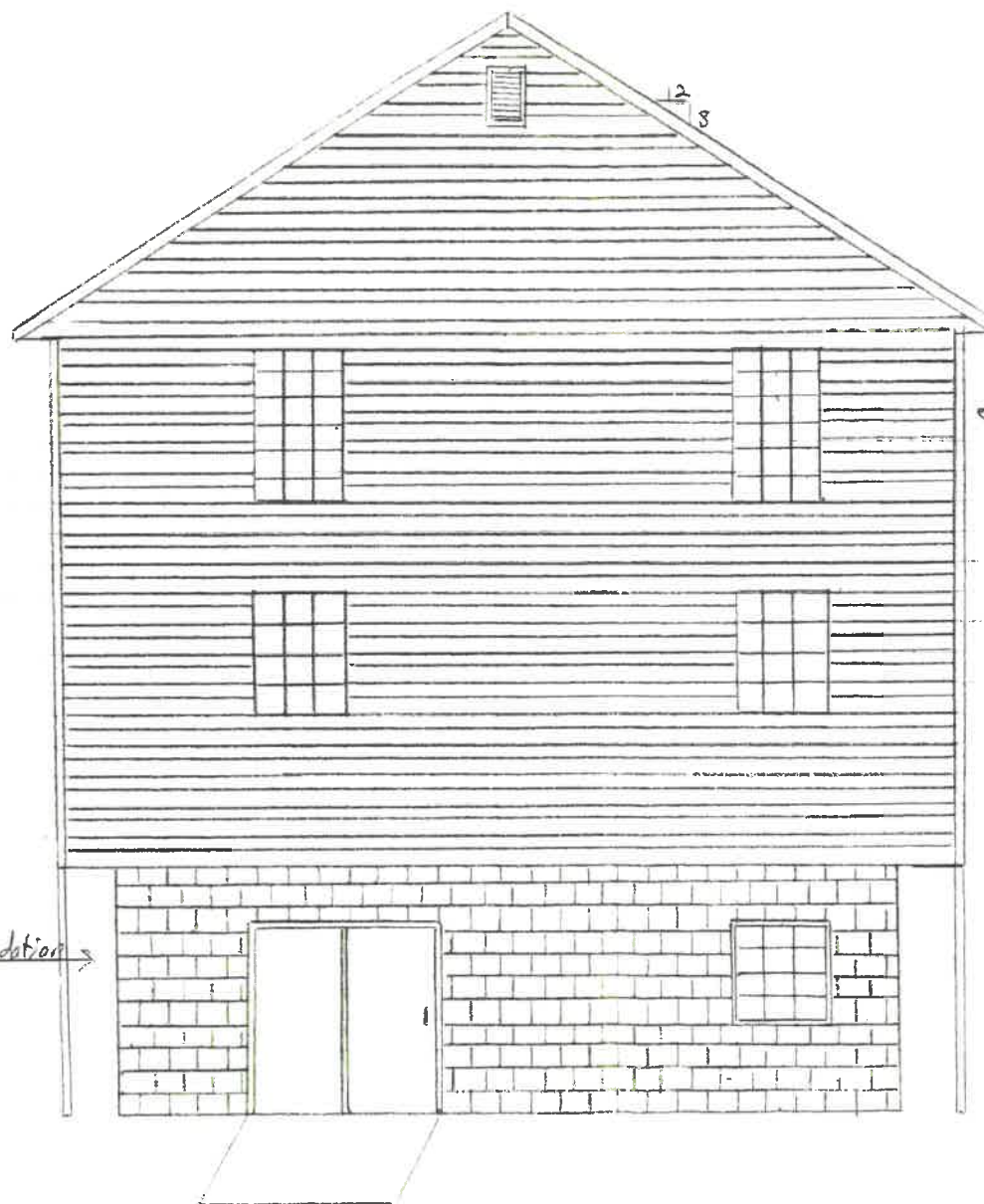
Architectural shingles

Double 4
vinyl siding →

6x6 post
wrapped with
1.20K added to
support 2nd
floor see page 8



Anthony Grieb
722 Acandel Drive
Arnold M.O. 21012
Left Side
Revised 9/29
page 3

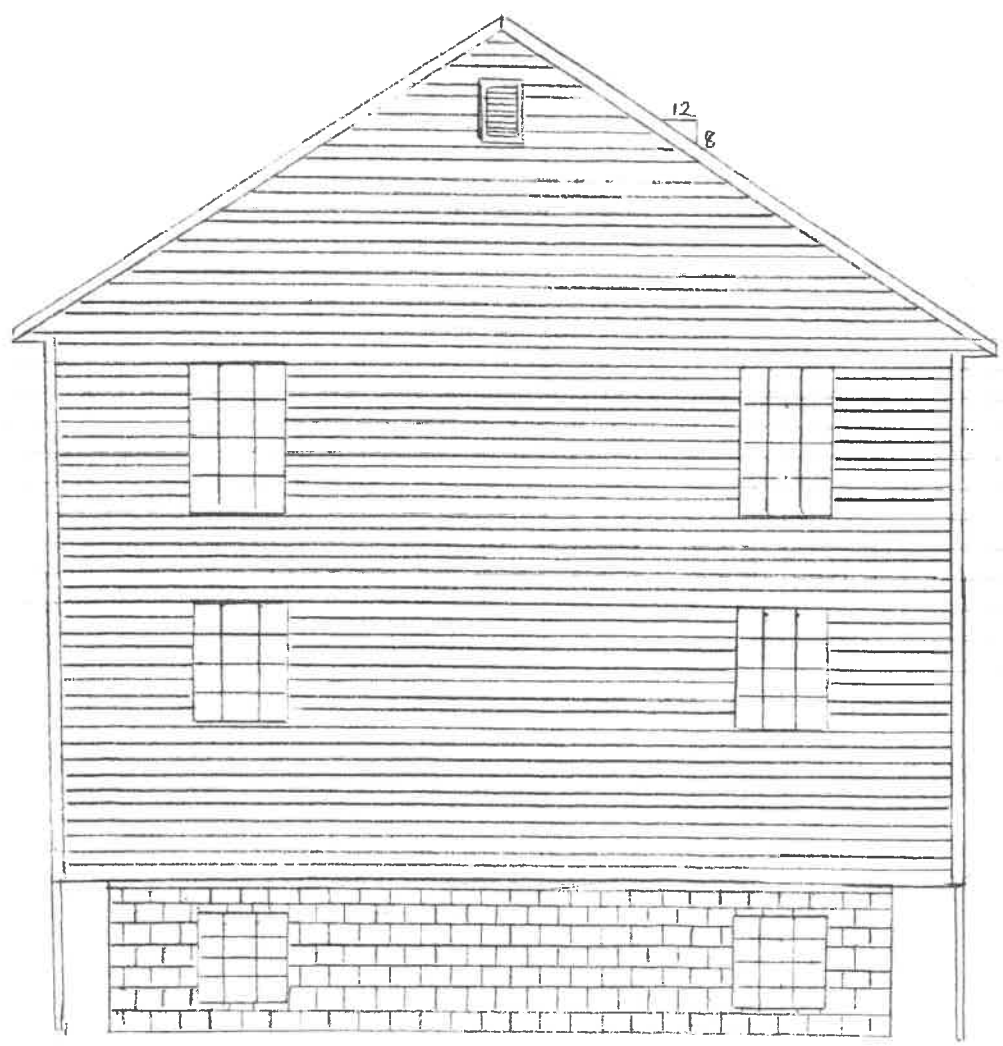


↑
17'-6"
↓

Existing brick foundation

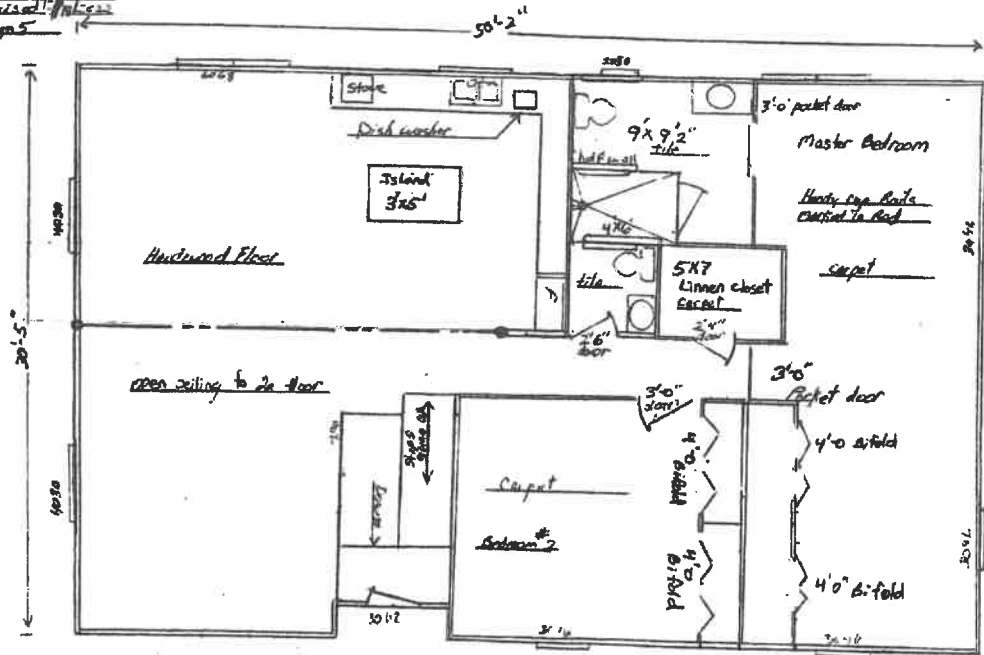
↑
white double 4 vinyl siding
36'-0"
6x6 post wrapped with Acab
see page 8
↓

Anthony Grech
922 Alameda Drive
Arnold, M.D. 21012
Right Side
Revised 9/29
page 4



6x6 post wrapped with ozok.
see page 8

Anthony Frisch
 922 Arundel Drive
 Arnold, MD 21012
 1st Floor
 Scale 1/4" = 1'-0"
 Revised 11/15/22
 Page 5



BEAM FOR OPEN FLOOR PLAN
 $S = 23'$

$$\text{LOADING} = W_2 = \frac{30}{2} \times 40$$

$$= 600 \#/R$$

(FOR 1/2 BEAM LENGTH)

$$M = \frac{600 \times 23^2}{8} \cdot \frac{1}{2} = 20K \cdot R$$

3- 12" LVL'S OR
 W 8 x 21 STEEL



David Wallace 11/1/22

Professional Certification: I hereby certify that these documents were prepared or approved by me. I am a duly licensed professional engineer under the laws of the State of Maryland. License #11466 Exp: May 28, 2023

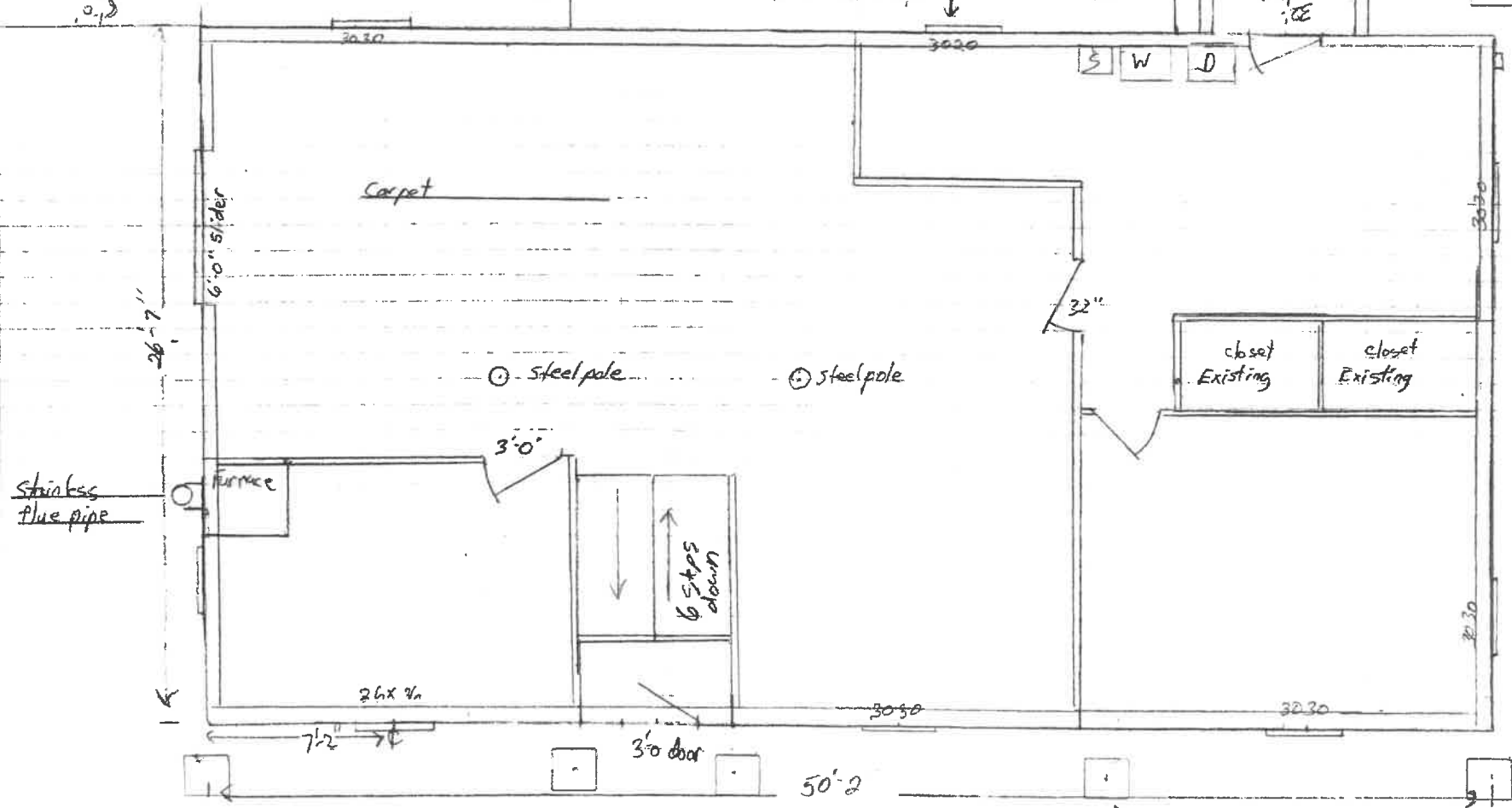
Anthony Grish
922 Franklin Drive
Arnold, M.D. 21012
Contract Revised, 9/28/2022
Scale 1/4" = 1'-0"
Existing Basement
Page 7

22x16
existing deck

10' x 11' 24"
 10' x 11' 24"
 ↓

0-11
 12' 0" x 11' 0" x 5'
 5' x 11' 0" x 12'
 3x4 1/2" x 5'
 1/2" x 11' 0" x 12'
 3x4 1/2" x 5'
 ↓

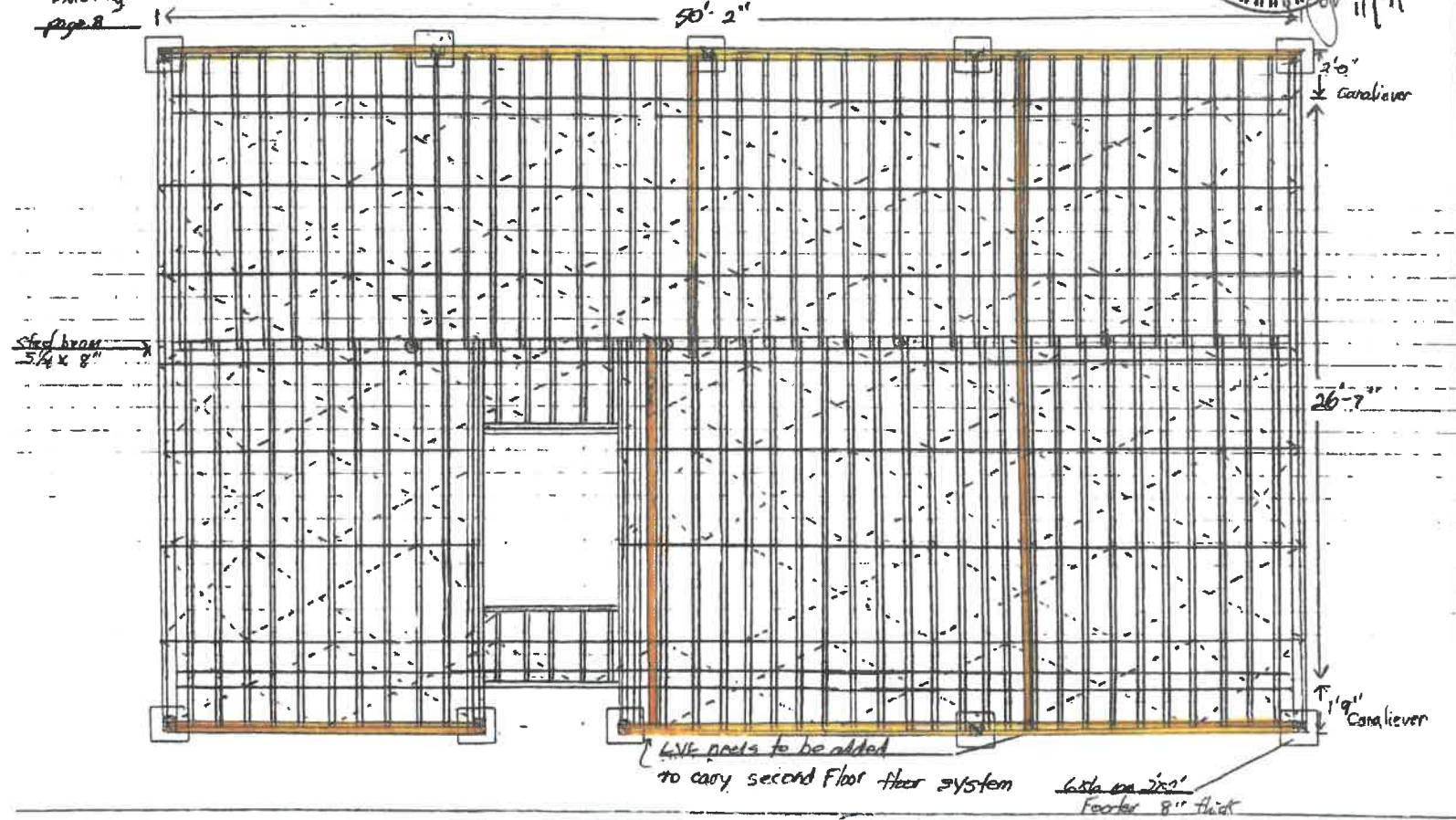
electric meter



24'x24' footer 8" thick

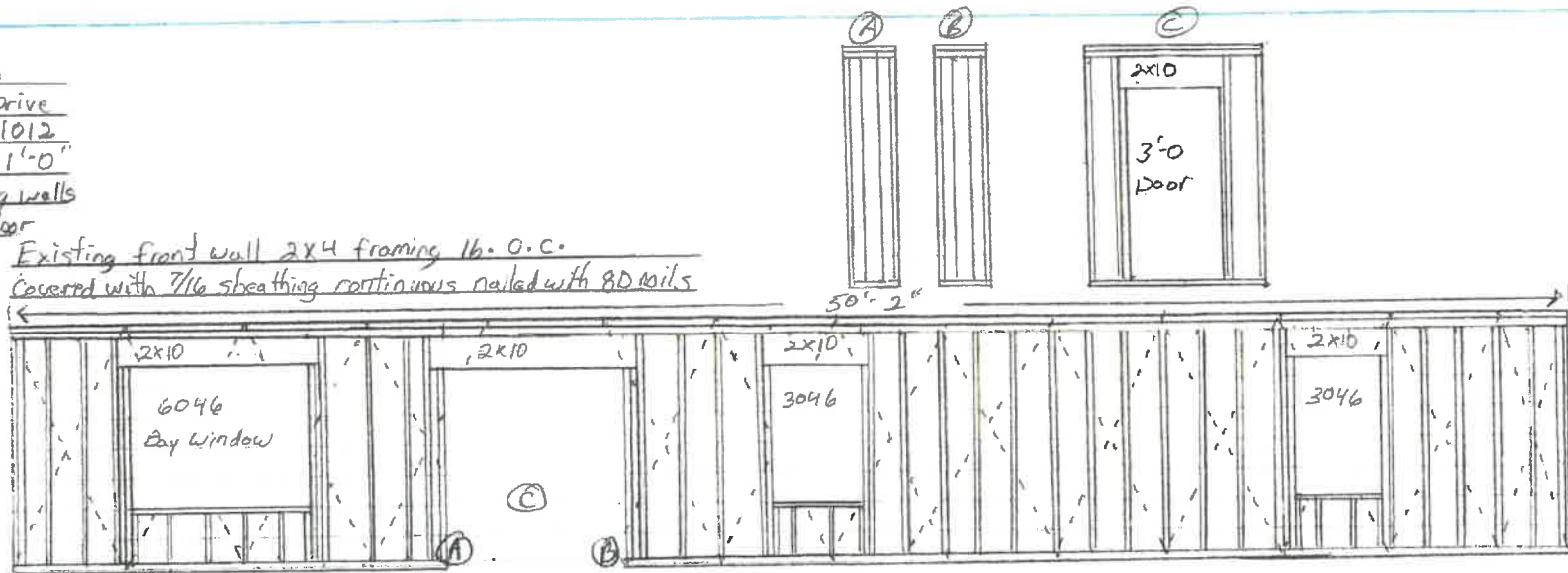
Anthony Grich
922 Arundel Drive
Arnold, Md. 21012
Scale 1/4" = 1'
1st floor floor system
Existing
page 8

Existing 2x10 Floor system
16' o.c. covered with 3/4"
plywood & glued & nailed with 8D



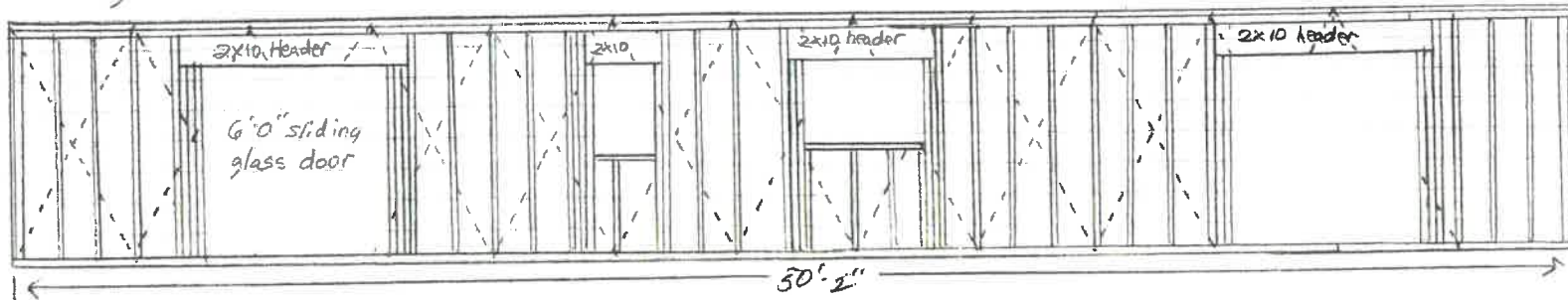
Anthony Grieb
 922 Arandell Drive
 Arnold M.D. 21012
 Scale 1/4" = 1'-0"
 Exterior heating walls
 Existing 1st-floor
 Page 9

Existing front wall 2x4 framing 16" O.C.
 Covered with 7/16 sheathing continuous nailed with 8D nails



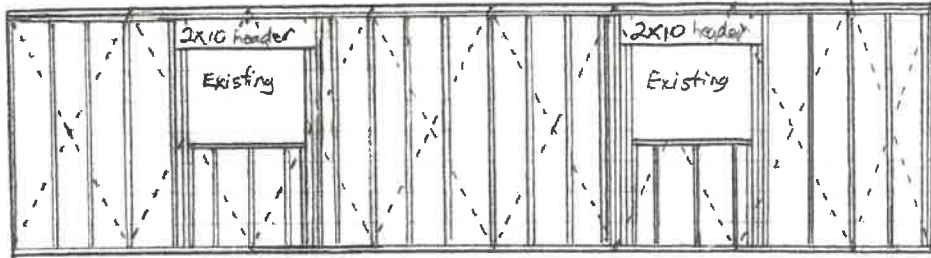
Existing walls insulated with R13

Existing rear wall 2x4 framing 16" O.C. covered with 7/16 sheathing continuous



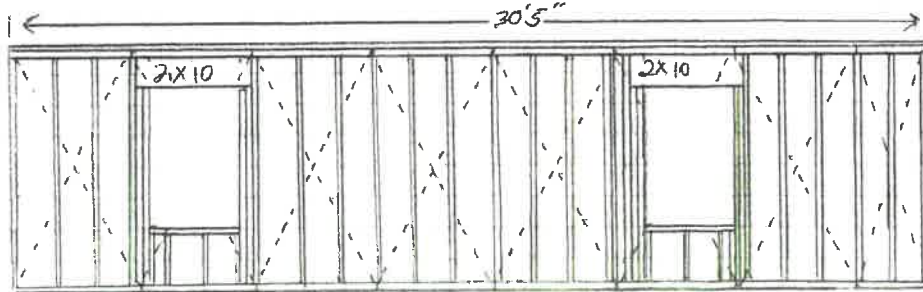
Anthony Grish
922 Arundel Drive
Arnold, M.D. 21012
Scale 1/4" = 1'0"
Exterior bearing walls
1st floor existing
page 10

Left wall facing the front of the house Existing 2x4 framing 16" O.C covered with 7/8 plywood fastened 8D common nails continuous sheathing
30'5"



Existing wall insulated with R-13

Right wall facing left side existing 2x4 framing 16" O.C covered with 7/8 continuous sheathing fastened with 8D common nails



Anthony Grish
922 Arcenal Drive
Annapolis Md 21012
Scale 1/4" = 1'0"
Page 11

2x10 Floor System 16" O.C. fastened with 16D Nails covered
with 3/4 plywood, glued and fastened with RD ring shear nails

