



410-349- 

7798john@kmhomesmd 

.comwww.kmhomesmd. 

MHIC: 145319

Date: 11-17-2023

Address: 1000 Mount Airy Rd Davidsonville MD 21035

To whom it may concern,

- **We are looking to get a 30' variance on the left side of the property at 1000 Mount Airy Rd Davidsonville MD.**
- **The new garage will be attached to the left side of the current home/garage.**
- **The new structure will located more then 100 yards from the next closest structure.**
- **The location for the new garage is not in any critical areas. It is surrounded by tree line (no less then 100 yards away)**
- **No trees, bushes or hedges will be removed for new garage.**
- **The new structure will be located 10' from the current property line.**
- **This Grage will be used for cars, lawnmowers and tractors. Not for occupation.**
- **SQFT of the new structure will be less then 1000 sqft**
- **With the addition of the new garage it will not exceed the 25% of buildable area on the current property.**
- **The new structure will be no taller then the current home.**
- **This structure will have no bathroom, plumbing or running water.**

SITE PLAN

1000 Mt Airy Rd

Davidsonville, MD 21035

Parcel ID: 01-501-90021134

Lot area: 4.5 Acres

Paper Size: 11"x17"



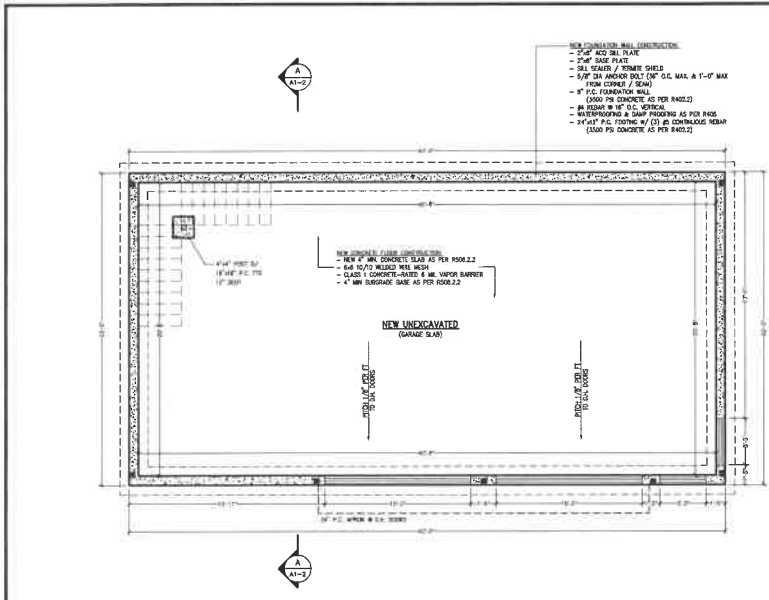
scale 1"=80'

Scale 1/8"=10'

Proposed New Garage
42' x 22'

Height From ground level to peak
22'-4" 3/4

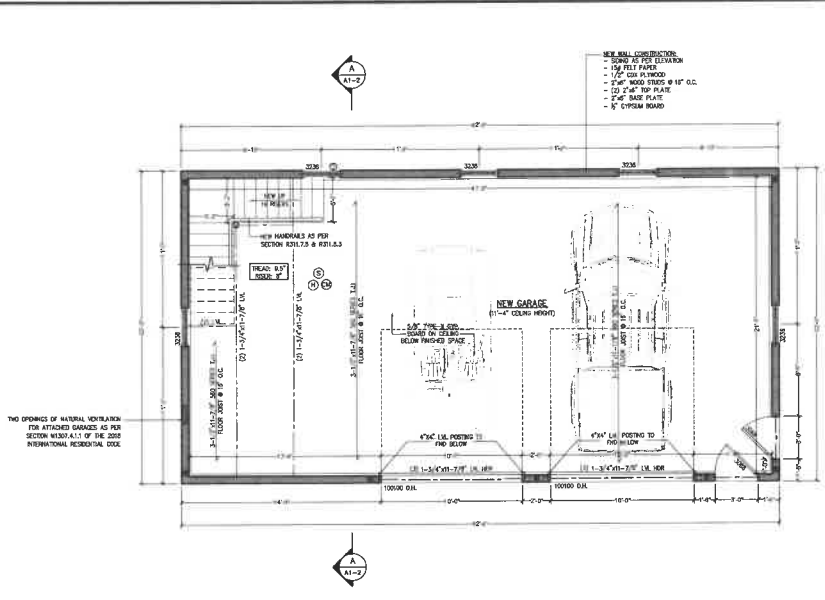




Proposed Foundation Plan
SCALE: 1/4"=1'-0"

KEY

- NEW 4" P.C. FOUNDATION WALL 0/2" x 24" P.C. FOOTING
- CONCRETE OUT FOR OVERLAP & DRY DOOR
- SHAPES HOLDOWN



Proposed Garage Plan
SCALE: 1/4"=1'-0"

KEY

- NEW 2" x 4" FRAME WALL
- NEW 2" x 4" FRAME WALL
- STRUCTURE ABOVE
- LINE OF CEILING/WALL/ROOF BELOW
- SMOKE DETECTION SYSTEM AS PER NFPA & SECTION 903A
- CARBON MONOXIDE DETECTORS AS PER 9031. SECTION 9031 SHALL COMPLY WITH SECTION 915 OF THE 2024 FIRE CODE.
- HEAT DETECTION SYSTEM SHALL BE INSTALLED AS PER 9031.2 OF THE 2024 NEW YORK STATE RESIDENTIAL BUILDING CODE.
- TWO OPENINGS OF NATURAL VENTILATION FOR ATTACHED GARAGES AS PER SECTION 9031.1.1 OF THE 2024 INTERNATIONAL RESIDENTIAL CODE.
- SHAPES HOLDOWN

NEW GARAGE: 924 S.F.

ALL LUMBER TO COME IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE OR IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESURE TREATED AS PER 9031.2.1

ALL FASTENERS FOR PRESURE TREATED WOOD ARE TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL AS PER 9031.2.1

ALL HEADER SIZES FOR 2" x 4" WALLS SHALL BE (2) 2" x 4" UNLESS OTHERWISE NOTED. ALL HEADER SIZES FOR 2" x 4" WALLS SHALL BE (2) 2" x 4" UNLESS OTHERWISE NOTED. FLOOR JOISTS SHALL BE DOUBLED UNDERNEATH PARTITION WALLS ABOVE.

GARAGE DOOR HEIGHT SHALL BE 10'-0" ABOVE FINISHED FLOOR.

WINDOW HEADS HEIGHT SHALL BE AT 5'-0" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.

DOOR HEADS HEIGHT SHALL BE AT 6'-8" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.

FOR ALL UNEXPOSED AREAS UNDERNEATH STAIRWAYS SHALL BE COVERED WITH A MINIMUM OF 1/2" GYPSON BOARD AS PER 9032.7.

ALL HEADER STUDS SPECIFIED ON PLANS TO BE MINIMUM (2) 2" x 4" AT EACH END OF HEADER, UNLESS OTHERWISE NOTED.

ALL OPENINGS IN EXTERIOR WALLS SHALL BE COVERED WITHIN THE GARAGE. THE UPPER OPENING SHALL BE LOCATED ENTIRELY WITHIN 12 INCHES (ONE END) OF THE OTHER END OF THE GARAGE. THE LOWER OPENING SHALL BE LOCATED ENTIRELY WITHIN 12 INCHES (ONE END) OF THE FLOOR OF THE GARAGE. BOTH OPENINGS SHALL BE COVERED BY THE SAME EXTERIOR WALL. THE OPENINGS SHALL COMBINE TO DIRECTLY WITH THE OUTDOORS AND SHALL HAVE A MINIMUM FREE AREA OF 1/2 SQUARE FOOT PER 1,000 SQUARE FEET (1.74 SQ. FT./SQ. FT. OF GARAGE VOLUME).

GARAGE WINDOW SCHEDULE

WINDOW CODE	MANUFACTURER	TYPE	FRAME SIZE		ROUGH OPENING		U-FACTOR	QUANTITY	NOTES REQUIRED (BASED AS PER R/F/D)
			WIDTH	HEIGHT	WIDTH	HEIGHT			
3236	ANDERSON	DOUBLE HUNG	2'-0-3/8"	3'-4-7/8"	2'-10-1/8"	3'-4-7/8"	.20	5	NO
TOTAL: 5									

NOTES:

ALL WINDOW OPERATIONS SHALL BE INTERIOR AND DRIVES.

IMPACTED WINDOW GLAZING IS REQUIRED AS PER 9036.4 (1) BEARING WALL UNLESS OTHERWISE NOTED.

MINIMUM OPERATING AREA: ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 S.F.

MINIMUM OPERATING HEIGHT: THE MINIMUM NET CLEAR OPERATING HEIGHT SHALL BE 24 INCHES.

MINIMUM OPERATING WIDTH: THE MINIMUM NET CLEAR OPERATING WIDTH SHALL BE 20 INCHES.

ALL OPERATIONAL COMPONENTS, EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE.

- CONCRETE NOTES:**
- CONTRACTOR SHALL PROVIDE SURVEY, STAKE OUT AND REBAR/KEY AS PART OF THE PRELIMINARY OPERATIONS. CONTRACTOR SHALL INCLUDE IN HIS BID PRICE, A UNIT PRICE TO ADJUSTIVE PRICES.
 - ALL CONCRETE SHALL BE PLACED CONFORMING WITH ALL ADJACENT EXISTING CONCRETE. REINFORCEMENT IS HYBRID WITH A MINIMUM 48 MILE COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI, UNLESS OTHERWISE NOTED ON THE DRAWINGS. ALL POURS SHALL BE SEPARATED BY FORMS. PROPOSED KEY ALIGNMENT POSITIONS AS REQUIRED OR DIRECTED BY THE ARCHITECT. CONCRETE TO BE AIR-ENTRAINED NORMAL WEIGHT.
 - ALL REBAR SHALL BE NEW MILLET STEEL, EXTENDED THROUGH SLAB GRADE AND SHALL COMPLY WITH ALL CODE REQUIREMENTS. WIRE MESH SHALL CONFORM TO ASTM A954, LATEST EDITION. ALL EXISTING REBAR AND SECTION OF REBAR UNDER OVERLAP NOTES, MUST FOLLOW THE ADJACENT REBAR. (42)30S
 - MINIMUM PROTECTION FOR REBAR HEADS IN FOUNDATION SHALL BE 3 INCHES FROM FORMS. CONCRETE SHALL BE PLACED AGAINST FORMS AND SHALL BE PLACED AGAINST FORMS UNLESS OTHERWISE NOTED. REBAR SHALL BE PLACED AGAINST FORMS UNLESS OTHERWISE NOTED. REBAR SHALL BE PLACED AGAINST FORMS UNLESS OTHERWISE NOTED. REBAR SHALL BE PLACED AGAINST FORMS UNLESS OTHERWISE NOTED.
 - ALL REBAR MARKED CONTINUOUS SHALL BE LAPPED A MINIMUM OF 40 BAR DIAMETER LAP BOTTOM BARS (1) SUPPORTS AND TOP BARS AT 40 BAR DIAMETER FROM BRG AT NON-CONTINUOUS JOINTS.

- NOTES:**
- ALL CONCRETE FOOTINGS SHALL BE PLACED ON VIRGIN SOIL.
 - SEE TO HAVE ADEQUATE BEARING CAPACITY OF (1) TONS/FT. (20000 LBS) AS PER TABLE ENCL. 10.2016, IF PROPOSED CONCRETE AND EXISTING FOUNDATION CONTRACTOR TO STOP WORK AND NOTIFY ARCHITECT. ALL FOOTINGS ARE TO BE 2" ABOVE FINISH GRADE IF WATER IS ENCOUNTERED, STOP WORK AND NOTIFY ARCHITECT.
 - APPLY ONE (1) COAT OF TAR GRADE INTERPENETRATING TO EXTERIOR OF FOUNDATION FROM FOOTING TO 2" ABOVE FINISH GRADE (1) COAT TO INTERIOR SHELF OF FOUNDATION WALL.

NUMBER	DATE	DESCRIPTION
1	10-18-2023	ORDER INITIATED
2	10-20-2023	ORDER EXTENSION
3	10-31-2023	PRELIMINARY PLANS
4	11-2-2023	CONSTRUCTION DOCUMENTS



CONTACT INFORMATION:

CONTRACTOR/PROJECT MANAGER:
JOHN K
K&M HOMES LLC
JOHN@KMHOMESLLC.COM
WWW.KMHOMESLLC.COM

DESIGNER/DRAWER:
DEREK CHESLER
CHESLERDESIGNS@GMAIL.COM
TWITTER.COM/DEREKCHESLER

PROPOSED
DETACHED 3 CAR
GARAGE



K&M HOMES LLC

ORDER #: F0828DC168C6

DRAWING TITLE:
PROPOSED FOUNDATION PLAN
PROPOSED GARAGE PLAN

SCALE:
AS NOTED

DRAWN BY:
DPC

DRAWING NUMBER:

A1-1

NUMBER	DATE	DESCRIPTION
1	10-19-2023	ORDER INITIATED
2	11-20-2023	ORDER EXTENSION
3	10-31-2023	PRELIMINARY PLANS
4	11-2-2023	CONSTRUCTION DOCUMENTS



CONTACT INFORMATION:
CONTRACTOR/PROJECT MANAGER:
 JOHN K
 K&M HOMES LLC
 JOHN@K&MHOMESLLC.COM
 WWW.K&MHOMESLLC.COM
DESIGNER/DRAWERMAN:
 DEREK CHESLER
 CHESLERDESIGNS@GMAIL.COM
 FIVEKIRK.COM/DEREKCHESLER

**PROPOSED
DETACHED 3 CAR
GARAGE**



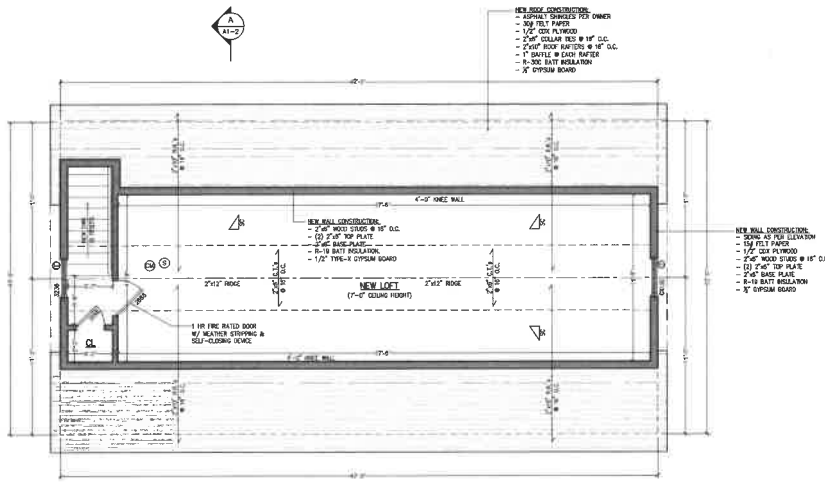
ORDER #: F0828FDC168C6

DRAWING TITLE:
**PROPOSED LOFT PLAN
SECTION A**

SCALE:
AS NOTED

DRAWN BY:
DPC

DRAWING NUMBER:
A1-2



Proposed Loft Plan

SCALE: 1/4"=1'-0"
 NEW LOFT: 333 S.F.

KEY

- NEW 2"x4" FRAME WALL
- NEW 2"x6" FRAME WALL
- STRUCTURE ABOVE
- LINE 1" CEILING/WALL/ROOF BELOW
- SMOKE DETECTION SYSTEM AS PER MFA & SECTION B04
- CARBON MONOXIDE DETECTORS AS PER B03, SECTION B03.5 SHALL COMPLY WITH SECTION B03 OF THE 2018 FIRE CODE.

ALL HEADER SIZES FOR 2"x4" WALLS SHALL BE (3) 2"x10" UNLESS OTHERWISE NOTED.
 ALL HEADER SIZES FOR 2"x6" WALLS SHALL BE (3) 2"x12" UNLESS OTHERWISE NOTED.
 FLOOR JOISTS SHALL BE DOUBLED UNDER/NEAR PARTITION WALLS ABOVE.
 WINDOW HEADER HEIGHT SHALL BE AT 5'-6" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
 DOOR HEADER HEIGHT SHALL BE AT 5'-6" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
 FOR ALL ENCLOSED AREAS UNDER/NEAR STAIRS SHALL BE COVERED WITH A MINIMUM OF 1/2" GYPSUM BOARD AS PER B03.2.7

ROOF VENTILATION SHALL BE IN COMPLIANCE WITH SECTION R0801.1 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE.

LOFT WINDOW SCHEDULE

WINDOW CODE	MANUFACTURER	TYPE	FRAME SIZE		ROUGH OPENING		U-FACTOR	QUANTITY	MEETS ENERGY CODE PER B03.0
			WIDTH	HEIGHT	WIDTH	HEIGHT			
3236	ANDERSON	DOUBLE HUNG	2'-0-5/8"	3'-4-7/8"	2'-10-1/8"	3'-4-7/8"	.30	1	NO
C0335	ANDERSON	EASEMENT	2'-7-1/2"	3'-4-13/16"	2'-8"	3'-5-3/16"	.20	1	YES
TOTAL: 2									

NOTES:
 ALL WINDOW DESIGNATIONS SHALL BE ANDERSON AND SERIES TEMPERED WINDOW GLAZING IS REQUIRED AS PER B304.4 (2)

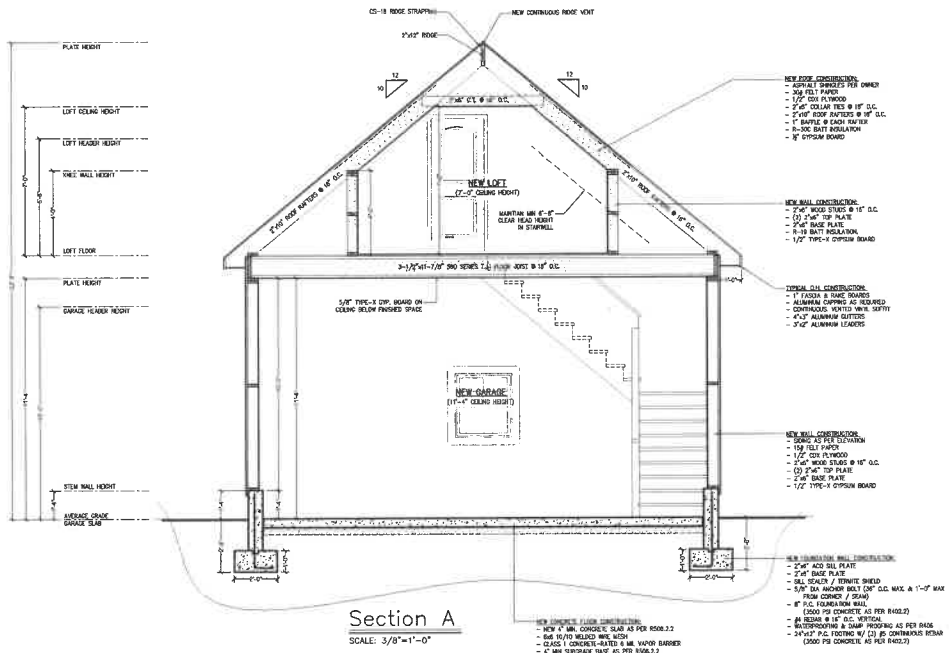
SECTION B03.0 EMERGENCY ESCAPE AND RESCUE OPENINGS:

MINIMUM CLEARING HEIGHT: ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5'7".

MINIMUM CLEARING HEIGHT: THE MINIMUM NET CLEAR OPENING SHALL BE 24 INCHES.

MINIMUM CLEARING HEIGHT: THE MINIMUM NET CLEAR OPENING SHALL BE 20 INCHES.

MINIMUM CLEARING HEIGHT: EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE.



Section A

SCALE: 3/8"=1'-0"

NUMBER	DATE	DESCRIPTION
1	10-19-2023	ORDER INITIATED
2	10-30-2023	ORDER EXTENSION
3	10-31-2023	PRELIMINARY PLANS
4	11-2-2023	CONSTRUCTION DOCUMENTS



CONTACT INFORMATION:
 CONTRACTOR/PROJECT MANAGER:
 JOHN K
 K&M HOMES LLC
 JOHN@KMHOMESMD.COM
 WWW.KMHOMESMD.COM
 DESIGNER/DRAWINGMAN:
 DEREK CHESLER
 CHESLER DESIGNS LLC
 CHESLERDESIGNS@GMAIL.COM
 FIVERLL.COM/DEREKCHESLER

PROPOSED
 DETACHED 3 CAR
 GARAGE



K&M HOMES LLC

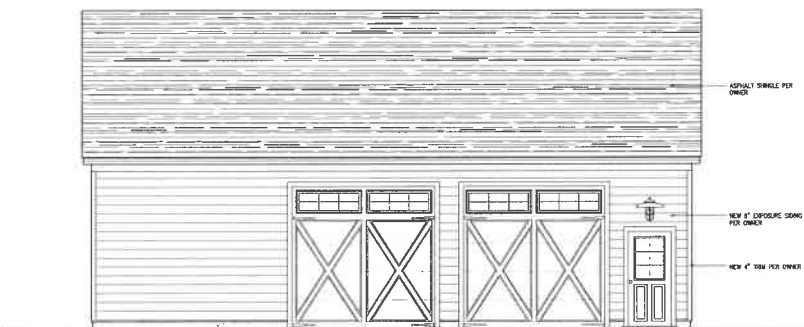
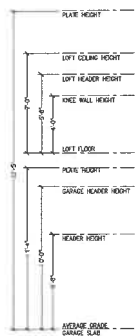
ORDER #: F0828FDC168C6

DRAWING TITLE:
 PROPOSED ELEVATIONS

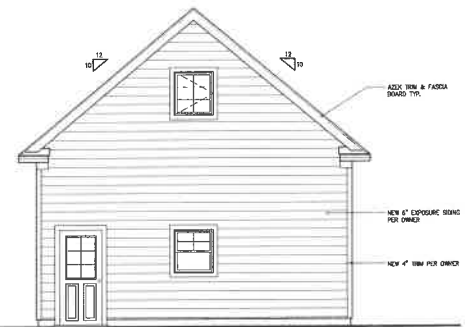
SCALE:
 AS NOTED

DRAWN BY:
 DFC

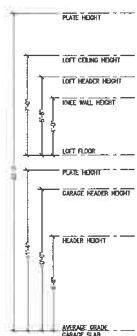
DRAWING NUMBER:
A2-1



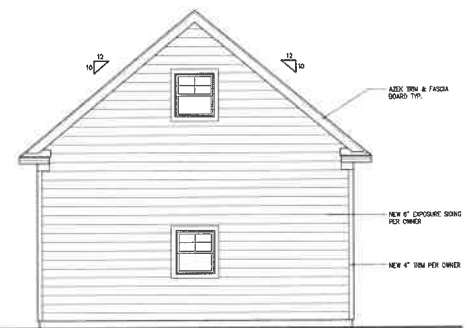
Front Elevation
 SCALE: 1/4"=1'-0"



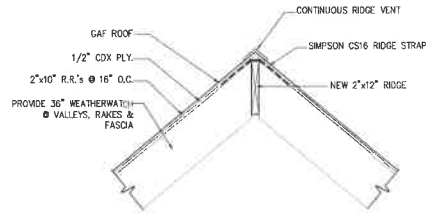
Right Side Elevation
 SCALE: 1/4"=1'-0"



Rear Elevation
 SCALE: 1/4"=1'-0"



Left Side Elevation
 SCALE: 1/4"=1'-0"

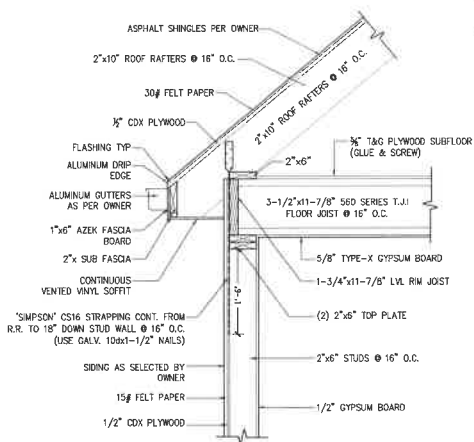


CUT ROOF SHEATHING BACK AS PER MANUFACTURERS SPECIFICATIONS TO ALLOW AIRFLOW FOR RIDGE VENT

Typical Ridge Detail

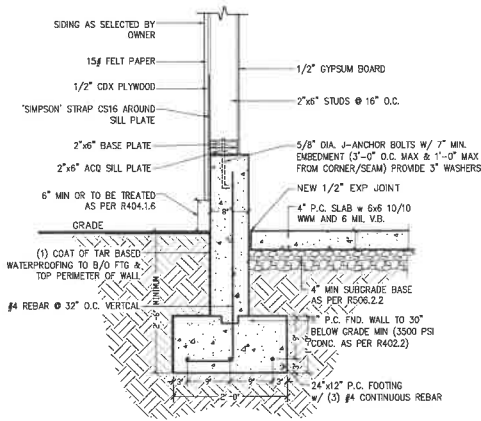
SCALE: 1"=1'-0"

THE ICE BARRIER SHALL CONSIST OF NOT FEWER THAN TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER, OR A SELF-ADHERING POLYMER-MODIFIED BITUMEN SHEET SHALL BE USED IN PLACE OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT NOT LESS THAN 24 INCHES (610 MM) INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. ON ROOFS WITH SLOPE EQUAL TO OR GREATER THAN 8 UNITS VERTICAL IN 12 UNITS HORIZONTAL, THE ICE BARRIER SHALL ALSO BE ALIGNED NOT LESS THAN 36 INCHES (914 MM) MEASURED ALONG THE ROOF SLOPE FROM THE EAVE EDGE OF THE BUILDING AS PER R905.1.2



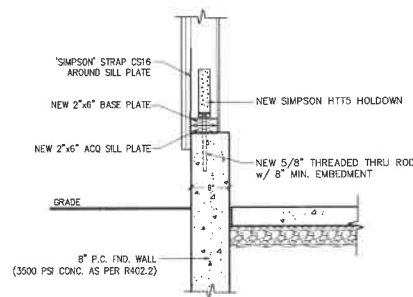
Typical Eave Detail

SCALE: 1"=1'-0"



Typical Foundation Wall Detail

SCALE: 1"=1'-0"



NOTE:
 -ALL STRAPPING, ANCHORS, HOLDINGS, & APPLICANCES TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS
 -ALL FASTENERS FOR PRESSURE TREATED WOOD ARE TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL

Typical Foundation Holdown Detail

SCALE: 1"=1'-0"

NUMBER	DATE	DESCRIPTION
1	10-19-2023	ORDER INITIATED
2	10-30-2023	ORDER EXTENSION
3	10-31-2023	PRELIMINARY PLANS
4	11-2-2023	CONSTRUCTION DOCUMENTS



CONTACT INFORMATION:

CONTRACTOR/PROJECT MANAGER:
 JOHN K
 K&M HOMES LLC
 JOHN@KMHOMESMD.COM
 WWW.KMHOMESMD.COM

DESIGNER/DRAFTSMAN:
 DEREK CHESLER
 CHESLER DESIGNS LLC
 CHESLERDESIGN@GMAIL.COM
 FVENER.COM/DEREKCHESLER

PROPOSED
 DETACHED 3 CAR
 GARAGE



K&M HOMES LLC

ORDER #: F0828FDC168C6

DRAWING TITLE:

DETAILS

SCALE:
 AS NOTED

DRAWN BY:
 DFC

UPON INC 11/18/2023

A3-1