

## **GAMMA ENGINEERING**

1203A West Street, Annapolis, Md.21401

410.626.1070

email [blupt@icloud.com](mailto:blupt@icloud.com)

February 20, 2023

Office of Planning & Zoning  
2664 Riva Rd.  
Annapolis, MD 21401

Letter of Explanation: 128 Cresston Road  
Lots 84 & 85, Creston Park Subdivision  
Owner: Chessie Homes  
Tax Account: 3225 9025 3246  
Map 32H, Parcel 134

This letter of explanation pertains to the above referenced property which consists of 2 lots under the above tax accounts and is owned by Kelsey Lynn Lennon and Chessie Homes. These are part of a group of 5 lots, all 5 have been recognized, because both water and sewer are present, as legal lots: the requirement to combine lots to meet minimum area requirement is not applicable. This variance application is submitted as part of the current effort to obtain two buildable sites out of the total of 5 lots. Adjacent lots, 86, 87 and 88, 126 Cresston Road also has a slope variance request to be filed concurrently.

### **128 Cresston Road:**

A variance request for 1371 sq.ft. or 0.0315 acres of disturbance to steep slopes is requested. The proposed site area is 5906.5 sq. ft., zoned R2, served by both public water and sewer, is a double frontage lot and is in critical area is LDA. Because of the dual frontage, 30 foot setbacks apply to both frontages. The existing infill lot is occupied by invasive English ivy dominated understory and a canopy of overgrown red and white oak trees; (*Quercus rubra*, *Quercus Alba*) approximately half of the trees appear to be dead. (2 located along the eastern property line are dead and threatening to fall on the neighbor's house and will be removed with the neighboring acknowledgment.) The site flat area is indicated on the "existing condition plan with house placement detail" and is adjacent to Cresston Road. The prefile comments recognized this buildable area on the 128 site.

### **Explanation that applies to both sites (This is repeated in the 126 Cresston application.)**

The pre-file OPZ recommendation for denial is based on the position that all 5 lots should be combined to create a single site. The OPZ prefile comments noted there was a single "developable area" (a flat area of less than 15% slopes) however, both sites have flat areas as indicated on the details labeled: "existing condition plan with house placement detail". The flat area on 126 Cresston site is not as easily observable in the field being obscured by a pile of fallen trees.

The details indicate the flat area on the frontage of the two respective roads with the houses placed at the BRL thus utilizing the flat areas but also including a portion of adjacent slopes thus providing enough elevation differential that allows a "walkout basement" for both houses. Walkout basements provide an efficient configuration, the at grade basement wall allows the option of a wood framed wall that in conjunction with windows on each sidewall, creates a living space without a "basement feel". This maximizes living area in a minimum footprint and thus impact to the environment. (House foundation footprints: 128: 36'x 40' and 126: 36'x 38')

### **Justification for allowing 2 buildable sites created from the 5 legal lots.**

- The 2 & 3 lot groupings are standard sites in the neighborhood. See attached exhibit of house sites in the immediate surrounding neighborhood; all but one house site consist of 2 or 3 lot groupings. There is one 4 and no 5 lot groupings.  
- Houses front opposite streets: The flat areas on each site are located adjacent to alternate road frontages resulting in a single house impacting each street.

While one house on all five lots avoids denying any use, the use it allows is not consistent with the surrounding neighborhood of 2 and 3 lot groupings which we suggest establishes rights commonly enjoyed by other properties. If the applicant is required to have 5 lots for a single site, we assert the client is being denied "rights commonly enjoyed by other properties" i.e there are no 5 lot site groupings and only a single 4 lot grouping.

### **Responses to prefile comments:**

Critical Area Team and Zoning Administration - see above discussion of flat areas and lot groupings.

I & P Engineering – 1. A soil boring has been provided for each practice. 2. There are no stream buffers or wetlands or buffers affecting this site only steep slopes. 3&4. It is acknowledged the property is served by public water and sewer and will be reviewed at grading permit. 5&6 Infiltration devices have proper separation. "7. The site to ensure that any existing downstream flooding, including nuisance flooding issues, will be exacerbated by the proposed development." (Not clear what this is requiring, we offer: The site has an adequate outfall; there is roadside 375' gutter from the site to tidewater with no flood prone structures.

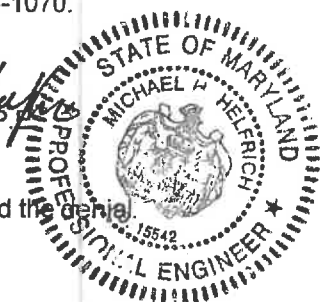
The following addresses the conditions for granting a variance per section 18-16-305 (b):

1. *Because of certain unique physical conditions, such as exceptional topographical conditions peculiar to and inherent in the particular lot or irregularity, The presence of the slopes are inherent topographical feature of the site.*
  2. *A literal interpretation of COMAR, Title 27, Criteria for Local Critical Area Program Development or the County's critical area program and related ordinances will deprive the applicant of rights commonly enjoyed by other properties in similar areas as permitted in accordance with the provisions of the critical area program within the critical area of the County; See Exhibit of the surrounding properties in the immediate area; the development mostly occurring on two and three lots and many affected by steep slopes such as the subject allows the applicant rights commonly enjoyed by other properties..*
  3. *The granting of a variance will not confer on an applicant any special privilege that would be denied by COMAR, Title 27, the County's critical area program to other lands or structures within the County critical area, or the County's bog protection program to other lands or structures within a bog protection area See Exhibit of the surrounding properties and the development; this development does not confer any special privilege and is similar to that occurring on the immediate neighboring properties.*
  4. *The variance request is not based on conditions or circumstances that are the result of actions by the applicant, including the commencement of development before an application for a variance was filed, and does not arise from any condition relating to land or building use on any neighboring property; See site plan that indicates the site is undeveloped and there have been no physical activities on the site or adjacent neighbors that caused the need for the variance.*
  5. *The Granting of a variance will not adversely affect water quality or adversely impact fish, wildlife, or plant habitat within the County's critical area or a bog protection area and will be in harmony with the general spirit and intent of the County's critical area program or bog protection program; See the attached site plan, which indicates that stormwater management is being provided which will protect the water quality, wildlife and plant habitats and all other requirements of development in the critical area will be met.*
  6. *The applicant for a variance to allow development in the 100-foot upland buffer has maximized the distance between the bog and each structure, taking into account natural features and the replacement of utilities, and has met the requirements of § 17-9-208 of this Code; See the attached site plan, There is no development proposed within a 100 foot shoreline buffer or buffer to a bog.*
  7. *The applicant, by competent and substantial evidence, has overcome the presumption contained in the Natural Resources Article, § 8-1808, of the State Code; See the attached site plan, and attachments provided to address the requirements.*
  8. *The applicant has evaluated and implemented site planning alternatives in accordance with § 18-16-201(c). See the attached site plan, it utilizes all applicable alternatives, there being none that meet the objectives of the applicant.*
- (c) Requirements for all variances. A variance may not be granted unless it is found that:*
- (1) the variance is the minimum variance necessary to afford relief; and See the attached site plan indicating that the development scope and size is consistent with the neighboring properties.*
  - (2) the granting of the variance will not:*
    - (i) alter the essential character of the neighborhood or district in which the lot is located; See the attached exhibit of the surrounding properties that demonstrates the development is consistent with the character of the immediate neighborhood in which the lot is located.*
    - (ii) substantially impair the appropriate use or development of adjacent property; See the attached site plan that indicates there is no impact on adjacent properties.*
    - (iii) reduce forest cover in the limited development and resource conservation areas of the critical area; See the attached site plan that indicates the forest removal that is consistent with the neighborhood and reforestation fees will be paid.*
    - (iv) be contrary to acceptable clearing and replanting practices required for development in the critical area or a bog protection area; nor See the attached site plan, which has been prepared to meet the acceptable clearing and replanning practices.*
    - (v) be detrimental to the public welfare. See the attached site plan, which indicates that stormwater management is being provided which will protect the water quality, wildlife and plant habitat.*

If there are any questions or additional information is needed, please contact this office at (410) 626-1070.

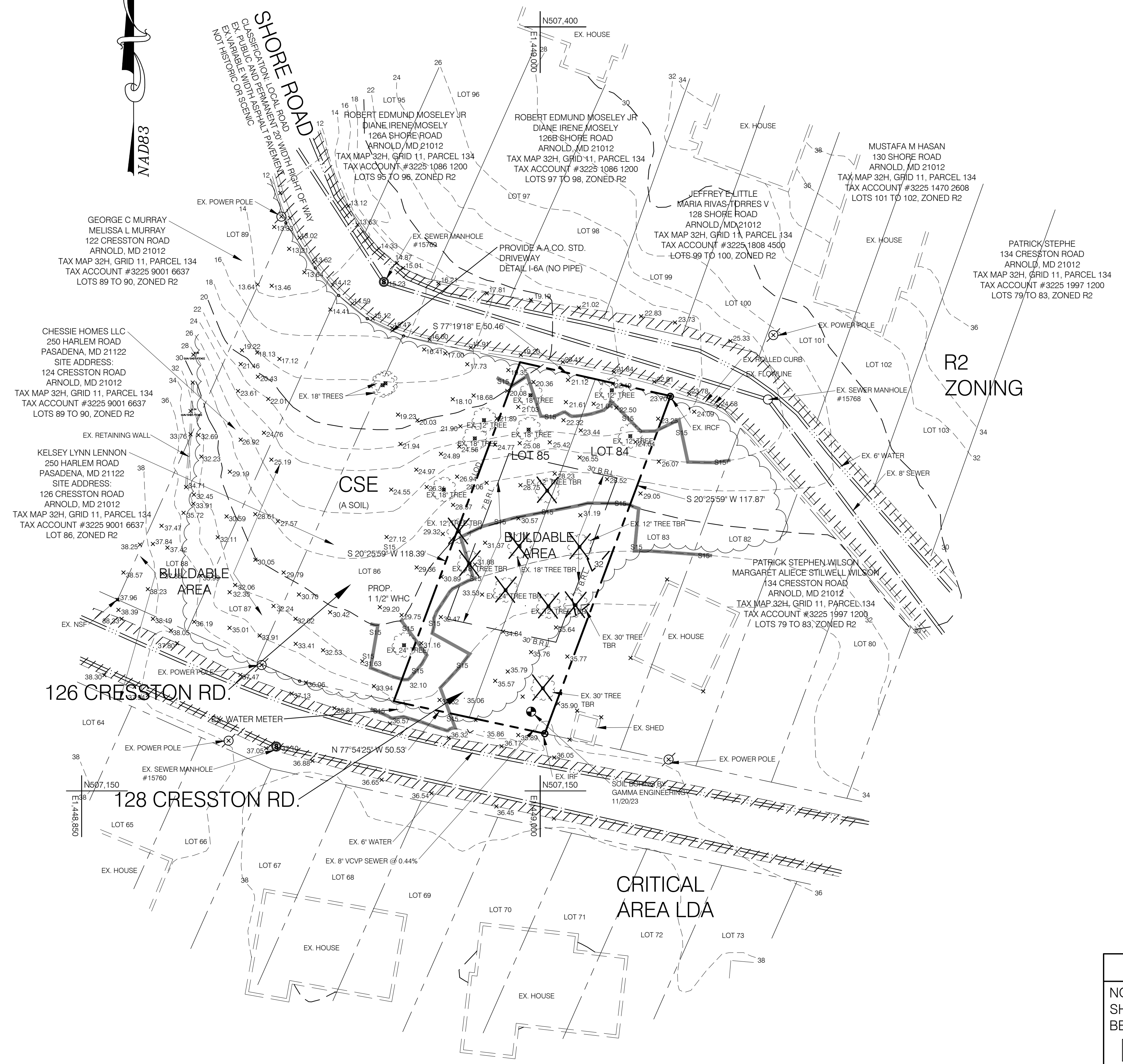
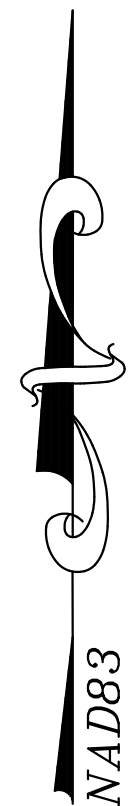
Sincerely,

*Michael Helfrich*  
Michael Helfrich, P.



Note 1: There was a denial on lot 86 (not a lot in this request), was appealed (BA14-22V); that upheld the denial.






# EXISTING CONDITIONS PLAN

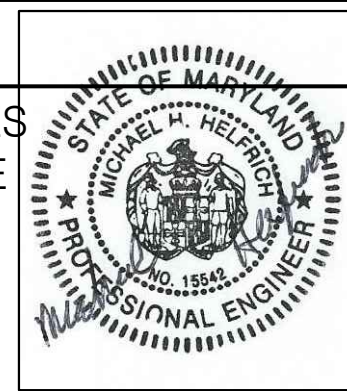
SCALE: 1" = 20'

CERTIFICATION NOTE

NOTE: THE ENVIRONMENTAL RESOURCES SHOWN ON THIS RESOURCES MAP HAVE BEEN FIELD VERIFIED.

  
 NAME: MICHAEL H. HELFRICH

2/15/24  
 DATE



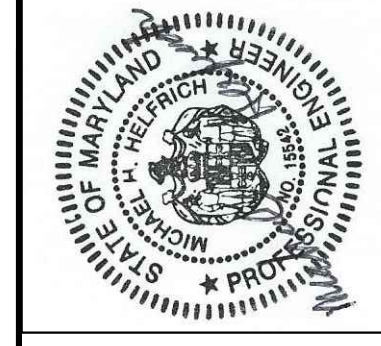
SOIL TYPE TABLE		
DESCRIPTION	ACREAGE	SCD TYPE
CSE (COLLINGTON, WIST AND WESTPHALIA SOILS, 15 - 25% SLOPES)	0.14	A

- ZONING NOTES:
1. THE CRITICAL AREA CLASSIFICATION IS LDA.
  2. THE ZONING IS R2 FOR THE ENTIRE AREA.
  3. SITE IS NOT WITHIN ANY BOG DRAINAGE OR IMPACT AREA.
  4. SITE IS NOT IN THE BUFFER MODIFICATION AREA.

REVISIONS	Date
Description	Approved By

**GAMMA ENGINEERING**

1203 WEST STREET SUITE A  
ANNAPOLIS, MD 21401  
PHONE (410) 626-1070  
FAX (410) 267-8619  
EMAIL: BLUPT@CLOUD.COM



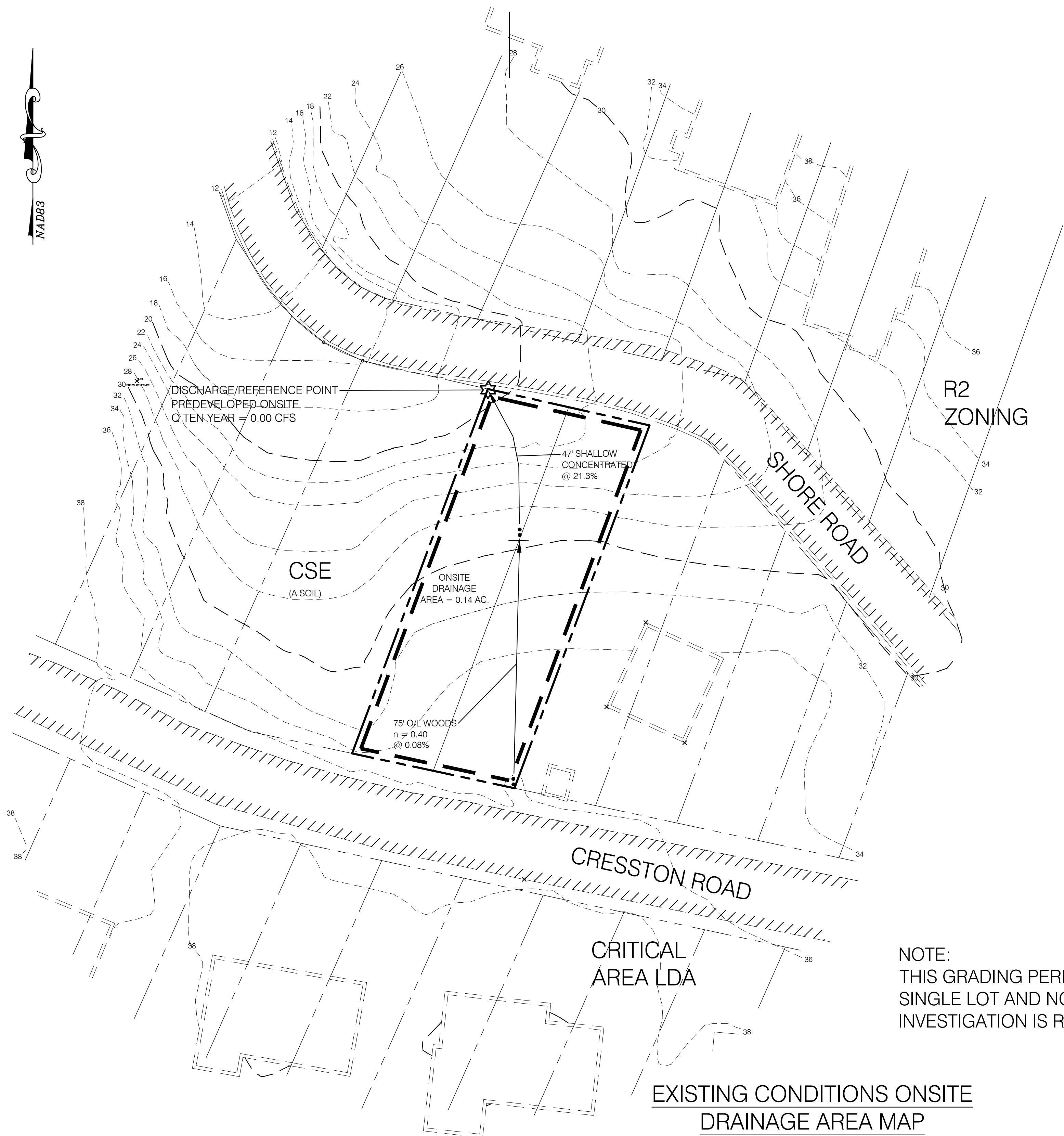
MICHAEL HELFRICH PRESIDENT  
GAMMA ENGINEERING  
PROFESSIONAL CERTIFICATION  
I, MICHAEL HELFRICH, CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 15542. EXPIRATION DATE: 9/26/2025

**OWNER/APPLICANT:**  
CHESSIE HOMES (LOTS 84 AND 85)  
250 HARLEM ROAD  
PASADENA, MD 21122

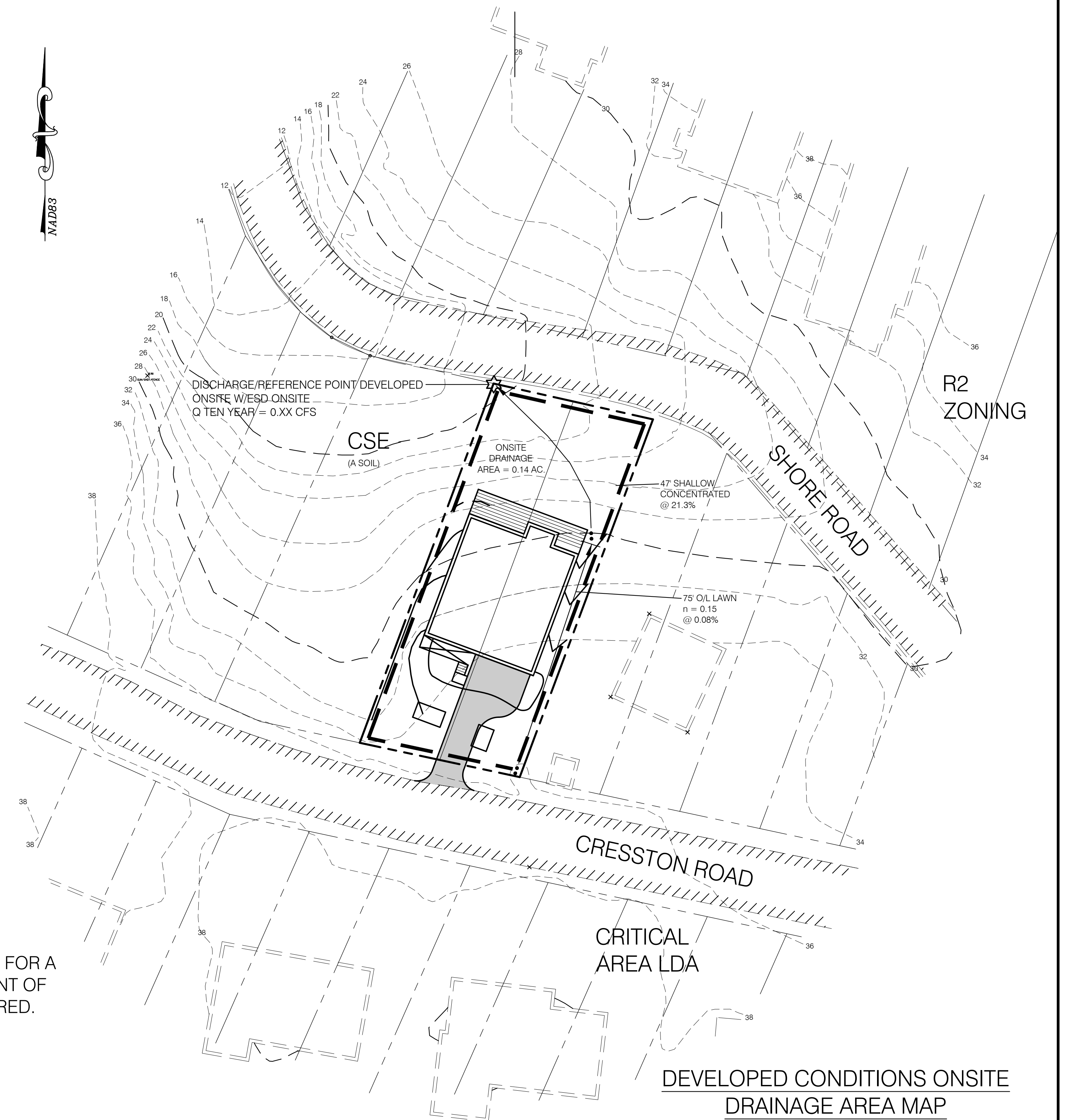
**GRADING PERMIT PLANS**  
  
**EXISTING CONDITIONS AND RESOURCE PLAN**

G0201

128 CRESSTON ROAD, ARNOLD (LOTS 84 AND 85)  
CRESSTON PARK  
TAX MAP 32H, GRID 11, PARCEL 134,  
TAX ACCT #3225 9025 3246  
3RD DISTRICT, ANNE ARUNDEL COUNTY, MD, ZONING R2  
SCALE: AS SHOWN DATE: 2/15/2024 SHEET 2 OF 6



**EXISTING CONDITIONS ONSITE DRAINAGE AREA MAP**  
SCALE: 1" = 20'



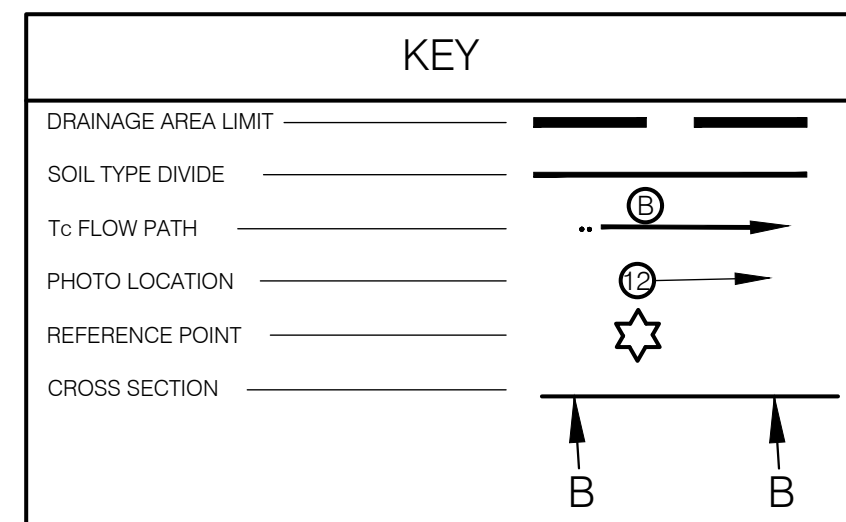
**DEVELOPED CONDITIONS ONSITE DRAINAGE AREA MAP**  
SCALE: 1" = 20'

NOTE:  
THIS GRADING PERMIT IS FOR A SINGLE LOT AND NO POINT OF INVESTIGATION IS REQUIRED.

**EXISTING CONDITIONS DRAINAGE AREA SUMMARY**

AREA NO.	AREA AC.	RCN
1	0.14	33

DRAINAGE AREA = 0.14 AC.  
SEGMENT A-B: 75' O/L WOODS @ 8% = 0.163  
SEGMENT B-C: 47' SHALLOW CONCENTRATED @ 21.3% = 0.002  
TOTAL = 0.165  
RCN = 33  
Tc = 0.165 HOURS  
Q ONE YEAR = 0.00 CFS  
Q TEN YEAR = 0.00 CFS



**DEVELOPED CONDITIONS DRAINAGE AREA SUMMARY**

AREA NO.	AREA AC.	RCN
1	0.14	68

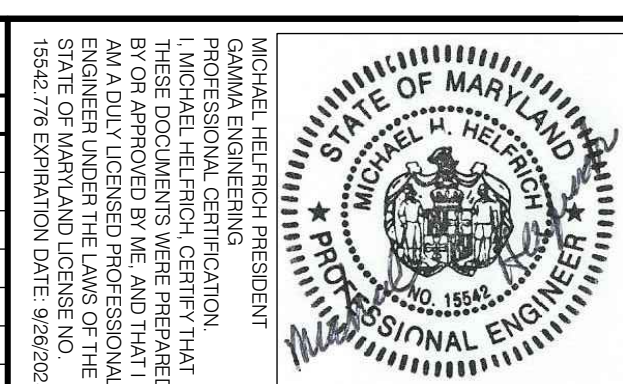
DRAINAGE AREA = 0.14 AC.  
SEGMENT A-B: 75' O/L LAWN @ 8% = 0.163  
SEGMENT B-C: 47' SHALLOW CONCENTRATED @ 21.3% = 0.002  
TOTAL = 0.165  
RCN = 68  
Tc = 0.165 HOURS  
Q ONE YEAR = 0.06 CFS  
Q TEN YEAR = 0.30 CFS

**DEVELOPED CONDITIONS WITH ADJUSTED CN DRAINAGE AREA SUMMARY**

AREA NO.	AREA AC.	RCN
1	0.14	57

DRAINAGE AREA = 0.14 AC.  
SEGMENT A-B: 75' O/L LAWN @ 8% = 0.163  
SEGMENT B-C: 47' SHALLOW CONCENTRATED @ 21.3% = 0.002  
TOTAL = 0.165  
RCN = 57  
Tc = 0.165 HOURS  
Q ONE YEAR = 0.00 CFS  
Q TEN YEAR = 0.15 CFS

REVISIONS			
No.	Description	Approved By	Date



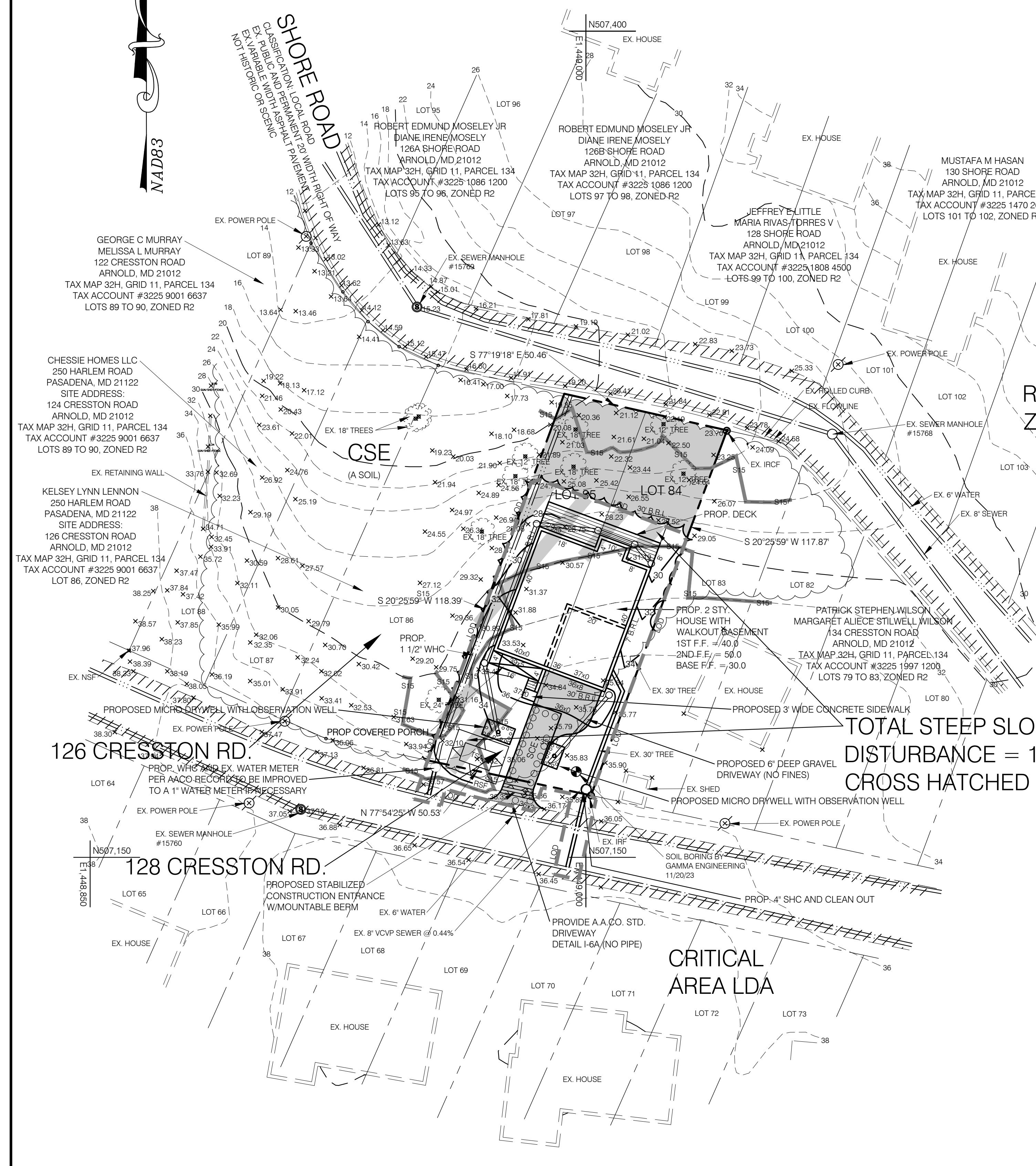
**GAMMA ENGINEERING**  
1203 WEST STREET SUITE A  
ANNAPOLIS, MD 21401  
PHONE (410) 626-1070  
FAX (410) 267-8619  
EMAIL: BLUPT@ICLOUD.COM

**OWNER:**  
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PASADENA, MD 21122

**GRADING PERMIT PLANS**  
DRAINAGE AREA MAPS

128 CRESSTON ROAD, ARNOLD (LOTS 84 AND 85)  
**CRESSTON PARK**  
TAX MAP 32H, GRID 11, PARCEL 134,  
TAX ACCT #3225 9025 3246  
3RD DISTRICT, ANNE ARUNDEL COUNTY, MD, ZONING R2  
SCALE: AS SHOWN DATE: 2/15/2024 SHEET 3 OF 6

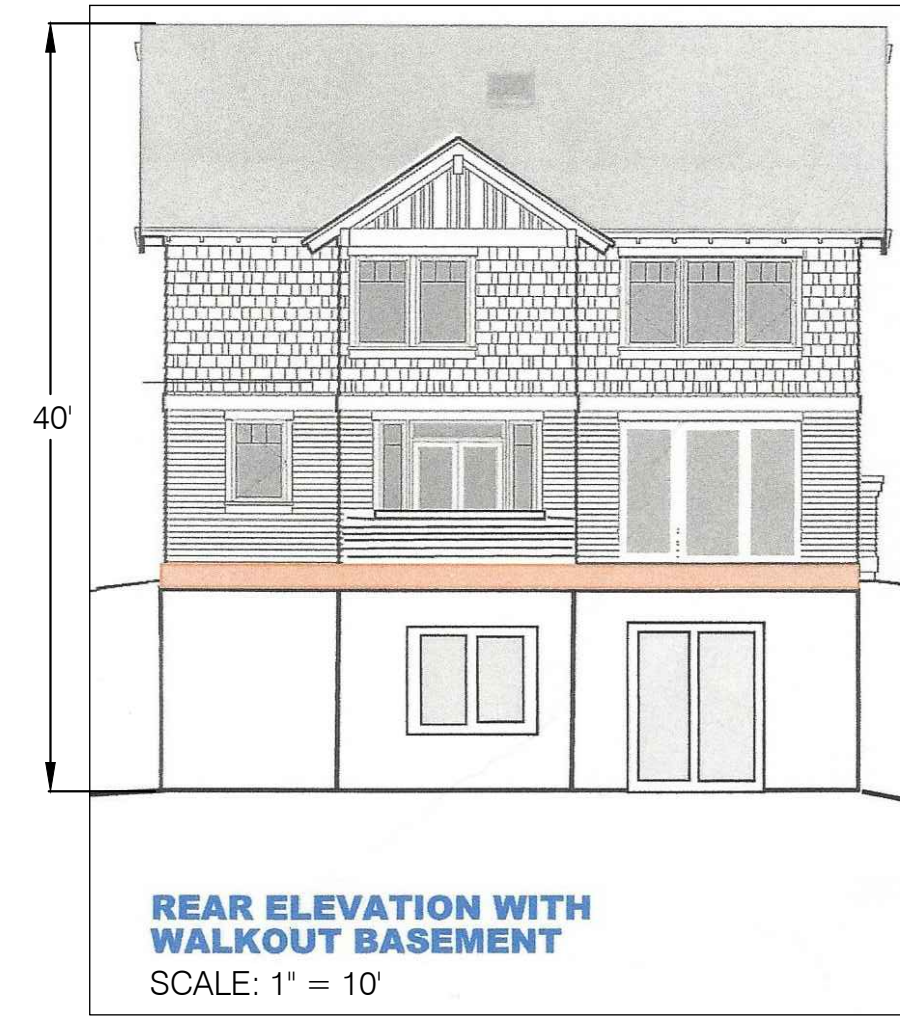
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PLAN  
SCALE: 1" = 20'

### EXISTING CONDITIONS PLAN WITH OUTLINE OF HOUSE, HOUSE PLACEMENT AND IMPROVEMENTS

SCALE: 1" = 10'



REAR ELEVATION WITH WALKOUT BASEMENT  
SCALE: 1" = 10'



FRONT ELEVATION  
**128 CRESSTON ROAD**

- GENERAL NOTES**
1. THE PREDOMINANT SOIL TYPE IS COLLINGTON, WEST AND WESTPHALIA SOILS. (HYDROLOGIC SOIL TYPE A)
  2. FIELD RUN TOPOGRAPHIC SURVEY CONDUCTED ON NOVEMBER 6, 2023 BY STEPHEN H. JUPITZ.
  3. ALL SPOIL SHALL BE HAULED TO AN APPROVED SPOIL SITE WITH APPROVED SEDIMENT CONTROL MEASURES.
  4. THE CONTRACTOR SHALL NOTIFY MISS UTILITY 48 HOURS PRIOR TO INITIATING CONSTRUCTION.
  5. VOLUME OF CUT IS 82 C.Y. AND THE VOLUME OF FILL IS 82 C.Y.
  6. SPLASH BLOCKS SHALL BE PROVIDED AT ALL DOWN SPOUTS. ALL SPLASH BLOCKS SHALL BE OUTLETTED TO FLAT AREAS.
  7. THE PROPOSED WORK IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN.
  8. THE CRITICAL AREA CLASSIFICATION IS LDA.
  9. THE ZONING IS R2.
  10. THE SITE'S PHYSICAL ADDRESS IS: 128 CRESSTON ROAD, ARNOLD, MD 21012.
  11. THE PLAT NUMBER IS 15/35.
  12. THE DEED REFERENCE IS @ 36611/224.
  13. WATER SERVICE AREA IS BROADNECK AND CATEGORY IS EXISTING SERVICE. SEWER SERVICE AREA IS BROADNECK AND CATEGORY IS EXISTING SERVICE.
  14. SITE IS NOT IN THE SEVERN RIVER WATERSHED.
  15. SITE IS NOT WITHIN ANY BOG DRAINAGE OR IMPACT AREA.
  16. SITE IS NOT IN FLOOD ZONE PER FEMA MAP 24003D0167F.
  17. SITE IS NOT IN THE BUFFER MODIFICATION AREA.

### VARIANCE NOTES

1. SITE IS R2, LDA CRITICAL AREA.
2. VARIANCES REQUESTED ARE:  
A) CRITICAL AREA VARIANCE - TO ALLOW DISTURBANCE OF STEEP SLOPES (>15%) - (ARTICLE 17-8-201(a)) = 1,371 SQ. FT.
3. SITE AREA IS 5,902.52 SQ. FT.

### MODIFICATION NOTES

1. A MODIFICATION TO (ARTICLE 17-6-403) TO DISTURB > 25% SLOPES AND BUFFER TO 25% SLOPES IS TO BE REQUESTED

### STORMWATER MANAGEMENT NOTE

1. 100% OF THE ESD STORMWATER MANAGEMENT REQUIREMENTS WILL BE MET WITH MICRO DRYWELLS.

### OVERALL ONSITE AREA TABULATION

1. THE TOTAL AREA OF SITE IS 5,906.52 SQ. FT. OR 0.14 AC.
2. THE LIMITS OF DISTURBANCE AREA IS 4,385 SQ. FT. OR 0.10 AC.
3. AREA MECHANICALLY STABILIZED IS 1,974 SQ. FT. OR 0.05 AC.
4. AREA VEGETATIVELY STABILIZED IS 2,411 SQ. FT. OR 0.05 AC.
5. EX. SITE FORESTED AREA = 5,397 SQ. FT.
6. 3,906 SQ. FT. OF FORESTED AREA TO BE CLEARED.
6. THE LOT IMPERVIOUS TABULATION IN SQ. FT. IS:

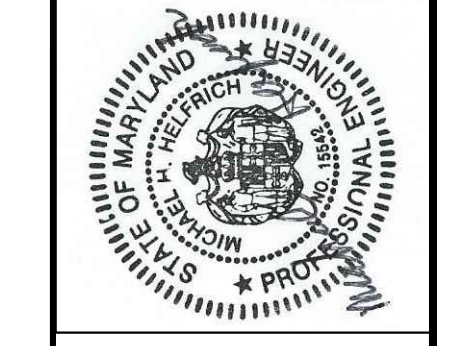
	EX.	EX. TO BE REMOVED	PROPOSED	TOTAL
HOUSE	0	0	1,480	1,480
COV. PORCH	0	0	64	64
DRIVEWAY	0	0	418	418
SIDEWALK	0	0	12	12
TOTAL	0	0	1,974	1,974
			0% OF SITE	33.4% OF SITE

G0201  
128 CRESSTON ROAD, PARNOLD (LOTS 84 AND 85)  
CRESSTON PARK  
TAX MAP 32H, GRID 11, PARCEL 134,  
TAX ACCT #3225 9025 3246  
3RD DISTRICT, ANNE ARUNDEL COUNTY, MD, ZONING R2  
SCALE: AS SHOWN DATE: 2/15/2024 SHEET 4 OF 6

GRADING PERMIT PLANS  
SITE PLAN, GRADING, SEDIMENT & EROSION CONTROL PLAN

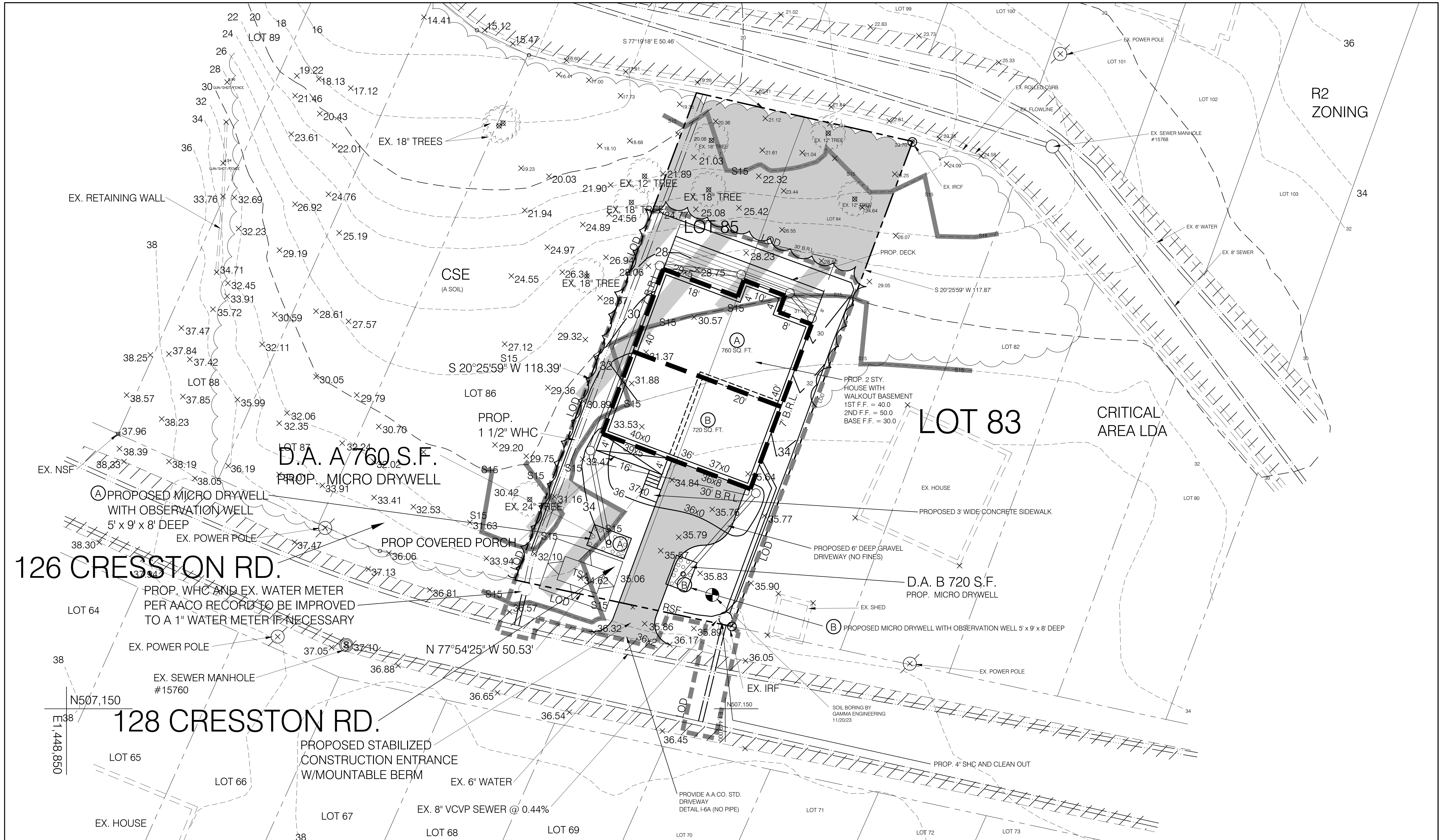
OWNER/APPLICANT:  
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MICHAEL HELFRICH PRESIDENT  
GAMMA ENGINEERING  
PROFESSIONAL CERTIFICATION  
I, MICHAEL HELFRICH, CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 15542. EXPIRATION DATE: 9/26/2025

NO.	Description	Approved By	Date



DETAILED STORMWATER MANAGEMENT PRACTICES PLAN

SCALE: 1" = 10'

G0201

REVISIONS			
No.	Description	Approved By	Date

NOTED: THE DESIGNER HAS REVIEWED THE PROPOSED STORMWATER MANAGEMENT PRACTICES AND FOUND THEM TO BE APPROPRIATE FOR THE SITE. THESE PRACTICES ARE SUBJECT TO APPROVAL BY THE APPLICANT AND THE STATE OF MARYLAND. THE DESIGNER HAS REVIEWED THE PROPOSED STORMWATER MANAGEMENT PRACTICES AND FOUND THEM TO BE APPROPRIATE FOR THE SITE. THESE PRACTICES ARE SUBJECT TO APPROVAL BY THE APPLICANT AND THE STATE OF MARYLAND.



**GAMMA ENGINEERING**  
 1203 WEST STREET SUITE A  
 ANNAPOLIS, MD 21401  
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**OWNER/APPLICANT:**  
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 PASADENA, MD 21122

**GRADING PERMIT PLANS**  
**STORMWATER MANAGEMENT PLAN**

128 CRESSTON ROAD, ARNOLD (LOTS 84 AND 85)  
**CRESSTON PARK**  
 TAX MAP 32H, GRID 11, PARCEL 134,  
 TAX ACCT #3225 9025 3246  
 3RD DISTRICT, ANNE ARUNDEL COUNTY, MD, ZONING R2  
 SCALE: AS SHOWN    DATE: 2/15/2024    SHEET 5 OF 6

**M-5. Dry Wells**

A dry well is an excavated pit or structural chamber filled with gravel or stone that provides temporary storage of stormwater runoff from rooftops. The storage area may be constructed as a shallow trench or a deep well. Rooftop runoff is directed to these storage areas and infiltrates into the surrounding soils prior to the next storm event. The pollutant removal capability of dry wells is directly proportional to the amount of runoff that is stored and allowed to infiltrate.

**Applications:**

Dry wells can be used in both residential and commercial sites and are best suited for treating runoff from small drainage areas such as a single rooftop or downspout. Dry wells are not appropriate for treating runoff from large impervious areas such as a parking lot. Successful application is dependent upon soil type and groundwater elevation.

**Performance:**

When designed according to the guidance provided below, dry wells will provide treatment for the required ESD, and Re, and Rc.

**Constraints:**

The following constraints are critical when considering the use of dry wells to capture and infiltrate stormwater runoff:

- **Space:** Dry wells should not be used in areas where their operation may create a risk for basement flooding, interfere with subsurface sewage disposal systems, or affect other underground structures. There are limited opportunities for dry well implementation in high-density neighborhoods.
- **Topography:** Steep terrain affects the successful performance of a dry well. Installation on slopes greater than 20% should be avoided.
- **Soils:** Permeable soils are critical to the successful application of dry wells. The HSG should be A or B. For HSG C or D or compacted soils, designers should consider using practices with underdrains like micro-bioretentation.
- **Drainage Area:** Small drainage areas (e.g., 500 ft<sup>2</sup>) are most appropriate for dry well applications. Larger non-residential areas may be treated provided the dry well is sized according to the requirements for infiltration practices found in Section 3.3.
- **Hotspot Runoff:** Dry wells should not be used to treat hotspots that generate higher concentrations of hydrocarbons, trace metals, or toxicants than are found in typical stormwater runoff and may contaminate groundwater.
- **Operation:** Dry wells are subject to neglect by homeowners. Education is needed to ensure that proper maintenance will allow the system to continue to function properly.

**Design Guidance:**

The following conditions should be considered when designing dry wells:

- **Conveyance:** Discharge from the overflow shall be directed to an above ground splash pad and conveyed in a non-erosive manner to a stable outfall. Rooftop runoff is collected through gutters and downspouts and discharged directly into a dry well. The downspout extends underground and across the entire length of a dry well. An overflow pipe is also installed to pass excess runoff generated from larger storms.
- **Treatment:** Dry wells shall meet the following conditions:
  - Pretreatment measures shall be installed to allow filtering of sediment, leaves, or other debris. This may be done by providing gutter screens and a removable filter screen installed within the downspout pipe or other locally-approved method. The removable filter screen should be installed below the overflow outlet and easily removed so that homeowners can clean the filter.
  - A dry well shall be designed to capture and store the ESD. A P<sub>1</sub> value based on the ESD, captured and treated shall be applied to the contributing drainage area. The storage area for the ESD, includes the sand and gravel layers in the bottom of the facility. Storage calculations shall account for the porosity of the gravel and sand media.
  - The drainage area to each dry well shall not exceed 1,000 square feet. Drainage areas should be small enough to allow infiltration into the ground within 48 hours (e.g., 500 ft<sup>2</sup> to each downspout). Infiltration trenches may be used to treat runoff from larger drainage areas (see Section 3.3).
  - Dry wells located in HSG B (i.e., loams, silt loams) shall not exceed 5 feet in depth. Dry wells located in HSG A (i.e., sand, loamy sand, sandy loam) shall not exceed 12 feet in depth.
  - The length of a dry well should be longer than the width to ensure proper water distribution and maximize infiltration.
  - A one-foot layer of clean sand shall be provided in the bottom of a dry well to allow for bridging between the existing soils and trench gravel.
- **Soils:** Dry wells shall be installed in HSG A or B. The depth from the bottom of a dry well to the seasonal high water table, bedrock, hard pan, or other confining layer shall be greater than or equal to four feet (two feet on the lower Eastern Shore).

➤ **Setbacks:**

- Dry wells shall be located down gradient of building structures and shall be setback at least 10 feet from buildings, 30 feet from confined water supply wells, 100 feet from unconfined water supply wells, and 25 feet from septic systems.
- Dry wells shall be setback a minimum of 100 feet from fill slopes of 15% and 200 feet from fill slopes of 25%.

➤ **Observation Wells:** An observation well consisting of an anchored, 4 to 6-inch diameter perforated pipe shall be required. The top of the observation well shall be at least six inches above grade.

➤ **Underground Distribution Pipe:** This pipe (4 to 6 inch diameter) will be perforated to fill the trench along its entire length.

➤ **Landscaping:** A minimum one-foot of soil cover shall be provided from the top of the trench to the ground surface elevation. The soil should be stabilized with a dense cover of vegetation. In areas where frost heave is a concern, soil cover may need to be as much as four feet. In these cases, a geotechnical engineer should be consulted.

**Construction Criteria:**

The following items should be addressed during construction of projects with dry wells:

- **Erosion and Sediment Control:** Final grading for proposed dry wells should not take place until the surrounding site is completely stabilized. If this cannot be accomplished, runoff from disturbed areas shall be diverted.
- **Soil Compaction:** Excavation should be conducted in dry conditions with equipment located outside of the practice to minimize bottom and sidewall compaction. Construction of a dry well shall be performed with lightweight, wide-tracked equipment to minimize disturbance and compaction. Excavated materials shall be placed in a contained area.
- **Underground Chamber:** A subsurface prefabricated chamber may be used.
- **Dry Well Bottom:** The bottom shall be as level as possible to minimize pooled water in small areas that may reduce overall infiltration and longevity.
- **Filter Cloth:** Filter cloth shall not be installed on the bottom of the well. Non-woven filter cloth should be used to line the top and sides of the dry well to prevent the pore space between the stones from being blocked by the surrounding native material.
- **Gravel Media:** The aggregate shall be composed of an 18 to 48-inch layer of clean washed, open graded material with 40% porosity (e.g., ASTM D448 4.5, or 6 stone or equal).

**Inspection:**

- Regular inspections shall be made during the following stages of construction:
  - During excavation to subgrade.
  - During placement of backfill and perforated inlet pipe and observation well.
  - During placement of geotextiles and all filter media.
  - During construction of the appurtenant conveyance.
  - Upon completion of final grading and establishment of permanent stabilization.

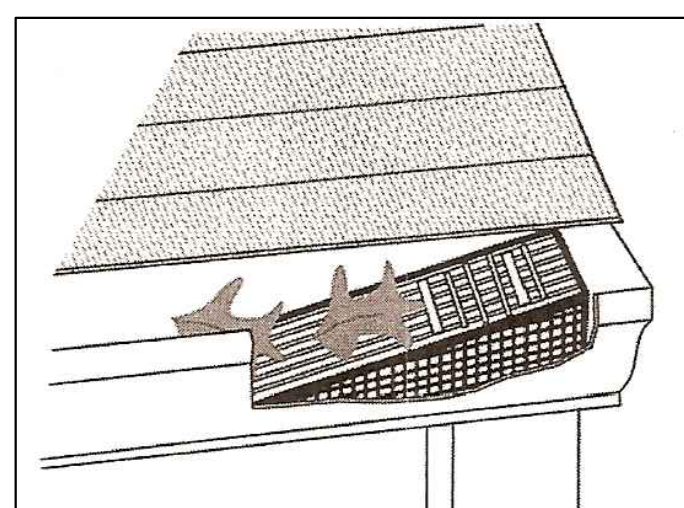
**Maintenance Criteria:**

- The following items should be addressed to ensure proper maintenance and long-term performance of dry wells:
- Privately owned practices shall have a maintenance plan and shall be protected by easement, deed restriction, ordinance, or other legal measures preventing its neglect, adverse alteration, and removal.
  - Dry wells shall be inspected and cleaned annually. This includes pipes, gutters, downspouts, and all filters.
  - Ponding, standing water, or algal growth on the top of a dry well may indicate failure due to sedimentation in the gravel media. If water ponds for more than 48 hours after a major storm or more than six inches of sediment has accumulated, the gravel media should be excavated and replaced.

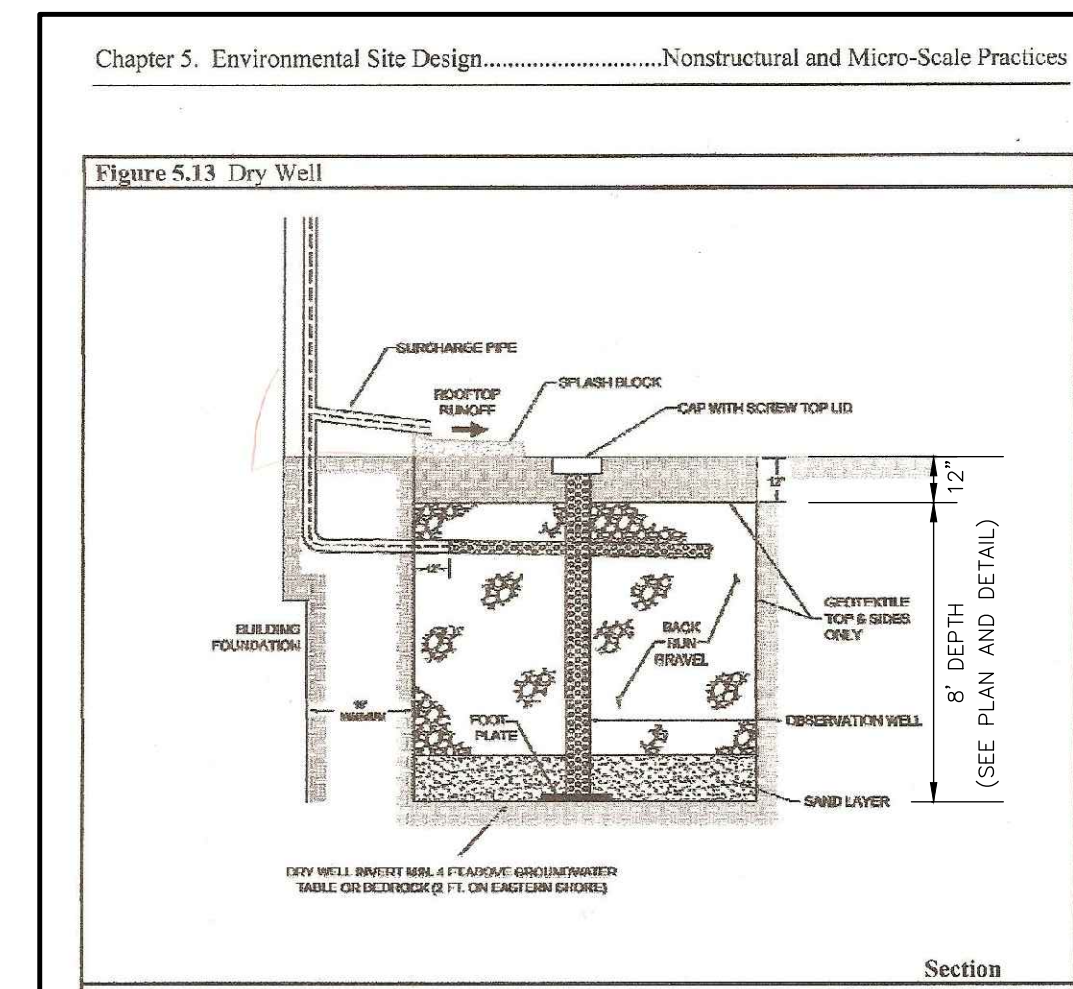
**MAINTENANCE SPECIFICATION**

THE FOLLOWING ITEMS SHOULD BE ADDRESSED TO ENSURE PROPER MAINTENANCE AND LONG-TERM PERFORMANCE OF MICRO-BIORETENTION PRACTICES.

1. PRIVATELY OWNED PRACTICES SHALL HAVE A MAINTENANCE PLAN AND SHALL BE PROTECTED BY EASEMENT, DEED RESTRICTION, ORDINANCE, OR OTHER LEGAL MEASURES PREVENTING ITS NEGLECT, ADVERSE ALTERATION AND REMOVAL.
2. THE TOP FEW INCHES OF FILTER MEDIA SHOULD BE REMOVED AND REPLACED WHEN WATER PONDS FOR MORE THAN 48 HOURS. SILTS AND SEDIMENT SHOULD BE REMOVED FROM THE SURFACE OF THE FILTER BED WHEN ACCUMULATION EXCEEDS ONE INCH.
3. WHERE PRACTICES ARE USED TO TREAT AREAS WITH HIGHER CONCENTRATIONS OF HEAVY METALS (E.G., PARKING LOTS, ROADS), MULCH SHOULD BE REPLACED ANNUALLY. OTHERWISE, THE TOP TWO TO THREE INCHES SHOULD BE REPLACED AS NECESSARY.
4. OCCASIONAL PRUNING AND REPLACEMENT OF DEAD VEGETATION IS NECESSARY. IF SPECIFIC PLANTS ARE NOT SURVIVING, MORE APPROPRIATE SPECIES SHOULD BE USED. WATERING MAY BE REQUIRED DURING PROLONGED DRY PERIODS.



**GUTTER DRAIN FILTER**  
SCALE: NONE



**DRYWELL TYPICAL DETAIL**

SCALE: NONE

**STORMWATER MANAGEMENT GENERAL NOTES**

1. COORDINATES ARE BASED ON THE MARYLAND STATE COORDINATE SYSTEM NAD 83 DATUM PROJECTED BY THE DEPARTMENT OF PUBLIC WORKS OF ANNE ARUNDEL COUNTY, MARYLAND.
2. ELEVATIONS ARE BASED ON THE NAD 83 DATUM PROJECTED BY THE ANNE ARUNDEL COUNTY DEPARTMENT OF PLANNING AND ZONING.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ANNE ARUNDEL COUNTY DEPARTMENT OF PUBLIC WORKS STANDARD DETAILS FOR CONSTRUCTION OF STORM DRAINS, ROADS, AND STORMWATER MANAGEMENT, JANUARY 2001.
4. NECESSARY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SERVICES AND MAINS, AND ANY DAMAGE TO THEM DUE TO THEIR NEGLIGENCE SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
5. THE EXISTING UTILITIES AND OBSTRUCTIONS SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS OWN SATISFACTION BEFORE STARTING CONSTRUCTION. NEITHER THE OWNER NOR ANNE ARUNDEL COUNTY DEPARTMENT OF PUBLIC WORKS WARRANT OR GUARANTEE THE COMPLETENESS OR THE CORRECTNESS OF THE INFORMATION GIVEN.
6. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO SPECIFICALLY MENTION ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
7. THE CONTRACTOR SHALL NOTIFY BGE, (410) 234-5691, FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
8. THE CONTRACTOR SHALL NOTIFY THE C&P TELEPHONE COMPANY, (301) 393-3648, FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
9. THE CONTRACTOR SHALL NOTIFY THE ANNE ARUNDEL COUNTY DEPARTMENT OF PLANNING AND ZONING, (410) 222-7780, FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
10. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY", 1-800-257-7777, FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
11. ALL UTILITY POLES SHALL BE BRACED AS NECESSARY AT THE CONTRACTOR'S EXPENSE. UTILITY POLES SHALL BE RELOCATED AT THE OWNER'S EXPENSE IN CASES WHERE THEY WILL INTERFERE WITH CONSTRUCTION.
12. PIPE ELEVATIONS REFER TO INVERTS UNLESS OTHERWISE NOTED.
13. ALL STORM DRAIN PIPES ARE REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED.
14. VERTICAL AND HORIZONTAL CONTROL ARE BASED ON ANNE ARUNDEL COUNTY TRAVERSE STATION: 1237 N505,747.000 E1,449,468.384 ELEV. 50.29

**STORMWATER MANAGEMENT NOTE**

THIS GRADING PERMIT G02019817 WAS REVIEWED UNDER THE 2010 REGULATIONS FOR STORMWATER MANAGEMENT. STORMWATER MANAGEMENT PRACTICES WILL BE PROVIDED FOR THIS SITE IN ACCORDANCE WITH ARTICLE 16, SEC. 4 AND THE FINAL PLAN ON FILE WITH THE OFFICE OF PLANNING AND ZONING. ESD TO THE MEP WAS ACHIEVED THROUGH MICRO DRYWELLS.

1. THE ENVIRONMENTAL SITE DESIGN VOLUME IS 100% ADDRESSED, INCLUDING:
  - a. THE RECHARGE VOLUME (Rev) FOR THE ENTIRE SITE VIA MICRO DRYWELLS
  - b. THE WATER QUALITY VOLUME (WQv) FOR THE ENTIRE SITE VIA MICRO DRYWELLS
  - c. THE CHANNEL PROTECTION VOLUME (Cpv) FOR THE ENTIRE SITE VIA MICRO DRYWELLS
2. OVERBANK FLOOD PROTECTION VOLUME (Op10) IS NOT REQUIRED. THE OUTFALL HAS ADEQUATE CAPACITY.
3. FLOOD PROTECTION VOLUME Q1 IS NOT REQUIRED AS THE DOWNSTREAM ANALYSIS INDICATED THAT THERE WOULD BE NO FLOODING DOWNSTREAM OF THE PROJECT.

**STORMWATER MANAGEMENT SUMMARY TABLE**

MINIMUM SIZING CRITERIA	SYMBOL	VOLUME REQUIRED (CUBIC FEET)	SWM PRACTICE	NOTES
WATER QUALITY VOLUME	(WQv)	173	SWM PRACTICE A AND B	
RECHARGE VOLUME	(Rev)	73	SWM PRACTICE A AND B	
CHANNEL PROTECTION STORAGE VOLUME	(Cpv)	30	SWM PRACTICE A AND B	
OVERBANK FLOOD PROTECTION	(Op10)	994	ADEQUATE OUTFALL	
EXTREME FLOOD	(Q1)	N/A	N/A	

G0201

REVISIONS			
No.	Description	Approved By	Date

NOTED: USE PROPOSED PROFESSIONAL CERTIFICATION. THESE DOCUMENTS WERE PREPARED BY OR APPROVED BY ME, AND THAT I AM AN LICENSED PROFESSIONAL ENGINEER UNDER THE JURISDICTION OF THE STATE OF MARYLAND LICENSE NO. 15042. EXPIRATION DATE: 09/20/2025.



**GAMMA ENGINEERING**  
1203 WEST STREET SUITE A  
ANNAPOLIS, MD 21401  
PHONE (410) 626-1070  
FAX (410) 267-8619  
EMAIL: BLUPT@MSN.COM

**OWNER/APPLICANT:**  
CHESSIE HOMES (LOTS 84 AND 85)  
250 HARLEM ROAD  
PASADENA, MD 21122

**GRADING PERMIT PLANS**  
STORMWATER MANAGEMENT NOTES, COMPUTATIONS AND DETAILS

128 CRESSTON ROAD, ARNOLD (LOTS 84 AND 85)  
**CRESSTON PARK**  
TAX MAP 32H, GRID 11, PARCEL 134,  
TAX ACCT #3225 9025 3246  
3RD DISTRICT, ANNE ARUNDEL COUNTY, MD, ZONING R2





**PROPOSED PROJECT  
2 HOUSE SITES CONSISTING  
OF 3 LOTS AND 2 LOTS**

**THESE 5 HOUSE SITES  
ARE ON 2 LOTS EACH**

**THIS IS ONLY  
HOME SITE ON 4 LOTS**

**THIS SITE CONSISTS  
OF LOTS OTHER THAN  
STANDARD 25' WIDE**

**EXHIBIT A - INDICATING  
TYPICAL NUMBER OF LOTS  
FOR EACH HOUSE SITE**

**CONCLUSION: TYPICAL SITE CONSISTS OF 2 OR 3 LOTS  
ON GRESSTON AND SHORE ROADS**

CRITICAL AREA COMMISSION  
 CHESAPEAKE AND ATLANTIC COASTAL BAYS  
 1804 WEST STREET, SUITE 100  
 ANNAPOLIS, MD 21401

PROJECT NOTIFICATION APPLICATION

**GENERAL PROJECT INFORMATION**

Jurisdiction: Anne Arundel County

Date:

Tax Map #	Parcel #	Block #	Lot #	Section
32H	134	11	84+85	—

**FOR RESUBMITTAL ONLY**

- Corrections
- Redesign
- No Change
- Non-Critical Area

\*Complete Only Page 1  
 General Project Information

Tax ID: 3225-9025-3246

Project Name (site name, subdivision name, or other) Cresston Park, Lots 84+85

Project location/Address 128 Cresston Rd.

City Annapolis Zip 21012

Local case number

Applicant: Last name Heifrich First name Michael

Company Gamma Engineering

**Application Type (check all that apply):**

- |  |  |
|--|--|
| Building Permit <input type="checkbox"/>           | Variance <input checked="" type="checkbox"/> |
| Buffer Management Plan <input type="checkbox"/>    | Rezoning <input type="checkbox"/>            |
| Conditional Use <input type="checkbox"/>           | Site Plan <input type="checkbox"/>           |
| Consistency Report <input type="checkbox"/>        | Special Exception <input type="checkbox"/>   |
| Disturbance > 5,000 sq ft <input type="checkbox"/> | Subdivision <input type="checkbox"/>         |
| Grading Permit <input type="checkbox"/>            | Other <input type="checkbox"/>               |

**Local Jurisdiction Contact Information:**

Last name AACo Zoning Administration Section First name \_\_\_\_\_

Phone # 410-222-7437 Response from Commission Required By TBD

Fax # \_\_\_\_\_ Hearing date TBD

**SPECIFIC PROJECT INFORMATION**

Describe Proposed use of project site:

*Disturb Steep Slopes in the Critical Area to construct a SED*

Intra-Family Transfer  Yes  
 Grandfathered Lot

Growth Allocation  Yes  
 Buffer Exemption Area

**Project Type (check all that apply)**

Commercial   
 Consistency Report   
 Industrial   
 Institutional   
 Mixed Use   
 Other

Recreational   
 Redevelopment   
 Residential   
 Shore Erosion Control   
 Water-Dependent Facility

**SITE INVENTORY (Enter acres or square feet)**

	Acres	Sq Ft
IDA Area	0	0
LDA Area	0.14	5,906.52
RCA Area	0	0
Total Area	0	0

Total Disturbed Area Acres Sq Ft  
0.10 4,385

# of Lots Created

	Acres	Sq Ft		Acres	Sq Ft
Existing Forest/Woodland/Trees	0.12	5397	Existing Lot Coverage	0	0
Created Forest/Woodland/Trees	0	0	New Lot Coverage		1974
Removed Forest/Woodland/Trees	0.089	3906	Removed Lot Coverage	0	0
			Total Lot Coverage		1974

**VARIANCE INFORMATION (Check all that apply)**

	Acres	Sq Ft		Acres	Sq Ft
Buffer Disturbance			Buffer Forest Clearing		
Non-Buffer Disturbance			Mitigation		

Variance Type

Buffer   
 Forest Clearing   
 HPA Impact   
 Lot Coverage   
 Expanded Buffer   
 Nontidal Wetlands   
 Setback   
 Steep Slopes   
 Other

Structure

Acc. Structure Addition   
 Barn   
 Deck   
 Dwelling   
 Dwelling Addition   
 Garage   
 Gazebo   
 Patio   
 Pool   
 Shed   
 Other

CRITICAL AREA REPORT

FOR

CRESSTON PARK  
LOTS 84 & 85

PREPARED BY:

Gamma Engineering  
1203 West Street, Suite A  
Annapolis, MD 21401

FEBRUARY 2024

**Critical Area Report**  
Office of Planning & Zoning  
2664 Riva Rd.  
Annapolis, MD 21401

February 5, 2024

Applicant: Michael Helfrich  
1203 West Street, Suite A  
Annapolis, MD 21401

Site Address: 128 Cresston Road  
Arnold, MD 21012  
Lots 84 & 85, Cresston Park

**RE: Information required for submission of Critical Area Report**

**I. Site Description and Explanation:** The subject property is Lots 84 & 85 in the subdivision of "Cresston Park". The site contains approximately 5906.52 square feet or 0.14 acres. The site is part of parcel 134 in block 11 of Tax Map 32H. The lot is zoned R-2 and is in the 3rd Assessment District of Anne Arundel County. The lot is in the Critical Area and is designated as a Limited Development Area (LDA).

The applicant is requesting the following variances to allow construction of a single family dwelling:

**Article 17-8-201(a):**

- **A variance to disturb 1,371 sf of steep slopes in the Critical Area**

The proposed development will not alter the essential character of the neighborhood, will not impair similar development of adjacent properties, will not significantly reduce forest cover and will not be detrimental to the public welfare. The proposed development will not be inconsistent with the intent of the critical area program.

**II. See enclosed site plan for vicinity map.**

**III. Narrative Statements:**

- The proposed construction will have minimal or no effect on water quality. SWM meeting ESD requirements will be provided via infiltration drywells.
- All impervious area for the site will not exceed allowed amounts. There is no existing impervious area on the site. A total of 1,974 sf of impervious area is proposed(33.4%).
- The lot is occupied by invasive English Ivy dominated understory and a canopy of overgrown red and white oak trees. Approximately half of the trees appear to be dead.

There are none of the following designated habitat protection areas on site: riparian forests 300' or more in length, forested blocks greater than 100 acres, or natural heritage areas. The following designated protection areas do not exist on site: non-tidal wetlands, water bird nesting sites, historical waterfowl nesting, staging or concentration areas.

**IV. Site Plan**

The enclosed site plan shows, if applicable, all of the following: existing vegetated area and all proposed structures. The clearing proposed is as designated, no wetlands disturbance is proposed.

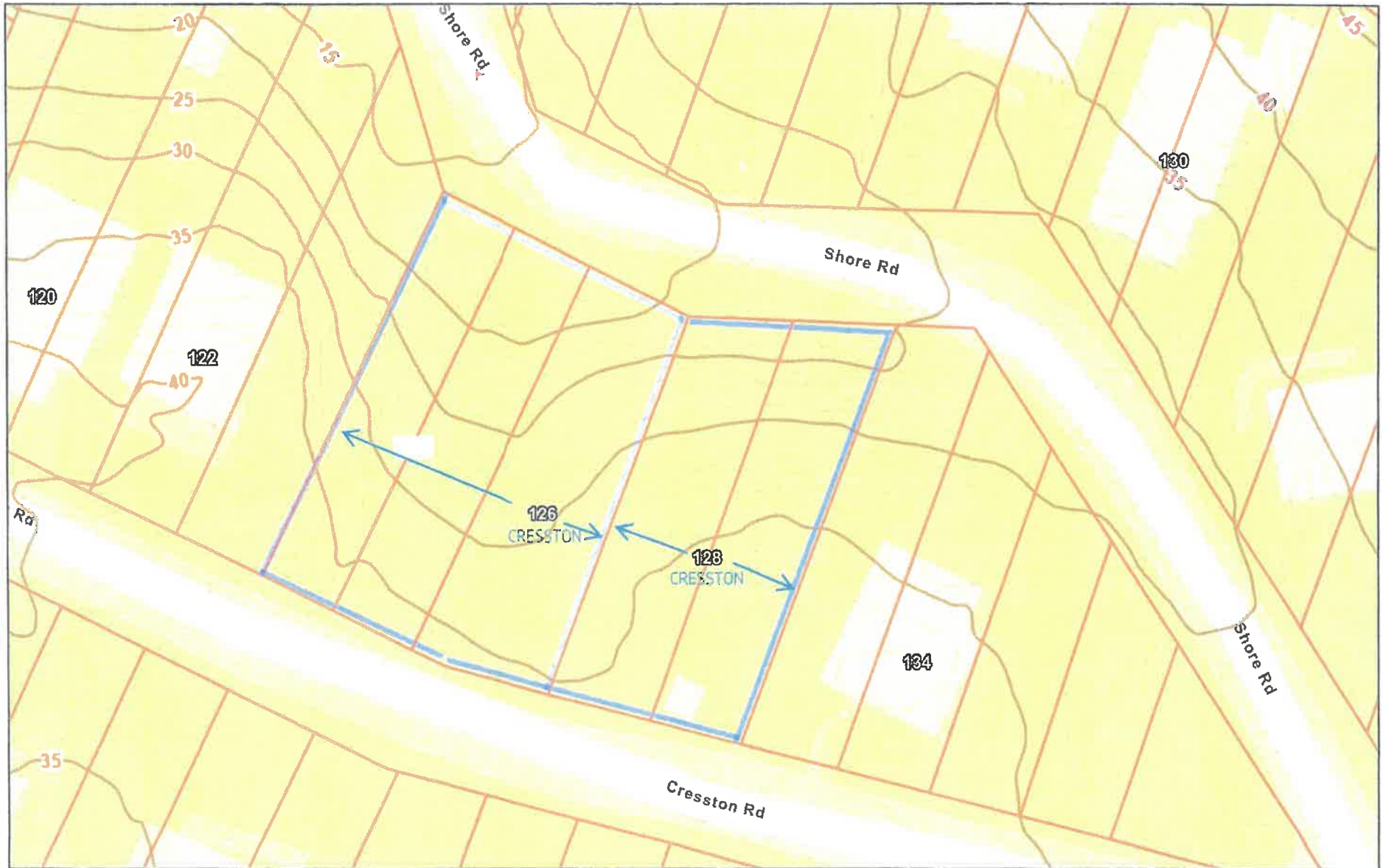
**V. See enclosed Notification of Project application.**

Sincerely,



Michael Helfrich, P.E.

# Anne Arundel County Engineering Record Drawing and Monuments



2/2/2024, 12:37:57 PM

Topo\_2020

Intermediate

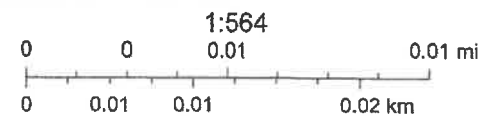


Parcels

Index



Address Points



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Anne Arundel County

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CRITICAL AREA COMMISSION  
 CHESAPEAKE AND ATLANTIC COASTAL BAYS  
 1804 WEST STREET, SUITE 100  
 ANNAPOLIS, MD 21401

PROJECT NOTIFICATION APPLICATION

**GENERAL PROJECT INFORMATION**

Jurisdiction: Anne Arundel County

Date:

Tax Map #	Parcel #	Block #	Lot #	Section
32H	134	11	84+85	—

**FOR RESUBMITTAL ONLY**

Corrections

Redesign

No Change

Non-Critical Area

*\*Complete Only Page 1  
 General Project Information*

Tax ID: 3225-9025-3246

Project Name (site name, subdivision name, or other) Cresston Park, Lots 84+85

Project location/Address 128 Cresston Rd.

City Annapolis Zip 21012

Local case number

Applicant: Last name Heifrich First name Michael

Company Gamma Engineering

**Application Type (check all that apply):**

- |                           |                          |                   |                                     |
|---------------------------|--------------------------|-------------------|-------------------------------------|
| Building Permit           | <input type="checkbox"/> | Variance          | <input checked="" type="checkbox"/> |
| Buffer Management Plan    | <input type="checkbox"/> | Rezoning          | <input type="checkbox"/>            |
| Conditional Use           | <input type="checkbox"/> | Site Plan         | <input type="checkbox"/>            |
| Consistency Report        | <input type="checkbox"/> | Special Exception | <input type="checkbox"/>            |
| Disturbance > 5,000 sq ft | <input type="checkbox"/> | Subdivision       | <input type="checkbox"/>            |
| Grading Permit            | <input type="checkbox"/> | Other             | <input type="checkbox"/>            |

**Local Jurisdiction Contact Information:**

Last name AACo Zoning Administration Section First name \_\_\_\_\_

Phone # 410-222-7437 Response from Commission Required By TBD

Fax # \_\_\_\_\_ Hearing date TBD



**SPECIFIC PROJECT INFORMATION**

Describe Proposed use of project site:

*Disturb Steep Slopes in the Critical Area to construct a SFD*

Intra-Family Transfer  Yes  
 Grandfathered Lot

Growth Allocation  Yes  
 Buffer Exemption Area

**Project Type (check all that apply)**

Commercial   
 Consistency Report   
 Industrial   
 Institutional   
 Mixed Use   
 Other

Recreational   
 Redevelopment   
 Residential   
 Shore Erosion Control   
 Water-Dependent Facility

**SITE INVENTORY (Enter acres or square feet)**

	Acres	Sq Ft
IDA Area	0	0
LDA Area	0.14	5,906.52
RCA Area	0	0
Total Area	0	0

Total Disturbed Area 

Acres	0.10
Sq Ft	4,385

# of Lots Created

	Acres	Sq Ft	Acres	Sq Ft
Existing Forest/Woodland/Trees	0.12	5397	Existing Lot Coverage	0
Created Forest/Woodland/Trees	0	0	New Lot Coverage	1974
Removed Forest/Woodland/Trees	0.089	3906	Removed Lot Coverage	0
			Total Lot Coverage	1974

**VARIANCE INFORMATION (Check all that apply)**

	Acres	Sq Ft	Acres	Sq Ft
Buffer Disturbance			Buffer Forest Clearing	
Non-Buffer Disturbance			Mitigation	

Variance Type

Buffer   
 Forest Clearing   
 HPA Impact   
 Lot Coverage   
 Expanded Buffer   
 Nontidal Wetlands   
 Setback   
 Steep Slopes   
 Other

Structure

Acc. Structure Addition   
 Barn   
 Deck   
 Dwelling   
 Dwelling Addition   
 Garage   
 Gazebo   
 Patio   
 Pool   
 Shed   
 Other



## OFFICE OF PLANNING AND ZONING

### CONFIRMATION OF PRE-FILE (2024-0004-P & 2024-0005-P)

DATE OF MEETING: 1/31/2024

P&Z STAFF: Sara Anzelmo, Kelly Krinetz, Habtamu Zeleke

APPLICANT/REPRESENTATIVE: Chessie Homes/Michael Helfrich EMAIL: blupt@icloud.com

SITE LOCATION: 128 & 126 Cresston Road LOT SIZE: 5,906 sf & 11,180 sf ZONING: R2

CA DESIGNATION: LDA BMA: N/A or BUFFER: N/A APPLICATION TYPE: Critical Area Variance

The applicant proposes to construct two single-family dwellings, one of Lots 84 & 85 and one on Lots 86-88. The proposed development would require variances to disturb slopes of 15% or greater. More specifically, the proposed slope disturbance would be 1,371 sf on Lots 84 & 85 and 3,194 sf on Lots 86-88. Note: A previous variance for Lot 86 (2022-0010-V) was denied.

#### COMMENTS

The **Critical Area Team** commented that these sites consist of two out of five and three out of five contiguous lots that were originally transferred to Creston Park Realty Company in 1923. The company dissolved in 1958 and all five lots were purchased in January 2021 by Chessie Homes for \$35,000. All five lots are encumbered by slopes ranging from 18% to 35% with a single area of approximately 1800 sq. ft., located in the corner of Lots 84 and 85 that is located outside of the steep slopes and could be suitable for development. It should be noted that all 5 lots are legal lots but not necessarily buildable. As mentioned before, only approximately 1800 sq. ft. of the 5 lots appears to be suitable for development. The five lots should be developed as a single site and any variances or modifications should be to facilitate development in that location, not create developable lots where they do not exist.

The **Zoning Administration Section** concurs with the Critical Area Team and reminds the application that, in order for a Critical Area variance to be approved, the applicant must demonstrate and the Hearing Officer must find that the proposal complies with each and every variance standard provided under Section 18-16-305(b) and (c). Variance site plans require the height of the proposed structures to be labeled.

The **Engineering Division** provided a list of items that need to be addressed. (See two attached comment forms.)

#### INFORMATION FOR THE APPLICANT

Section 18-16-201 (b) Pre-filing meeting required. Before filing an application for a variance, special exception, or to change a zoning district, to change or remove a critical area classification, or for a variance in the critical area or bog protection area, an applicant shall meet with the Office of Planning and Zoning to review a pre-file concept plan or an administrative site plan. For single lot properties, the owner shall prepare a simple site plan as a basis for determining what can be done under the provisions of this Code to avoid the need for a variance.

\*\*\* A preliminary plan checklist is required for development impacting environmentally sensitive areas and for all new single-family dwellings. A stormwater management plan that satisfies the requirements of the County Procedures Manual is required for development impacting environmentally sensitive areas OR disturbing 5,000 square feet or more. State mandates require a developer of land provide SWM to control new development runoff from the start of the development process.

Section 18-16-301 (c) Burden of Proof. The applicant has the burden of proof, including the burden of going forward with the production of evidence and the burden of persuasion, on all questions of fact. The burden of persuasion is by a preponderance of the evidence. A variance to the requirements of the County's Critical Area Program may only be granted if the Administrative Hearing Officer makes affirmative findings that the applicant has addressed all the requirements outlined in Article 18-16-305. Comments made on this form are intended to provide guidance and are not intended to represent support or approval of the variance request.

# 2024-0004-P

Menu Cancel Help

**Task**  
Land P Engineering  
**Assigned to Department**  
Engineering  
**Action by Department**  
Engineering  
**Start Time**

**Due Date**  
01/26/2024  
**Assigned to**  
Hebtamu Zeleke  
**Action By**  
Hebtamu Zeleke  
**End Time**

**Assigned Date**  
01/29/2024  
**Status**  
Complete w/ Comments  
**Status Date**  
01/29/2024  
**Hours Spent**  
0.0

**Billable**  
No

**Overtime**  
No

**Comments**  
Variance comments  
2024-0004-P 126 Creston RD  
1. A soil boring is required per practice. The suitability, and siting of proposed SWM practices should be reviewed. Soil boring information including verification of the suitability of in-situ soils for infiltration shall be submitted. A Geotech investigation should be performed.  
2. Given the disturbance to sensitive resources including the stream buffer, steep slopes, wetlands, and buffers, the proposed design adversely affects the water quality within the Critical Area. Please clarify.  
3. In the site plan provided, it appears that the property will be served by public water and sewer.  
4. The utility for the site will be reviewed during the grading permit.  
5. Infiltration devices, including individual lot devices, shall be located a minimum of 10 feet horizontally from any public sanitary sewer or house connection.  
6. The County Stormwater manual requires that infiltration devices uphill from buildings and structures with basements shall be located a minimum of 20 feet from the structure, or the intersection of the structure foundation footing with the phreatic line from the overflow depth of the device, whichever is greater. Please clarify how this requirement is met.  
7. The site to ensure that any existing downstream flooding including nuisance flooding issues will be exacerbated by the proposed development.  
8. The design should evaluate and implement site planning alternatives in accordance with 18-16-201.  
9. Additional information is required to show how the site meets Environmental Site Design.

**Time Tracking Start Date**  
**Display E-mail Address in ACA**  
No

**Est. Completion Date**  
**Display Comment in ACA**

**In Possession Time (hrs)**  
**Comment Display in ACA**  
All ACA Users  
Record Creator  
Licensed Professional  
Contact  
Owner  
**Workflow Calendar**

**Estimated Hours**  
0.0

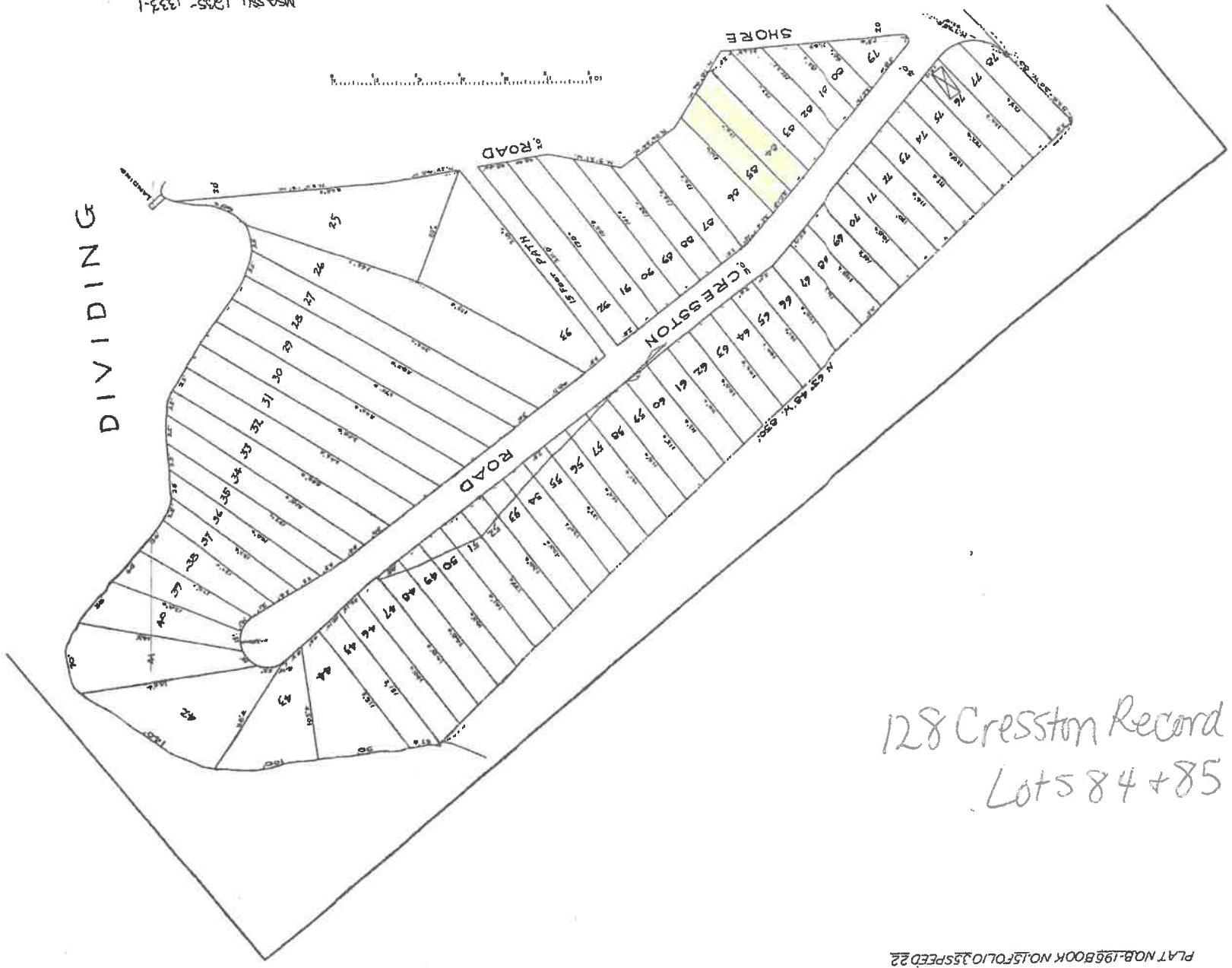
**Action**  
Updated

**Task Specific Information**

**Review Notes**  
**Reviewer Email**

**Reviewer Name**

**Reviewer Phone Number**



MSA 84 1333-1

128 Cresston Record Plat  
 Lots 84 + 85

PLAT NO. B-196 BOOK NO. 15 FOLIO 35 P. 22

