

ANNE ARUNDEL COUNTY, MARYLAND

DEPARTMENT OF PUBLIC WORKS

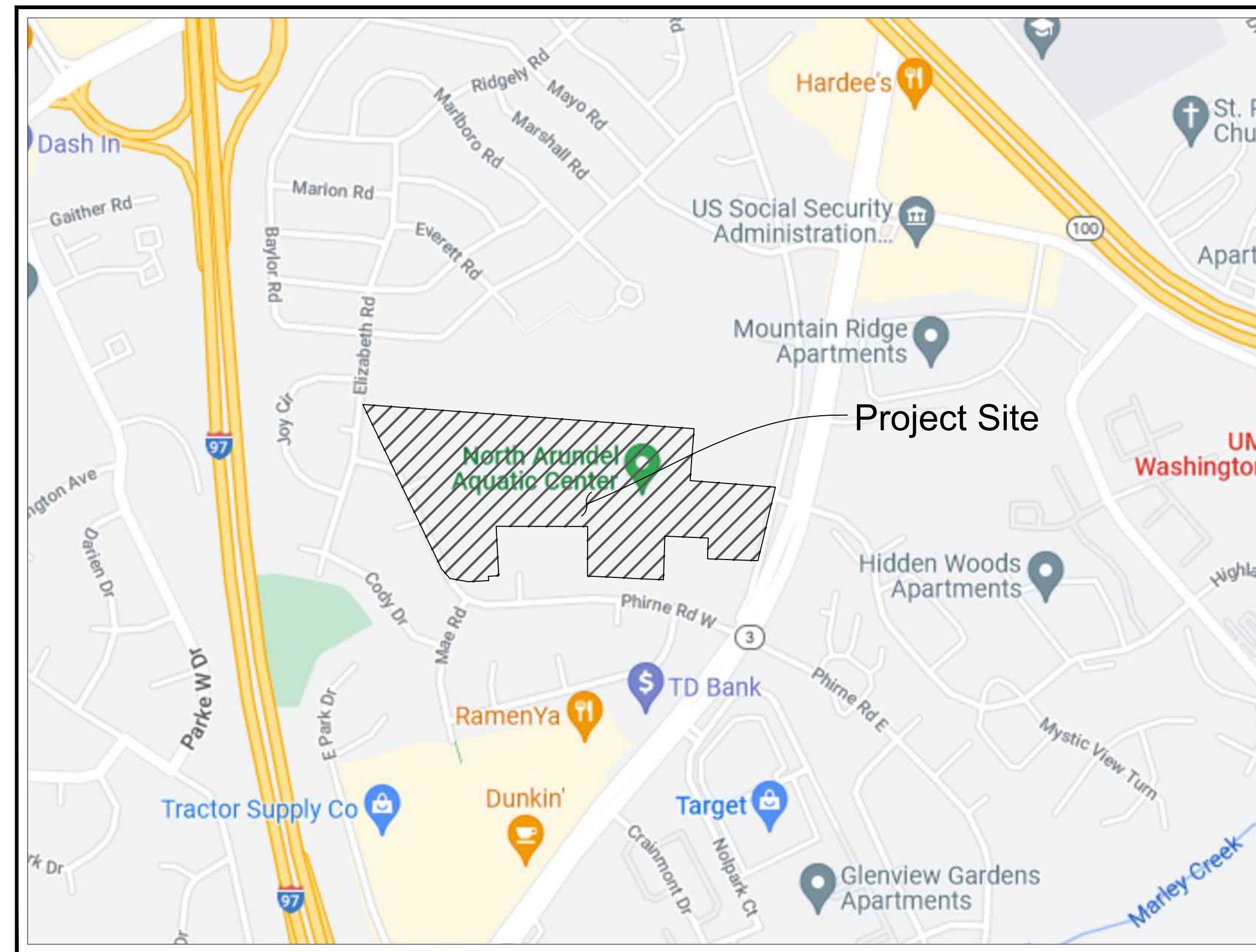
NORTH ARUNDEL AQUATIC CENTER

30% SCHEMATIC DESIGN

AA CO. PROJECT: XXXXXX

SITE DATA

1. OWNER / DEVELOPER: Anne Arundel County
Dept. of Recreation and Parks
2662 Riva Road
Annapolis, MD 21401
Contact: Bruce Bruchey
(410) 222-2827
2. SITE ADDRESS: 7888 Crain Highway
Glen Burnie, Maryland 21061
3. # OF EXISTING PARCELS: 1
4. NET TRACT AREA: ± 30.82 AC
5. PROJECT AREA / LOD: ± 6.86 AC (±298,925 SF)
6. DEED REFERENCE: 9465/358
7. TAX ACCOUNT: 90041273
8. TAX MAP/ GRID/ PARCEL: 0015 / 0011 / 638
9. ZONING: OS - Open Space District
10. WATER SERVICE AREA: YES
11. SEWER SERVICE AREA: YES
12. FEMA FIRM MAP #: 2400360044E
13. 100 YR FLOODPLAIN: N/A
14. TIDAL/NONTIDAL WETLANDS: N/A
15. WATERSHED:
6-DIGIT: 021309 PATAPSCO RIVER
8-DIGIT: 02130903 BALTIMORE HARBOR
16. THIS SITE IS NOT WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
17. THIS SITE IS NOT WITHIN THE BWI AIRPORT ZONE.
18. EXISTING USE: INDOOR POOL
19. PROPOSED USE: INDOOR POOL
PLAYGROUND
SPORTS FIELDS
20. PARKING SUMMARY
EXISTING: 111 SPACES + 5 HC SPACES
PROPOSED: 87 SPACES + 6 HC SPACES



VICINITY MAP

SCALE: 1" = 1000'


SHEET LIST

- 1 Cover Sheet
- 2 Overall Existing Conditions Plan
- 3 Overall Site Plan
- 4 Existing Conditions & Demolition Plan
- 5 Existing Conditions & Demolition Plan
- 6 Existing Conditions & Demolition Plan
- 7 Site, Grading, & Concept Stormwater Management Plan
- 8 Site, Grading, & Concept Stormwater Management Plan
- 9 Site, Grading, & Concept Stormwater Management Plan
- 10 Site Details
- 11 Site Details
- 12 Stormwater Management Existing DA Map
- 13 Stormwater Management Proposed DA Map
- 14 Schematic Landscape Plan
- 15 Schematic Landscape Plan
- 16 Schematic Landscape Plan
- 17 Forest Conservation Plan
- 18 Forest Conservation Plan
- 19 Forest Conservation Plan
- 20 Forest Conservation Notes & Details

DATA SOURCES:

- TOPOGRAPHY AND PLANIMETRICS SHOWN ARE FROM A FIELD-RUN SURVEY BY CENTURY ENGINEERING, DATED 11/14/2023, AND SUPPLEMENTED BY ANNE ARUNDEL COUNTY GIS.
- PROPERTY DATA IS FROM MARYLAND DEPARTMENT OF ASSESSMENTS AND TAXATION REAL PROPERTY DATA.
- MARYLAND COORDINATE SYSTEM (MCS)

T:\2018\Facilities\181120019a n. aquatic center\CAD\Drawings\1. Schematic Design\181120019A (SP-01) Cover Sheet.dwg Feb 29, 2024 2:42pm kdarley

 CENTURY ENGINEERING A Kleinfelder Company 10710 Gilroy Road, Hunt Valley, MD 21031 Phone: 443.589.2400 www.centuryeng.com	DATE: _____	ANNE ARUNDEL COUNTY DEPARTMENT OF PUBLIC WORKS			
LICENSE NO. _____					

North Arundel Aquatic Center

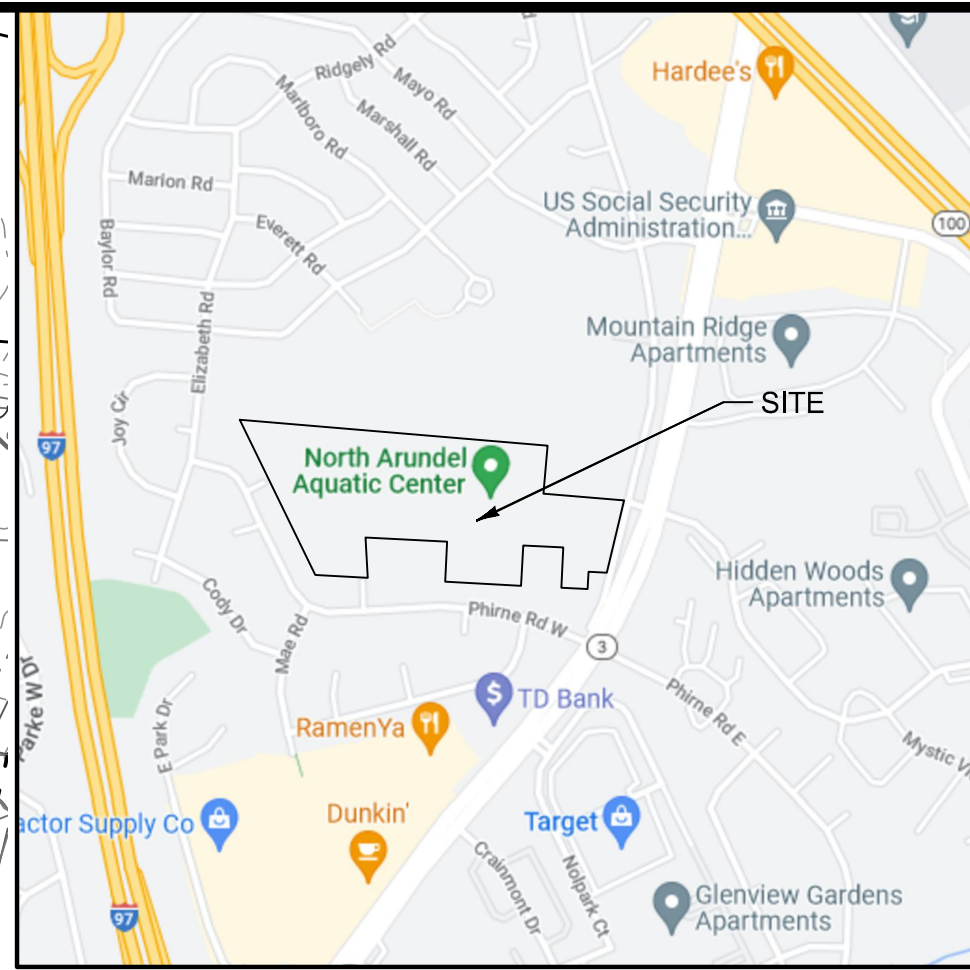
2nd Tax District, Anne Arundel Co., MD. Tax Map 15, Grid 11, Parcel 638

ADJOINING PROPERTY INFORMATION:

NO.	OWNER	ADDRESS	ACCT. #	DEED
1	BOARD OF EDUCATION OF ANNE ARUNDEL COUNTY	2644 RIVA RD. ANNAPOLIS, MD 21401	040000093211	01495/00297
2	ANNE ARUNDEL COUNTY	205 MD. RT. 3 N MILLERSVILLE, MD 21108	040000093068	
3	LOWMAN, FLORENCE & LOWMAN, H.M.	7892 CRAIN HWY S GLEN BURNIE, MD 21061	040000380100	02148/00418
4	KHUMAN, JAGIT	412 UNIVERSITY DR. SEVERN, MD 21144	040000041274	28942/00108
5	YEO, STEVEN B. & YEO, URSULA M.	373 PHIRNE RD. GLEN BURNIE, MD 21061	0432305968400	03744/00567
6	SIMEONA, TALITHA	375 PHIRNE RD. GLEN BURNIE, MD 21061	0432304116500	37562/00005
7	MOCCHIA, OSCAR & MOCCHIA, MICHELLE A.	377 PHIRNE RD. GLEN BURNIE, MD 21061	0432306500980	32295/00197
8	PARCE, STEPHANIE N. PARCE, CHRISTOPHER R.	379 PHIRNE RD. GLEN BURNIE, MD 21061	0432306559410	30870/00386
9	DEVREIES, EVERETT RODENBURG DEVREIES, ABIGAIL HUFFMAN	381 PHIRNE RD. GLEN BURNIE, MD 21061	0432301272825	26018/00091
10	NAPPIER, JOHN M. NAPPIER, WANDA J.	383 PHIRNE RD. GLEN BURNIE, MD 21061	0432303040765	04186/00865
11	VANMETER, ABRAHAM L.	7910 BUFORD RD. GLEN BURNIE, MD 21061	0400009969027	05296/00181
12	ARNOLD, JOHN W. ARNOLD, MARY S.	395 PHIRNE RD. GLEN BURNIE, MD 21061	0432300010700	01738/00118
13	SIDER, SCOTT W.	397 PHIRNE RD. GLEN BURNIE, MD 21061	0432305352400	18473/00425
14	HAWES, RICHARD W. HAWES, J. M.	399 PHIRNE RD. GLEN BURNIE, MD 21061	0432302424480	01976/00517
15	ESCOBAR, LETY AYALA AYALA-MACHADO, IMMAR	401 PHIRNE RD. GLEN BURNIE, MD 21061	0432306261300	32447/00268
16	RATZBURG, DAVID S. RATZBURG, LORI A.	403 PHIRNE RD. GLEN BURNIE, MD 21061	0432301933400	06257/00287
17	FOSTER, MICHAEL W. FOSTER, APRIL A.	405 PHIRNE RD. GLEN BURNIE, MD 21061	0432306245200	29399/00288
18	RUHL, JEFFREY M. RUHL, LINDA K.	407 PHIRNE RD. GLEN BURNIE, MD 21061	0432306059217	05225/00452
19	MOORE, BENJAMIN J.	409 PHIRNE RD. GLEN BURNIE, MD 21061	0432304440300	07493/00616
20	EID, ELIAS	411 PHIRNE RD. GLEN BURNIE, MD 21061	0432301998700	15095/00236
21	JAMES & ROBERTA REINER FAMILY TRUST	413 PHIRNE RD. GLEN BURNIE, MD 21061	0432304732025	21960/00023
22	EVANS, SCOTT	415 PHIRNE RD. GLEN BURNIE, MD 21061	0432301810107	31004/00470
23	GRAHAM, DONALD H. GRAHAM, DEBORAH M.	417 PHIRNE RD. GLEN BURNIE, MD 21061	0432304905200	04275/00432
24	ANDRULIEWICZ, EDWARD D. ANDRULIEWICZ, KUM JA	419 PHIRNE RD. GLEN BURNIE, MD 21061	0432301880600	03230/00240
25	LAWTON, AMANDA L. TALVIK, ERIC S.	523 ELIZABETH RD.	0432301433000	38814/00310



N/F
 ANNE ARUNDEL COUNTY
 2662 RIVA RD., ANNAPOLIS MD 21401-7305
 TM: 0015 G: 0011 P: 0638 N: 24000.02
 ACCT. #0400090041273 DEED: 09465/ 00358
 7888 S CRAIN HWY GLEN BURNIE 21061-0000
 30.8200 AC



VICINITY MAP

SCALE: 1" = 2000'

LEGEND

- Property Line
- Adjoiner / Lot Line
- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Road/Paving
- Soil Line
- Existing Storm Drain
- Existing Water
- Existing Sewer
- Existing Gas Line
- Existing Underground Electric Line
- Existing Overhead Electric Line
- Existing Conduit Line
- Existing Fiber Optic Line
- Existing Cable Line
- Existing Telephone Line
- Existing Chain Link Fence
- Existing Split Rail Fence
- Existing Trail
- Existing Tree Line
- Existing Building
- Steep Slopes (15%-25%)
- Steep Slopes (25%+)

PROPERTY DATA

Acct. 0400090041273 Deed Ref. 09465 / 00358

ENVIRONMENTAL SITE DATA

- GROSS TRACT AREA: ±30.82 AC
- PROJECT AREA: ±7.00 AC / ±304,920 SF
- FLOODPLAIN AREA IN LOD: 0 AC / 0 SF
- WETLAND AREA IN LOD: 0 AC / 0 SF
- WETLAND BUFFER AREA IN LOD: 0 AC / 0 SF
- STREAM BUFFER AREA IN LOD: 0 AC / 0 SF
- EXISTING IMPERVIOUS IN LOD: ±0.47 AC / ±20,602 SF
- THIS SITE IS NOT WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
- THERE ARE NO BOGS WITHIN OR NEAR THE SITE.

LINE & CURVE TABLE

Line #/Curve #	Length	Direction/Delta	Radius
L1	99.580	S04° 21' 07.67"W	
L2	392.930	S85° 36' 08.94"E	
L3	18.914	S85° 36' 13.44"E	
L4	79.369	S13° 44' 41.42"W	
L5	76.007	S13° 06' 27.37"W	
L6	109.336	S13° 12' 57.63"W	
L7	20.591	S13° 43' 17.79"W	
L8	78.946	S13° 34' 21.64"W	
L9	242.555	N87° 53' 29.30"W	
L10	79.484	N02° 06' 31.87"E	
L11	20.658	N02° 06' 28.55"E	
L12	0.321	N87° 21' 55.96"W	
L13	209.462	N87° 26' 51.59"W	
L14	210.534	S01° 48' 41.64"W	
L15	63.028	N87° 18' 52.25"W	
L16	0.199	N87° 27' 11.18"W	
L17	71.593	N87° 18' 53.29"W	
L18	0.172	N87° 22' 39.34"W	
L19	72.114	N86° 56' 46.14"W	
L20	0.475	N87° 20' 43.01"W	

Line #/Curve #	Length	Direction/Delta	Radius
L21	69.313	N87° 25' 28.57"W	
L22	70.132	N87° 16' 33.58"W	
L23	0.354	N87° 23' 59.44"W	
L24	18.523	N87° 29' 58.57"W	
L25	239.241	N00° 06' 47.32"E	
L26	440.888	N89° 53' 12.48"W	
L27	238.201	S03° 10' 05.17"E	
L28	50.194	S86° 49' 55.02"W	
L29	20.870	S03° 10' 03.32"E	
L30	0.489	S02° 48' 17.51"E	
L31	95.034	S86° 58' 48.59"W	
L32	0.664	S86° 59' 51.47"W	
L33	57.165	N80° 11' 27.55"W	
L34	33.988	N80° 11' 23.26"W	
L35	0.710	S32° 04' 31.79"W	
L36	1.037	N40° 53' 39.44"W	
L37	34.292	N40° 53' 52.12"W	
L38	27.416	N40° 54' 07.63"W	
L39	23.869	N25° 37' 41.40"W	

PLAN

SCALE: 1" = 100'
 0 100' 200'

KEY	NAME	SLOPE	HYDROLOGIC GROUP	HYDRIC SOIL
PIB	Patapsco-Fort Mott complex	0-5%	A	No
PIC	Patapsco-Fort Mott complex	5-10%	A	No
PgB	Patapsco-Fort Mott-Urban Landcomplex	0-5%	A	No
SME	Sassafras and Croom soils	15-25%	C	No
WdaA	Woodstown Sandy Loam	0-2%	C	No

CENTURY ENGINEERING
 A Kleinfelder Company
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 www.centuryeng.com

DATE: _____

LICENSE NO. _____

ANNE ARUNDEL COUNTY
 DEPARTMENT OF PUBLIC WORKS

REVISED	APPROVED	DATE	APPROVED	DATE	SCALE	AS SHOWN
DATE	BY		DATE			
	CHIEF ENGINEER		PROJECT MANAGER		CHECKED BY	MJP
	APPROVED	DATE	APPROVED	DATE	SHEET	2 OF 20
	ASSISTANT CHIEF ENGINEER		CHIEF, RIGHT OF WAY		PROJECT NO.:	P588001
					DATE:	2/28/2024

SCHEMATIC DESIGN

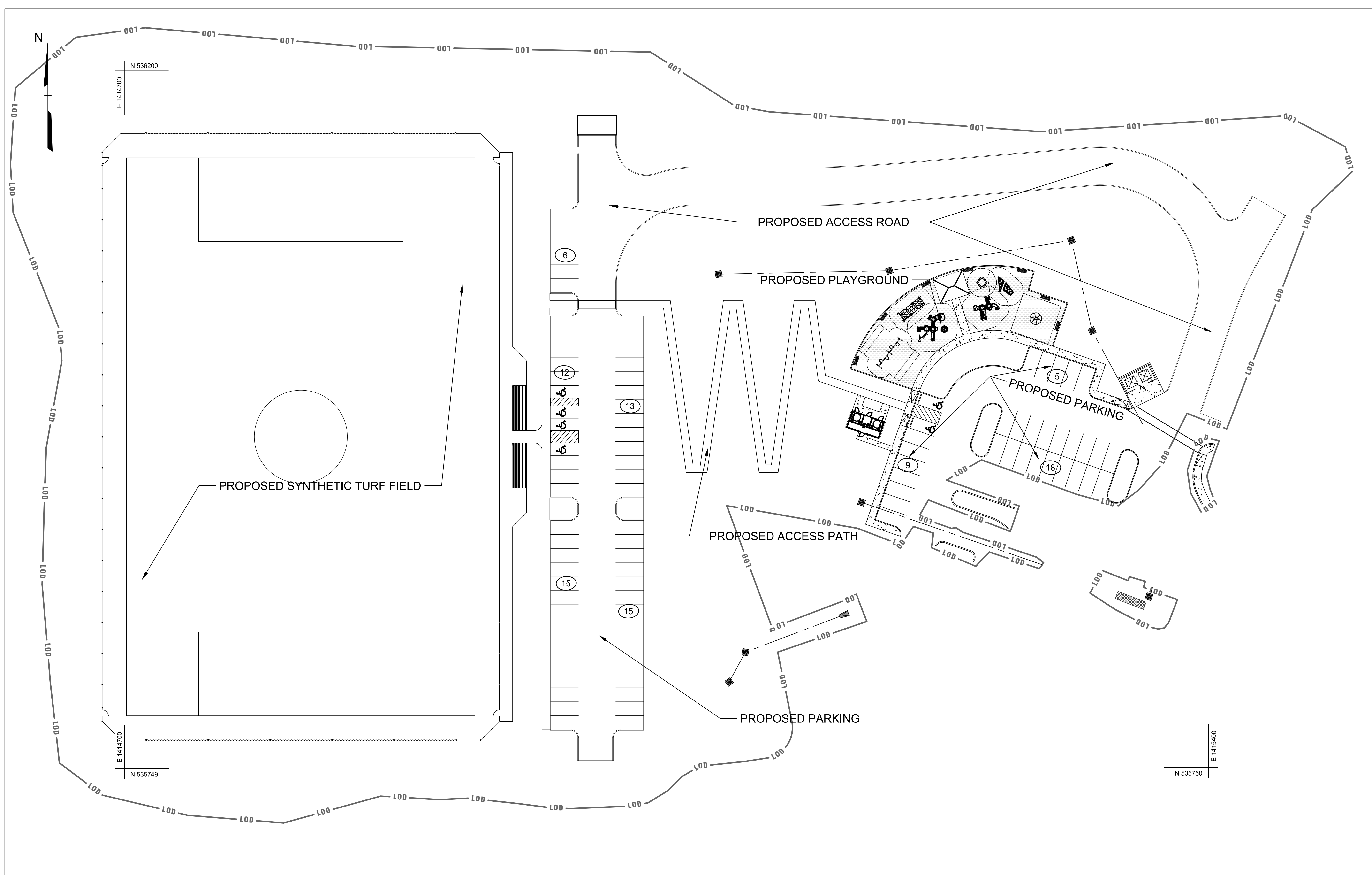
Overall Existing Conditions Plan

North Arundel Aquatic Center

2nd Tax District Anne Arundel Co., MD. Tax Map 15, Grid 11, Parcel 638

T:\2018\Facilities\181120019a.n.aquatic center\CADD\Drawings\1. Schematic Design\181120019a (BP-02) Overall Ex. Cond Planning Feb 21, 2024, 2:45pm kdarley

T:\2018\Facilities\181120019a.n.aquatic center\CAD\Drawings\1. Schematic Design\181120019a (SP-09) Overall Site Planning Feb 21, 2024 2:43pm kdarley

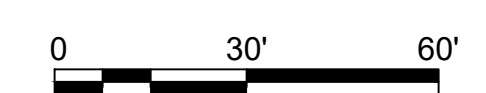


LEGEND

	Property Line
	Adjoiner / Lot Line
	Existing Edge of Road/Paving
	Soil Line
	Existing Chain Link Fence
	Existing Split Rail Fence
	Existing Trail
	Existing Tree Line
	Existing Building
	Proposed Paving

PLAN

SCALE: 1" = 60'



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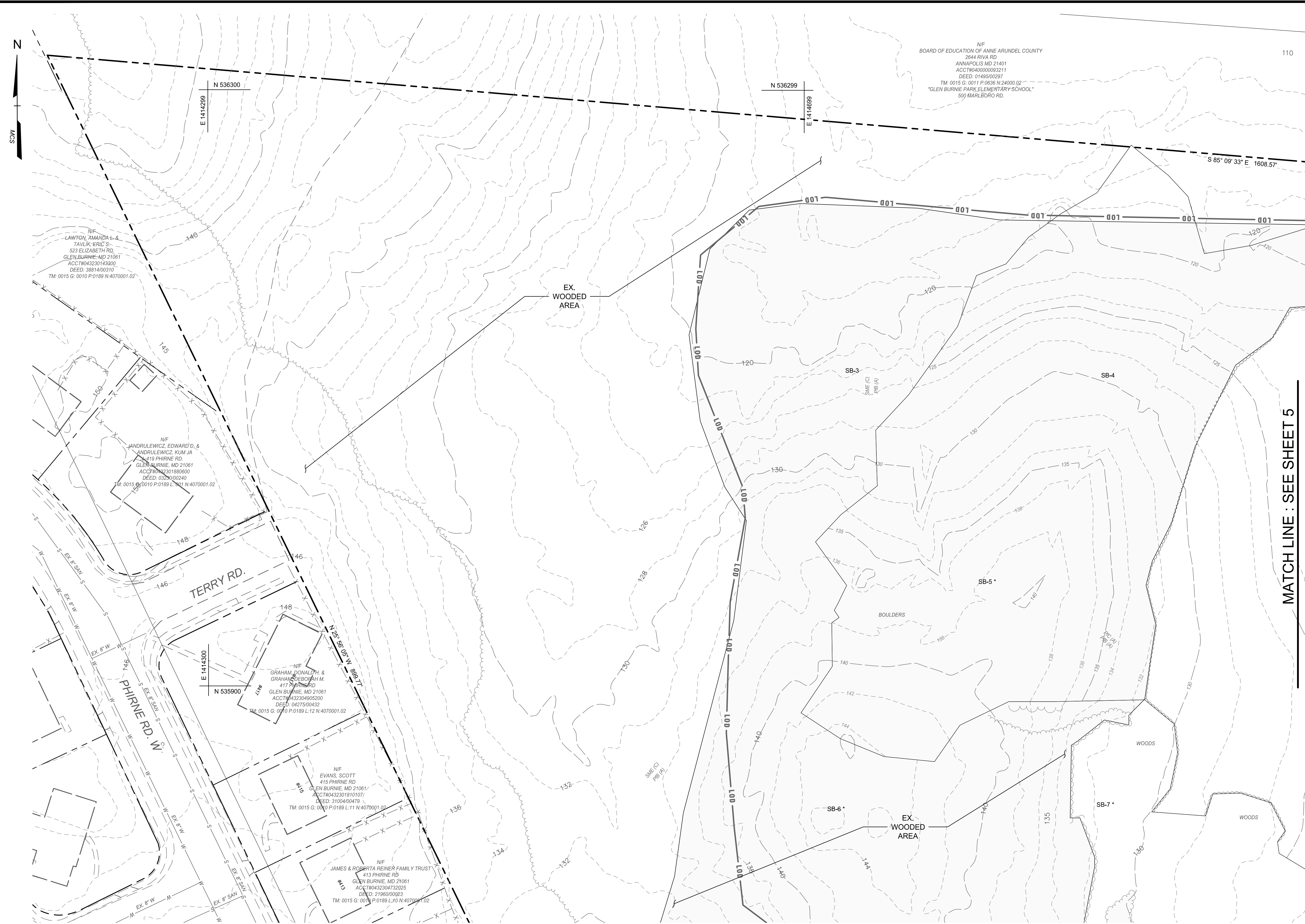
DATE: _____
 LICENSE NO. _____

ANNE ARUNDEL COUNTY DEPARTMENT OF PUBLIC WORKS		SCHEMATIC DESIGN	
REVISIONS	APPROVED	APPROVED	SCALE AS SHOWN
DATE	DATE	DATE	DRAWN BY LMV/VRT
BY	DATE	DATE	CHECKED BY MJP
	CHIEF ENGINEER	PROJECT MANAGER	SHEET 3 OF 20
	APPROVED	APPROVED	PROJECT NO.: P588001
	DATE	DATE	DATE: 2/28/2024
	ASSISTANT CHIEF ENGINEER	CHIEF, RIGHT OF WAY	2nd Tax District, Anne Arundel Co., MD.
			Tax Map 15, Grid 11, Parcel 638

Overall Site Plan
North Arundel Aquatic Center

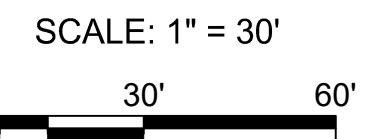
LEGEND

- Property Line
- Adjoinder / Lot Line
- Zoning Line
- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Road/Paving
- Existing Water
- Existing Overhead Electric Line
- Existing Utility Pole
- Existing Guy Pole / Guy Wire
- Existing Sign
- Existing Fence
- Existing Trail
- Existing Tree Line
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Building
- Limit of Disturbance
- Existing Impervious Areas to be Removed
- Limits of Clearing
- To Be Removed



MATCH LINE : SEE SHEET 5

PLAN

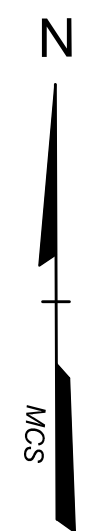


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 A Kleinfelder Company
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 www.centuryeng.com

DATE: _____
 LICENSE NO. _____

ANNE ARUNDEL COUNTY
 DEPARTMENT OF PUBLIC WORKS

REVISED DATE	BY	APPROVED	DATE	APPROVED	DATE	SCALE	AS SHOWN	SCHEMATIC DESIGN	
		CHIEF ENGINEER		PROJECT MANAGER		DRAWN BY	LMV/VRT	Existing Conditions & Demolition Plan	
		APPROVED		APPROVED		CHECKED BY	MJP	North Arundel Aquatic Center	
						SHEET	4 OF 20	2nd Tax District Anne Arundel Co., MD.	
		ASSISTANT CHIEF ENGINEER		CHIEF, RIGHT OF WAY		PROJECT NO.:	P588001	Tax Map 15, Grid 11, Parcel 638	
						DATE:	2/28/2024		



MATCH LINE : SEE SHEET 4

MATCH LINE : SEE SHEET 6

LEGEND

- Property Line
- Adjoiner / Lot Line
- Zoning Line
- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Road/Paving
- Existing Water
- Existing Overhead Electric Line
- Existing Utility Pole
- Existing Guy Pole / Guy Wire
- Existing Sign
- Existing Fence
- Existing Trail
- Existing Tree Line
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Building
- Limit of Disturbance
- Existing Impervious Areas to be Removed
- Limits of Clearing
- To Be Removed

N/F
ANNE ARUNDEL COUNTY
2662 RIVA RD., ANNAPOLIS MD 21401-7305
TM: 0015 G: 0011 P: 0638 N: 24000.02
ACCT.#0400090041273 DEED: 09465/00358
7888 S CRAIN HWY GLEN BURNIE 21061-0000
30.8200 AC

N/F
VANMETER, ABRAHAM L.
7910 BUFORD RD.
GLEN BURNIE, MD 21061
ACCT#0400000998027
DEED: 08296/00181
TM: 0015 G: 0011 P: 1047 N: 4070002.02

N/F
LOHMAN, FLORENCE &
LOHMAN, H.M.
7892 CRAIN HWY S
GLEN BURNIE, MD 21061
ACCT#0400003380100
DEED: 0214800418
TM: 0015 G: 0011 P: 1081 N: 4070002.02

PLAN

SCALE: 1" = 30'

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10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

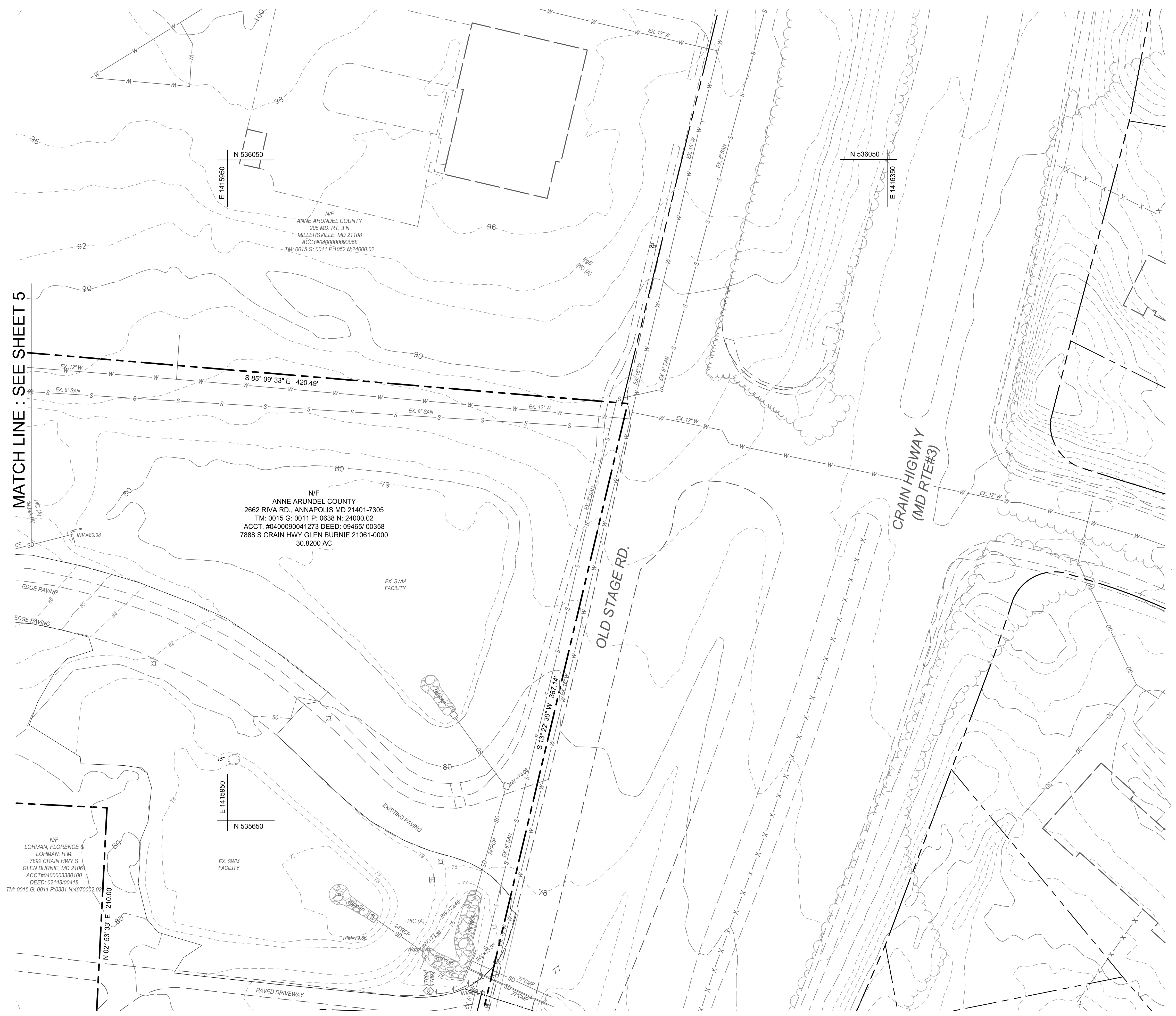
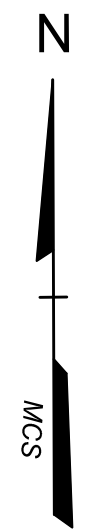
DATE: _____
LICENSE NO. _____

ANNE ARUNDEL COUNTY
DEPARTMENT OF PUBLIC WORKS

REVISED DATE	BY	APPROVED	DATE	APPROVED	DATE	SCALE AS SHOWN	SCHEMATIC DESIGN Existing Conditions & Demolition Plan
		CHIEF ENGINEER		PROJECT MANAGER		DRAWN BY LMV/RDT	
		APPROVED	DATE	APPROVED	DATE	CHECKED BY MJP	
		ASSISTANT CHIEF ENGINEER		CHIEF, RIGHT OF WAY		SHEET 5 OF 20	
						PROJECT NO.: P588001	North Arundel Aquatic Center
						DATE: 2/28/2024	

2nd Tax District
Anne Arundel Co., MD. Tax Map 15, Grid 11, Parcel 638

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MATCH LINE : SEE SHEET 5

LEGEND

- Property Line
- Adjoiner / Lot Line
- Zoning Line
- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Road/Paving
- Existing Water
- Existing Overhead Electric Line
- Existing Utility Pole
- Existing Guy Pole / Guy Wire
- Existing Sign
- Existing Fence
- Existing Trail
- Existing Tree Line
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Building
- Limit of Disturbance
- Existing Impervious Areas to be Removed
- Limits of Clearing
- To Be Removed

PLAN
SCALE: 1" = 30'

N/F
LOHMAN, FLORENCE &
LOHMAN, H.M.
7892 CRAIN HWY S
GLEN BURNIE, MD 21061
ACCT#0400003380100
DEED: 0214800418
TM: 0015 G: 0011 P: 0381 N: 4070002.02

N/F
ANNE ARUNDEL COUNTY
2662 RIVA RD., ANNAPOLIS MD 21401-7305
TM: 0015 G: 0011 P: 0838 N: 24000.02
ACCT. #0400090041273 DEED: 09465/ 00358
7888 S CRAIN HWY GLEN BURNIE 21061-0000
30.8200 AC

N/F
ANNE ARUNDEL COUNTY
205 MD. RT. 3 N
MILLERSVILLE, MD 21108
ACCT#040000093068
TM: 0015 G: 0011 P: 1052 N: 24000.02

CENTURY ENGINEERING
A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

DATE: _____
LICENSE NO. _____

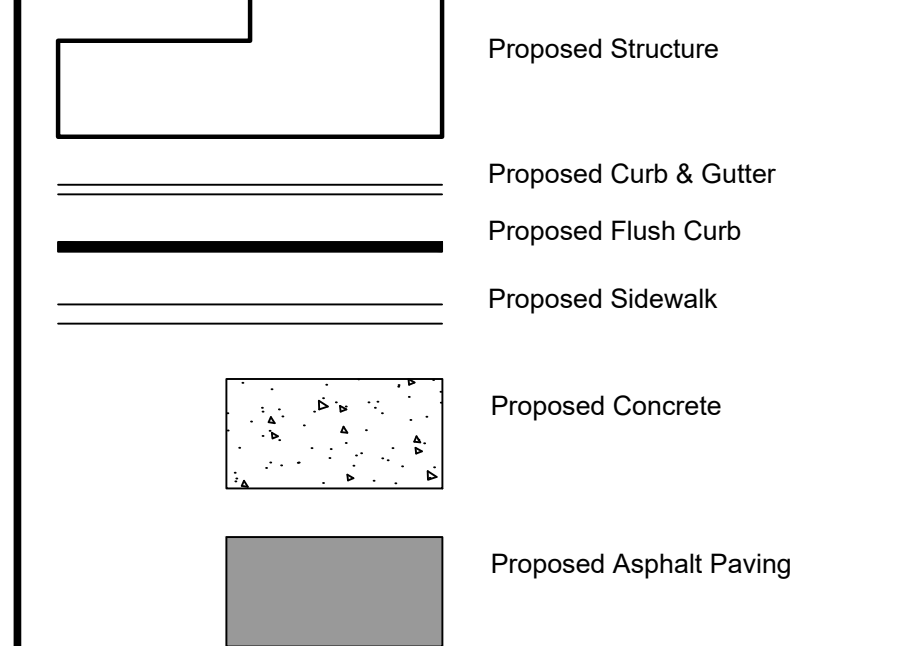
REVISED		APPROVED		APPROVED		SCALE AS SHOWN		SCHEMATIC DESIGN	
DATE	BY	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE
		CHIEF ENGINEER		PROJECT MANAGER		DRAWN BY LMV/RDT		CHECKED BY MJP	Existing Conditions & Demolition Plan
		APPROVED	DATE	APPROVED	DATE			SHEET 6 OF 20	North Arundel Aquatic Center
		ASSISTANT CHIEF ENGINEER		CHIEF, RIGHT OF WAY				PROJECT NO.: P588001	
								DATE: 2/28/2024	2nd Tax District Anne Arundel Co., MD.

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- LEGEND**
- Property Line
 - - - Adjoiner / Lot Line
 - Zoning Line
 - - - Existing Minor Contour
 - - - Existing Major Contour
 - - - Existing Edge of Road/Paving
 - W EX. 12" W Existing Water
 - OHE Existing Overhead Electric Line
 - Existing Utility Pole
 - Existing Guy Pole / Guy Wire
 - Existing Sign
 - x - x - Existing Fence
 - Existing Trail
 - Existing Tree Line
 - Existing Deciduous Tree
 - Existing Evergreen Tree
 - Existing Building
 - LOD Limit of Disturbance
 - - - Proposed Major Contour
 - - - Proposed Minor Contour
 - Prop. Fire Hydrant
 - Prop. Sewer Connection
 - Prop. Water Connection
 - Storm Drain Inlet
 - Storm Drain Outfall
 - Prop. Pole
 - Telecom. Manhole
 - Handicap Parking Spot



PLAN

SCALE: 1" = 30'

CENTURY ENGINEERING
 A Kleinfelder Company
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 www.centuryeng.com

DATE: _____
 LICENSE NO. _____

REVISED		APPROVED		APPROVED		SCALE AS SHOWN	
DATE	BY	DATE	DATE	DATE	DATE	SCALE	AS SHOWN

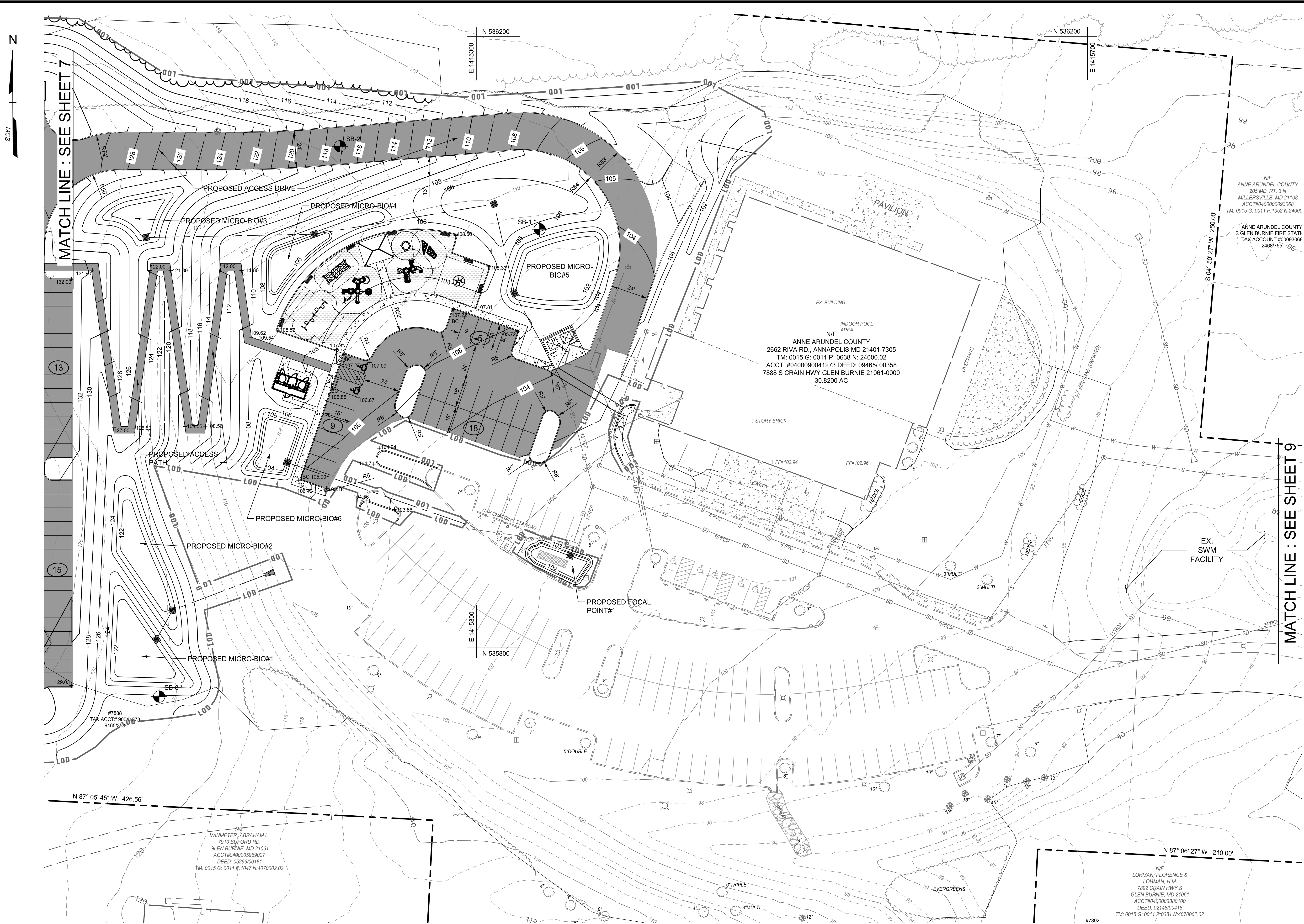
**ANNE ARUNDEL COUNTY
 DEPARTMENT OF PUBLIC WORKS**

**Site, Grading, & Concept
 Stormwater Management Plan
 North Arundel Aquatic Center**

PROJECT NO.: P588001
 SHEET 7 OF 20
 DATE: 2/28/2024

2nd Tax District Anne Arundel Co., MD. Tax Map 15, Grid 11, Parcel 638

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LEGEND

- Property Line
- Adjoiner / Lot Line
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- Existing Minor Contour
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- Proposed Minor Contour
- Prop. Fire Hydrant
- Prop. Sewer Connection
- Prop. Water Connection
- Storm Drain Inlet
- Storm Drain Outfall
- Prop. Pole
- Telecom. Manhole
- Handicap Parking Spot
- Proposed Structure
- Proposed Curb & Gutter
- Proposed Flush Curb
- Proposed Sidewalk
- Proposed Concrete
- Proposed Asphalt Paving

MATCH LINE : SEE SHEET 7

MATCH LINE : SEE SHEET 9

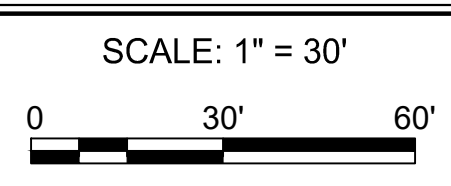
N/F
ANNE ARUNDEL COUNTY
205 MD. RT. 3 N
MILLERSVILLE, MD 21108
ACCT#040000093068
TM: 0015 G: 0011 P: 1052 N: 24000.02

N/F
ANNE ARUNDEL COUNTY
2662 RIVA RD., ANNAPOLIS MD 21401-7305
TM: 0015 G: 0011 P: 0638 N: 24000.02
ACCT: #0400090041273 DEED: 09465/00358
7886 S CRAIN HWY GLEN BURNIE 21061-0000
30.8200 AC

N/F
VANMETER, ABRAHAM L.
7910 BUFORD RD.
GLEN BURNIE, MD 21061
ACCT#040000099027
DEED: 08296/00181
TM: 0015 G: 0011 P: 1047 N: 4070002.02

N/F
LOHMAN, FLORENCE &
LOHMAN, H.M.
7892 CRAIN HWY S
GLEN BURNIE, MD 21061
ACCT#0400003380100
DEED: 02148004118
TM: 0015 G: 0011 P: 1081 N: 4070002.02

PLAN



CENTURY ENGINEERING
A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

DATE: _____
LICENSE NO. _____

REVISED		APPROVED		DATE	APPROVED	DATE	SCALE	AS SHOWN
DATE	BY	DATE	DATE		DATE			
		CHIEF ENGINEER			PROJECT MANAGER		CHECKED BY	MJP
		APPROVED			APPROVED		SHEET	8 OF 20
		ASSISTANT CHIEF ENGINEER			CHIEF, RIGHT OF WAY		PROJECT NO.:	P588001
							DATE:	2/28/2024

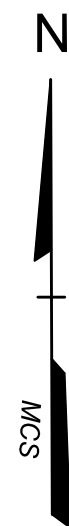
ANNE ARUNDEL COUNTY
DEPARTMENT OF PUBLIC WORKS

SCHEMATIC DESIGN

Site, Grading, & Concept
Stormwater Management Plan
North Arundel Aquatic Center

2nd Tax District
Anne Arundel Co., MD.

Tax Map 15, Grid 11, Parcel 638



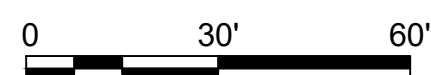
MATCH LINE : SEE SHEET 8

LEGEND

- Property Line
- Adjoinder / Lot Line
- Zoning Line
- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Road/Paving
- Existing Water
- Existing Overhead Electric Line
- Existing Utility Pole
- Existing Guy Pole / Guy Wire
- Existing Sign
- Existing Fence
- Existing Trail
- Existing Tree Line
- Existing Deciduous Tree
- Existing Evergreen Tree
- Existing Building
- Limit of Disturbance
- Proposed Major Contour
- Proposed Minor Contour
- Prop. Fire Hydrant
- Prop. Sewer Connection
- Prop. Water Connection
- Storm Drain Inlet
- Storm Drain Outfall
- Prop. Pole
- Telecom. Manhole
- Handicap Parking Spot
- Proposed Structure
- Proposed Curb & Gutter
- Proposed Flush Curb
- Proposed Sidewalk
- Proposed Concrete
- Proposed Asphalt Paving

PLAN

SCALE: 1" = 30'



10710 Gilroy Road, Hunt Valley, MD 21031
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DATE: _____

LICENSE NO. _____

ANNE ARUNDEL COUNTY
DEPARTMENT OF PUBLIC WORKS

REVISED DATE	BY	APPROVED	DATE

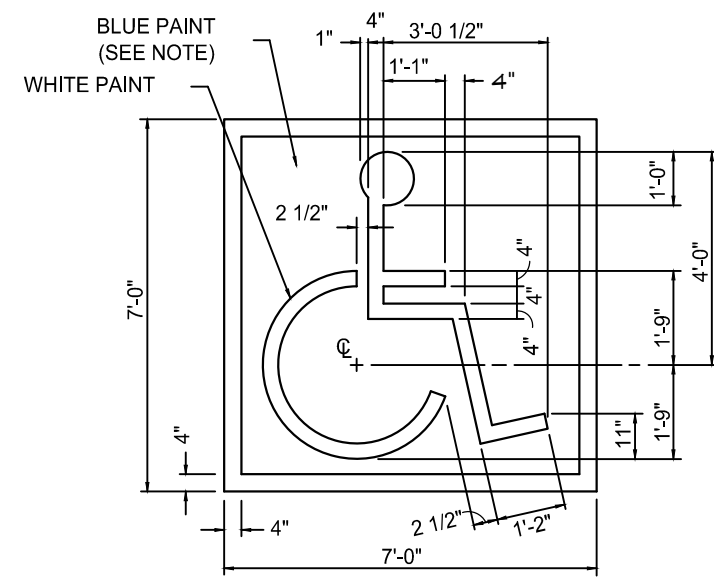
APPROVED	DATE	APPROVED	DATE

SCALE	AS SHOWN

SCHEMATIC DESIGN	
DRAWN BY	LMV/RDT
CHECKED BY	MJP
SHEET	9 OF 20
PROJECT NO.:	P588001
DATE:	2/28/2024

Site, Grading, & Concept
Stormwater Management Plan
North Arundel Aquatic Center

2nd Tax District Anne Arundel Co., MD. Tax Map 15, Grid 11, Parcel 638

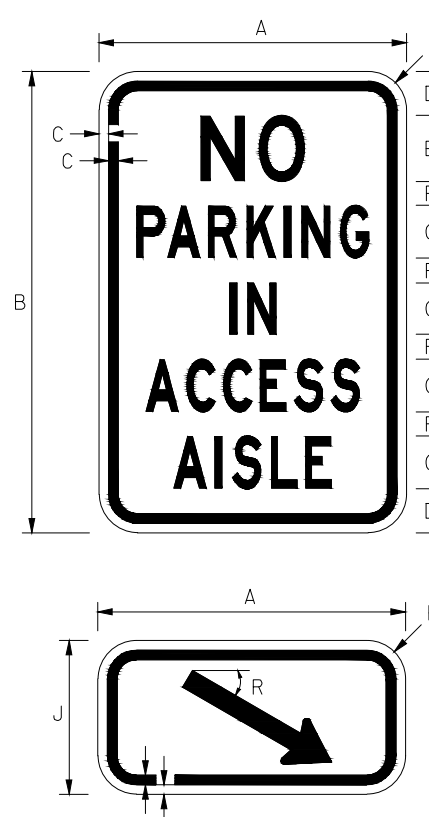


NOTE: SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL. SYMBOL IS REQUIRED TO CONTRAST WITH BACKGROUND WHITE ON BLUE (COLOR NO. 105090 IN FED. STANDARD 5952) DOUBLE COAT (TYP.)

PAINTED HANDICAP PARKING SYMBOL DETAIL*

NOT TO SCALE

*HANDICAP PARKING SPACES SHOWN AS FUTURE ON THIS PLAN SET



NOTE: ARROW PLATE IS OPTIONAL, MAY BE USED WHEN IT IS NECESSARY TO OFFSET SIGN LOCATION DUE TO ACCESS RAMP.

SIGN SIZE	DIMENSIONS (INCHES)								
	A	B	C	D	E	F	G	H	J
STANDARD	12	18	3/8	1-3/4	2-1/20	1	2C	1-1/2	6

SIGN SIZE	DIMENSIONS (INCHES)							
	K	L	M	N	P	Q	R	
STANDARD	6-1/2	1-5/8	1/8	1/8	3/4	9/64	30*	

REFERENCES

MdMUTCD SECTION - 2B.39, 2B.40, 2B.41, 5B.05, 7B.14

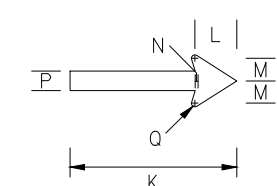
COLORS

LEGEND - RED
BACKGROUND - WHITE

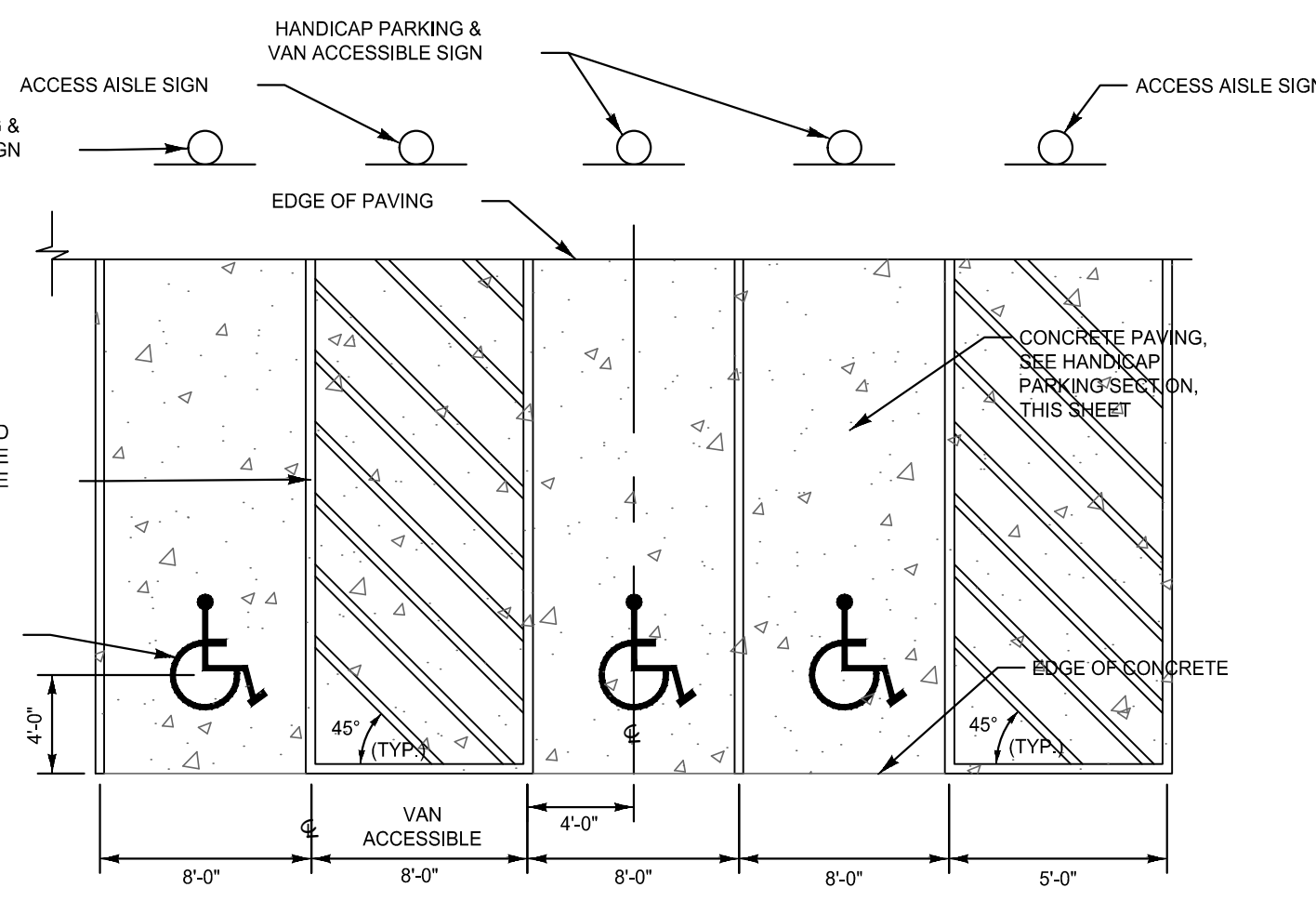
ACCESS AISLE SIGN DETAIL*

NOT TO SCALE

*HANDICAP PARKING SPACES SHOWN AS FUTURE ON THIS PLAN SET



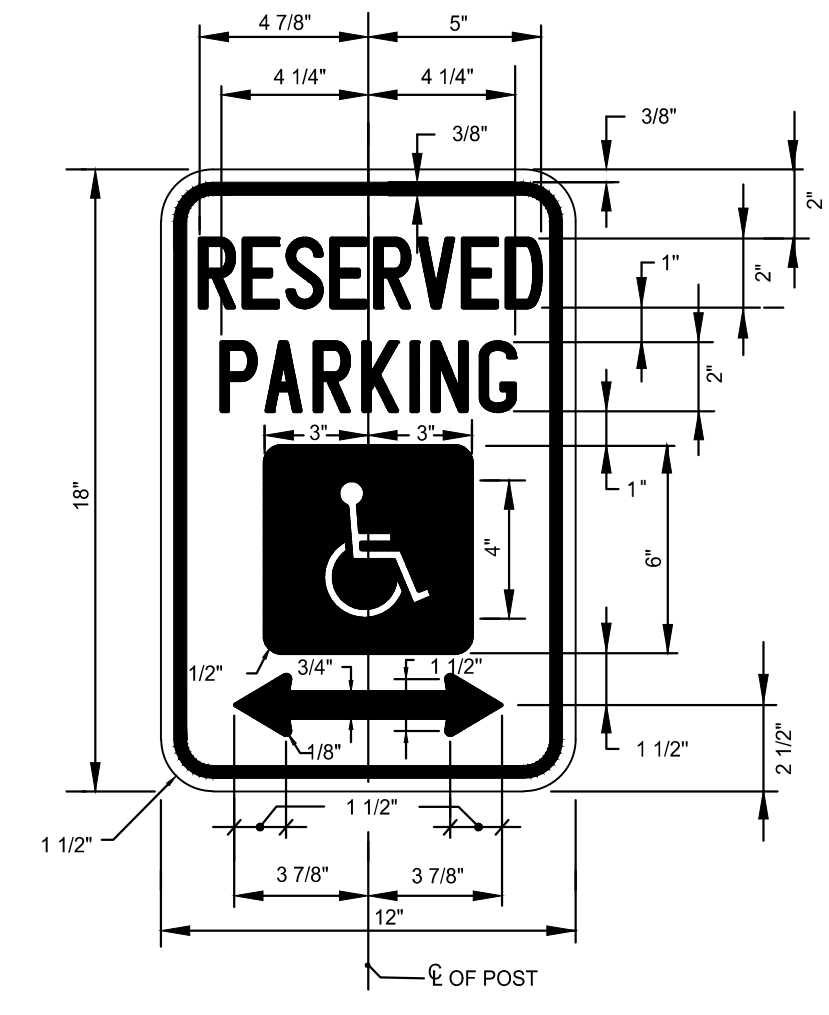
- STRIPING SHOULD END AT EDGE OF PAVING
- STRIPING MATERIAL AND METHODS OF CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LATEST MUTCD EDITION STDS. & SPECS.
- INSTALL "VAN ACCESSIBLE" SIGN BELOW HANDICAP SIGN ON POSTS WHERE NOTED ON PLAN.
- YELLOW PAINT MAY BE USED ON CONCRETE OR OTHER SURFACES WHERE WHITE PAINT DOES NOT PROVIDE SUFFICIENT CONTRAST. OWNER'S WRITTEN APPROVAL MUST BE OBTAINED.
- ALL DIMENSION, LAYOUT, BACKGROUND AND COLOR TO CONFORM TO MOST CURRENT ADA GUIDELINES.



HANDICAP PARKING STRIPING DETAIL*

NOT TO SCALE

*HANDICAP PARKING SPACES SHOWN AS FUTURE ON THIS PLAN SET

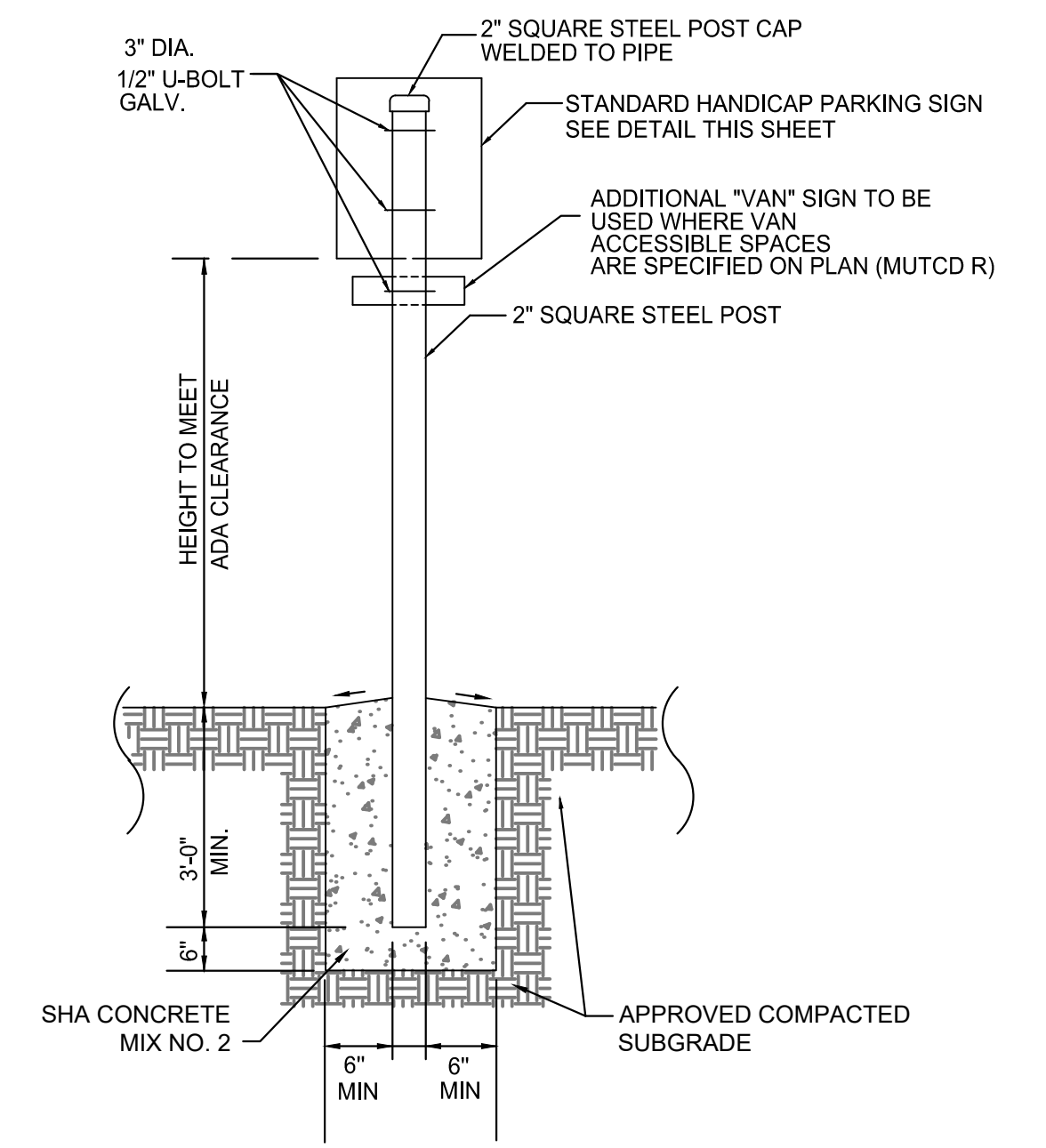


J. SECTION 4.6.4 SIGNAGE. EACH ACCESSIBLE PARKING SPACE SHALL BE IDENTIFIED BY AN APPROVED SIGN WITH THE BOTTOM EDGE AT LEAST 7 FEET ABOVE THE GROUND, UNLESS THE SIGN IS PLACED FLUSH AGAINST A BUILDING, STRUCTURE, OR OTHER LOCATION THAT DOES NOT OBSTRUCT VEHICLE OR PEDESTRIAN TRAFFIC. IN WHICH CASE THE SIGN SHALL BE AT LEAST 6 FEET AND NO MORE THAN 10 FEET ABOVE THE GROUND. SIGNS SHALL BEAR THE INTERNATIONAL SYMBOL OF ACCESS AND THE WORDS "RESERVED PARKING" AND SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (SEE REGULATION 07 FOR EXPLANATORY MATERIAL). SIGN R7-8. COLORS: BACKGROUND - WHITE; LEGEND AND BORDER - GREEN; WHITE SYMBOL ON BLUE BACKGROUND. NOTE: PROVIDE ADDITIONAL "VAN ACCESSIBLE" SIGNAGE (R7-8A) PER ADA REQUIREMENTS FOR SPACES SHOWN AS NOTED ON PLAN. FOR INFORMATION ON SIGN POST AND MOUNTING REFER TO DETAIL THIS SHEET.

HANDICAP PARKING SIGN DETAIL*

NOT TO SCALE

*HANDICAP PARKING SPACES SHOWN AS FUTURE ON THIS PLAN SET

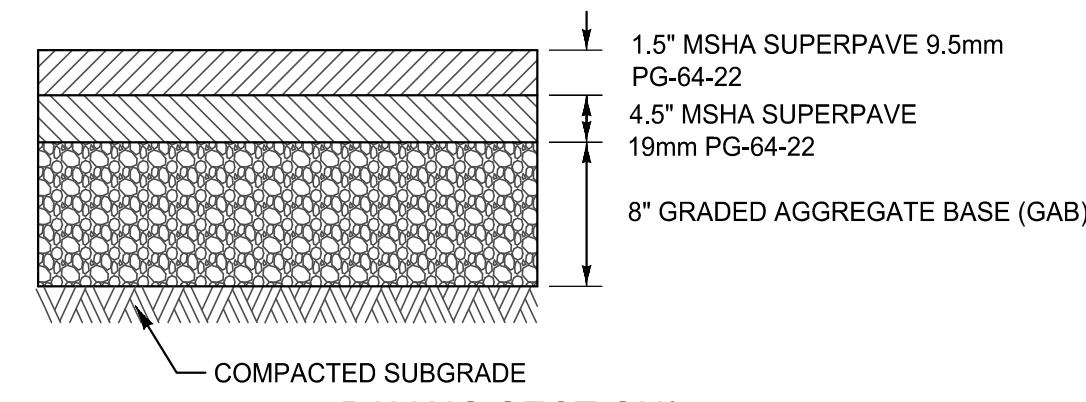


ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT ADA REGULATIONS.

HANDICAP SIGN MOUNTING DETAIL*

NOT TO SCALE

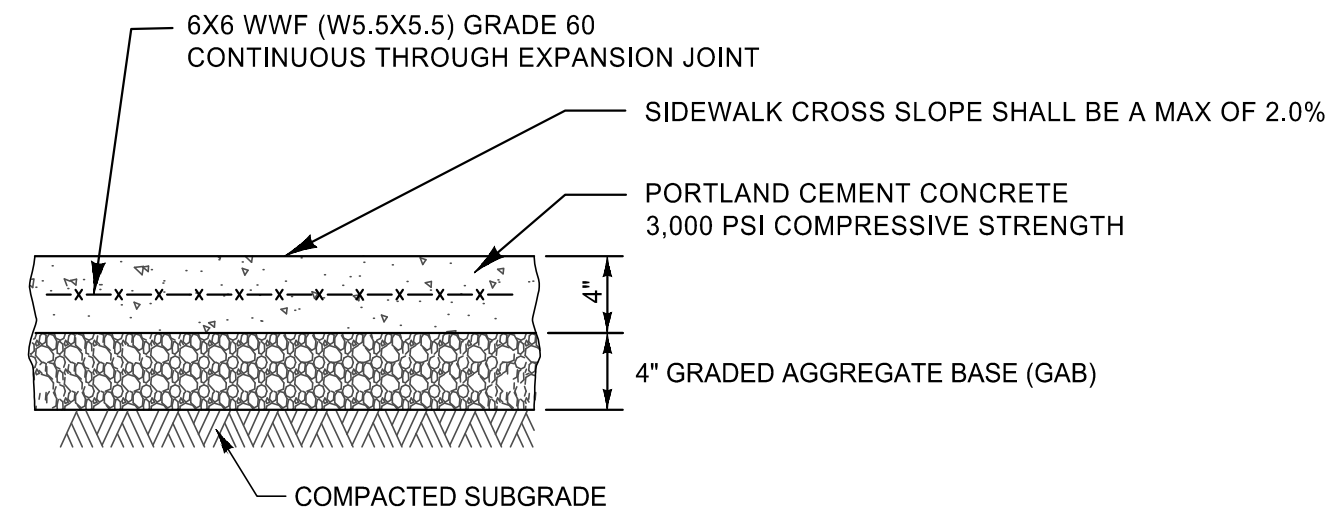
*HANDICAP PARKING SPACES SHOWN AS FUTURE ON THIS PLAN SET



PAVING SECTION*

NOT TO SCALE

* PRELIMINARY TO BE VERIFIED BY A GEO-TECHNICAL ENGINEER

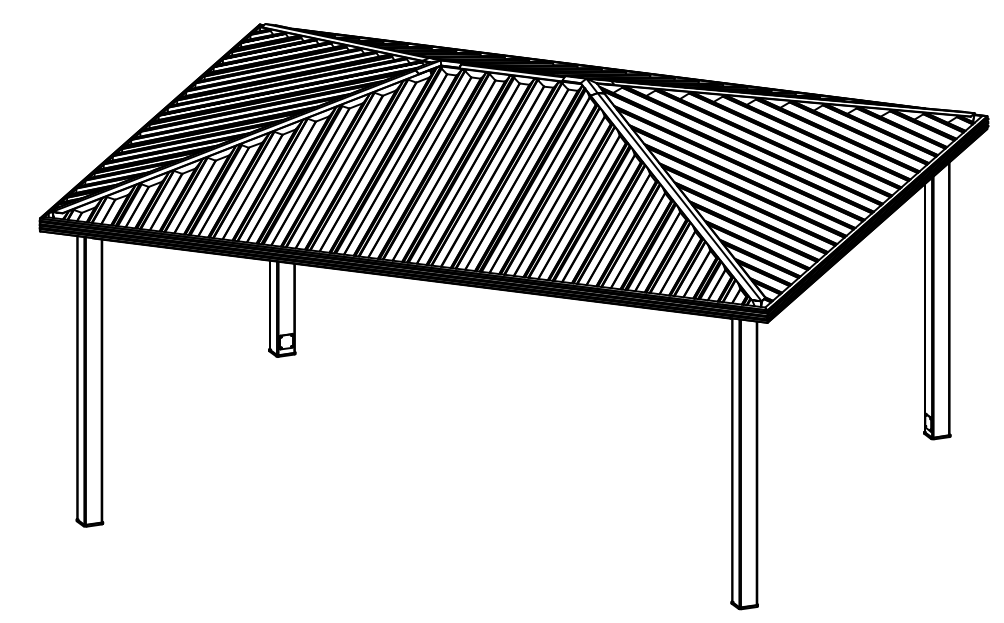


CONCRETE SIDEWALK SECTION*

NOT TO SCALE

GENERAL NOTES

- SHELTER DESIGN**
THIS SHELTER HAS BEEN DESIGNED AS AN OPEN STRUCTURE. THE ADDITION OF ANY ENCLOSURE SUCH AS WALLS, INSECT MESH, OR SHADE SCREENS SHALL BE PROVIDED AS INDICATED AND APPROVED BY DESIGN.
- FOUNDATION**
A. THE FOUNDATION SHALL REST ON SOUND SOIL THAT IS FREE OF ORGANIC AND BELIEFERIOUS MATERIALS AND CAPABLE OF SUPPORTING 200 PSF VERTICAL BEARING PRESSURE AND 100 PSF LATERAL BEARING PRESSURE.
B. FOUNDATION DESIGN SHOWN IS BASED ON THE FOUNDATION PRESUPPOSITIVE SOIL CONDITIONS AT EACH JOB SITE AND ANY REQUIRED ADJUSTMENTS TO THE FOUNDATION DESIGN SHALL BE DETERMINED BY OTHERS.
- CONCRETE**
A. COMPRESSION STRENGTH OF ALL REINFORCED CONCRETE SHALL NOT BE LESS THAN 3000 PSI AT 28 DAYS.
B. REINFORCING BARS SHALL BE DETONED BARS CONFORMING TO THE REQUIREMENTS OF MINIMUM ASTM A638 GRADE 40 FOR #4 AND SMALLER BARS AND GRADE 60 FOR BARS LARGER THAN #4.
C. MINIMUM CONCRETE COVER FOR REINFORCING BARS SHALL BE 3 UNLESS NOTED OTHERWISE.
D. ANCHOR BOLTS SHALL BE ASTM F1554 GRADE 36 MINIMUM GALVANIZED ROD, HEADED OR WITH HEAVY HEX NUT TACKED TO ROD.
- STRUCTURAL STEEL**
A. STEEL PLATE SHALL CONFORM TO THE REQUIREMENTS OF ASTM A572.
B. HOLLOW STRUCTURAL SECTIONS (HSS) SHALL CONFORM TO THE REQUIREMENTS OF ASTM A500, GRADE B OR C.
C. WELDING SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN WELDING SOCIETY'S SPECIFICATIONS FOR THE MATERIAL BEING WELDED.
D. WELDING ELECTRODES SHALL BE E70XX.
E. STRUCTURAL STEEL COMPONENTS SHALL BE COATED WITH ANTI-GRAFFITI POLYESTER TIG: POWDER COAT FINISH MEETING ANMA 2004-R2 SPECIFICATION.
- ALUMINUM**
A. EXTRUDED ALUMINUM RIDGE CAP SHALL BE FABRICATED FROM ALUMINUM ALLOY 6061-T6 AND SHALL CONFORM TO THE REQUIREMENTS SHOWN ON THE DRAWING.
B. EXTRUDED ALUMINUM GUTTER FASCIA SHALL BE FABRICATED FROM ALUMINUM ALLOY 6061-T6 AND SHALL CONFORM TO THE REQUIREMENTS SHOWN ON THE DRAWING.
C. ALUMINUM COMPONENTS SHALL BE COATED WITH ANTI-GRAFFITI POLYESTER POWDER COAT FINISH MEETING ANMA 2004-R2 SPECIFICATION.
- ROOF DECK**
A. INTERLOCKING SEAL ALUMINUM ROOF DECK SHALL BE ROLL FORMED FROM ALUMINUM ALLOY 3004-H14 AND SHALL CONFORM TO THE DECK PROFILE SHOWN ON THE DRAWING.
B. ROOF DECK SHALL BE COATED WITH HEAT REFLECTIVE BASS ULTRA-COOL COATING OR APPROVED EQUAL.
- FASTENERS**
A. HIGH STRENGTH BOLTS SHALL CONFORM TO ASTM A325 OR A307 (SEE DETAILS).
B. SCREWS ATTACHED TO STEEL SHALL BE 1/2-24 HEX WASHER HEAD AS POINT SELF DRILLING SCREWS WITH BRND SEAL WASHER.
C. SCREWS ATTACHING TO ALUMINUM SHALL BE 8-18 HEX WASHER HEAD R2 POINT SELF DRILLING SCREWS.
D. HIGH STRENGTH BOLTS SHALL BE HOT DIP GALVANIZED. ALL SCREWS SHALL BE STAINLESS STEEL OR COATED WITH ZINC.
E. ALL BOLTS SHALL BE TIGHTENED TO A SNUG-TIGHT CONDITION AS DEFINED IN THE 2004 REVISION CODED ON STRUCTURAL CONNECTING WOOD SPECIFICATION FOR STRUCTURAL JOINTS USING A325 OR A307 BOLTS.
F. FIELD WELDING SHALL NOT BE REQUIRED.
- SHEP FABRICATION AND FIELD ASSEMBLY**
A. ALL STRUCTURAL STEEL AND ALUMINUM COMPONENTS SHALL BE SHEP FABRICATED SO THAT FIELD ASSEMBLY OF CONNECTIONS CAN BE PERFORMED USING ONLY BOLLING AND SCREW PLACEMENT.
B. ALL SHEP WELDING TO BE PERFORMED BY AWS CERTIFIED WELDERS.
C. ALL SHEP WELDS SHALL BE IN STRICT ACCORDANCE WITH THE STRUCTURAL WELDING CODE AND ALL OF THE AMERICAN WELDING SOCIETY SPECIFICATIONS. ALL STRUCTURAL WELDS SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF PRE-SHAFTED WELDED JOINTS. ALL WELDS SHALL CONFORM TO AWS A5.1-1 EXTRA-SERIES EPOXY ELECTRODES - LOW HYDROGEN.
D. FIELD WELDING SHALL NOT BE REQUIRED.
- SPECIAL INSPECTIONS**
A. SPECIAL INSPECTIONS IF ANY REQUIRED BY THE LOCALLY ADOPTED BUILDING CODES, ARE NOT INCLUDED IN THIS WORK AND SHALL BE DONE BY OTHERS.



PLAYGROUND SHADE PAVILION

NOT TO SCALE

AMERICANA OUTDOORS 2 INDUSTRIAL DR, SALEM, IL 62881 (609)551-8865 - www.americana.com	
TITLE:	16'x20' NAVAJO SHELTER
SIZE:	DWG. NO.
SCALE:	1:1
WEIGHT:	
SHEET:	1 OF 1
REV:	

LENGTH OPTIONS

- 6' BENCH
- 8' BENCH

WOOD OPTIONS

- C' & BTR. DOUGLAS FIR KD S4S EE
- IPE S4S EE
- OTHER

NOTES

- ALL STL. MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING.
- ALL WOOD MEMBERS TREATED W/ CLEAR PRESERVATIVE.
- 1/2" X 3 3/4" EXPANSION ANCHOR BOLTS PROVIDED FOR S-2, S-3 & S-4 OPTIONS.

SCALE: NONE

TITLE: BENCH

DATE DRAWN: 3/22/24

DRAWN BY: AH

DATE REV.: 10/28/11

REV. BY: ESS

REV. NUMBER: G

DRAWING NUMBER: 34 SERIES

SHEET: 1 OF 2

DuMor, inc.
P.O. Box 142 Hiffniltown, PA 17059-0142

PLAYGROUND BENCHES

NOT TO SCALE

T:\2018\facilities\18112001\18112001.dwg (18112001.dwg) Site Details.dwg Feb 24, 2024 2:45pm kdarley

A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

DATE: _____

LICENSE NO. _____

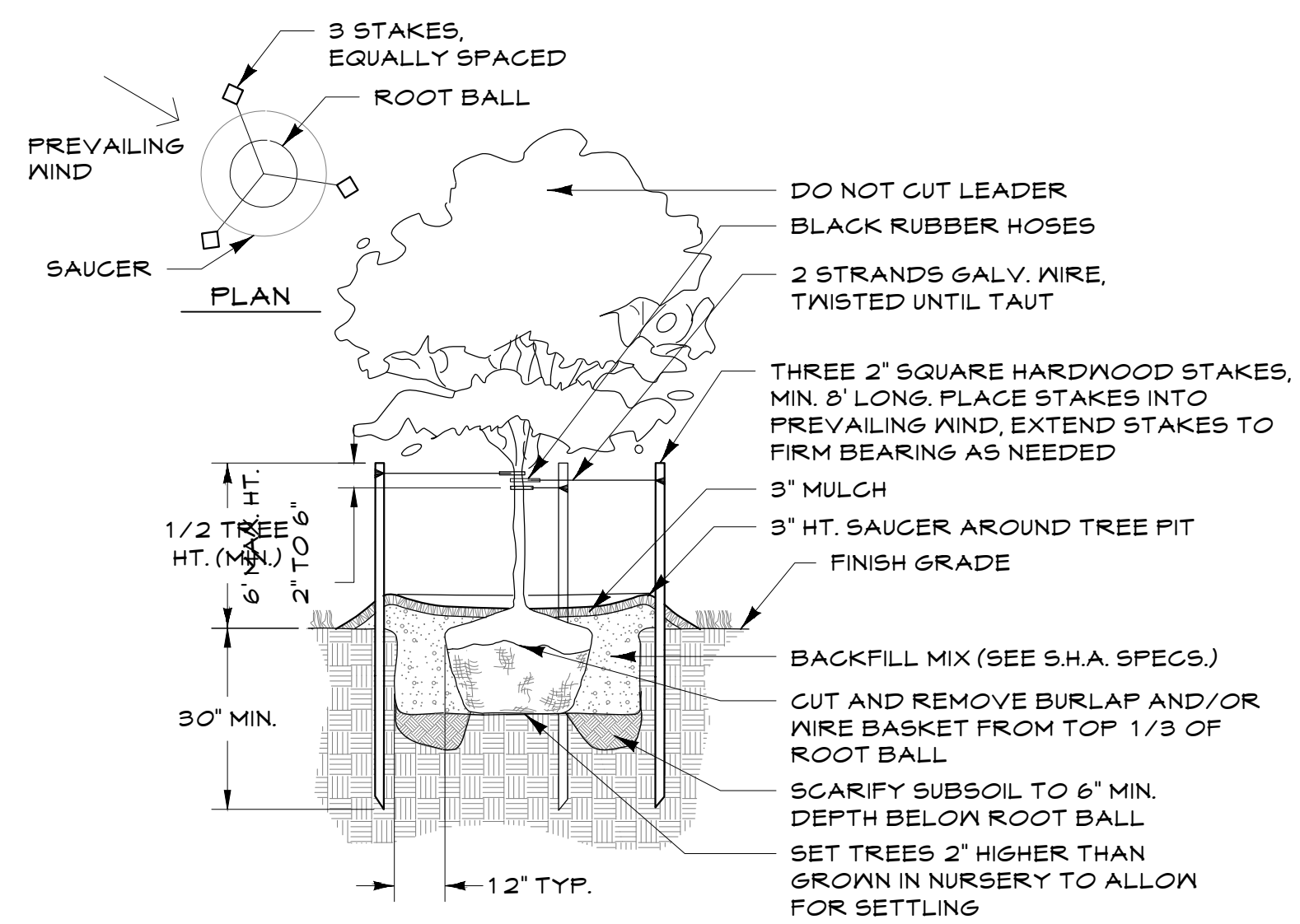
ANNE ARUNDEL COUNTY
DEPARTMENT OF PUBLIC WORKS

REVISED DATE BY	APPROVED DATE	APPROVED DATE	SCALE AS SHOWN	SCHEMATIC DESIGN
			DRAWN BY: LMV/RDT	
	CHIEF ENGINEER	PROJECT MANAGER	CHECKED BY: MJP	Site Details
	APPROVED DATE	APPROVED DATE	SHEET 10 OF 20	
	ASSISTANT CHIEF ENGINEER	CHIEF, RIGHT OF WAY	PROJECT NO.: P588001	

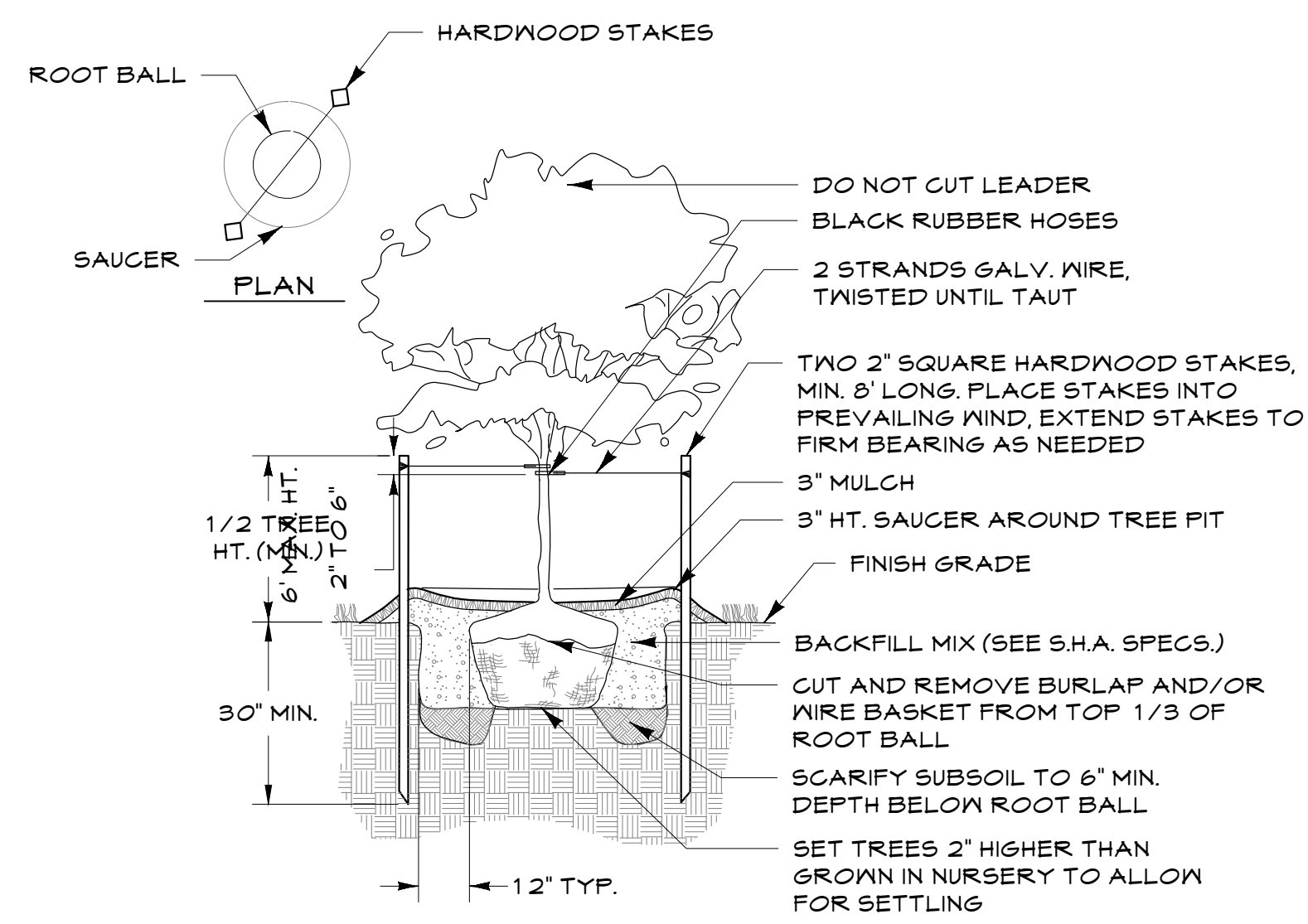
DATE: 2/28/2024

2nd Tax District
Anne Arundel Co., MD.

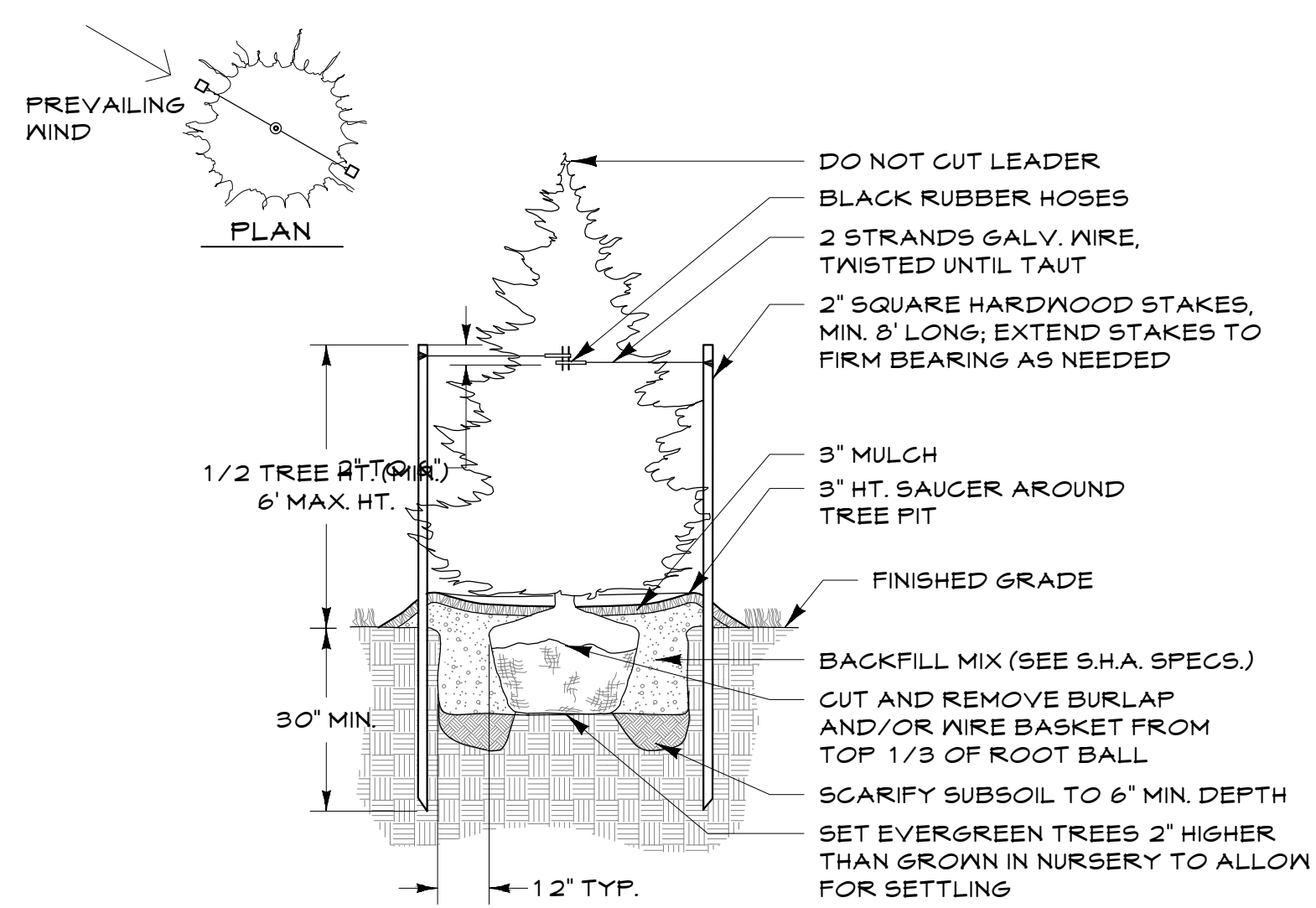
Tax Map 15, Grid 11, Parcel 638



DECIDUOUS TREE PLANTING
NOT TO SCALE



FLOWERING TREE PLANTING
NOT TO SCALE

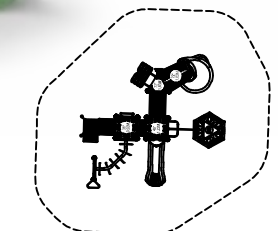


EVERGREEN TREE PLANTING
NOT TO SCALE



NOTE: COLOR OPTIONS AVAILABLE

SYMBOL ON PLAN:

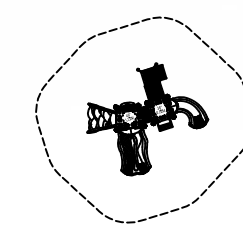


PLAYWORLD CHALLENGERS 350-2074 (AGES 5-12)



NOTE: COLOR OPTIONS AVAILABLE

SYMBOL ON PLAN:

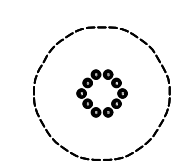


PLAYWORLD CHALLENGERS 350-1811 (AGES 2-5)

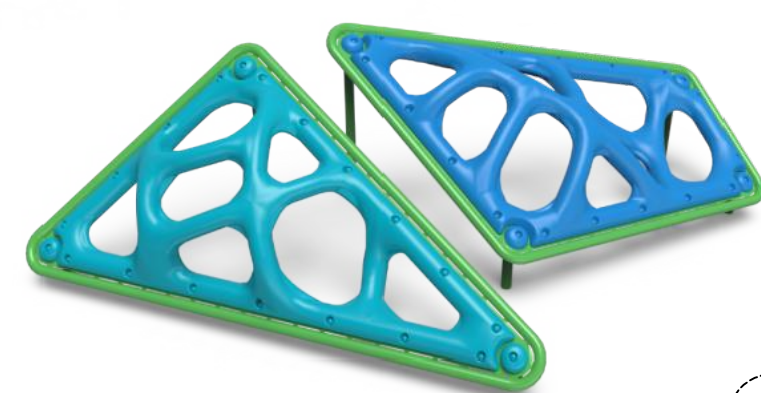


NOTE: COLOR OPTIONS AVAILABLE

SYMBOL ON PLAN:

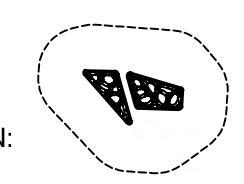


PLAYWORLD BUTTON LOOP (AGES 2-12)



NOTE: COLOR OPTIONS AVAILABLE

SYMBOL ON PLAN:

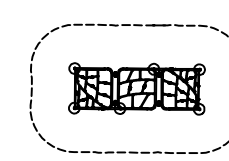


PLAYWORLD MOD PODS CLIMBER (AGES 2-5)

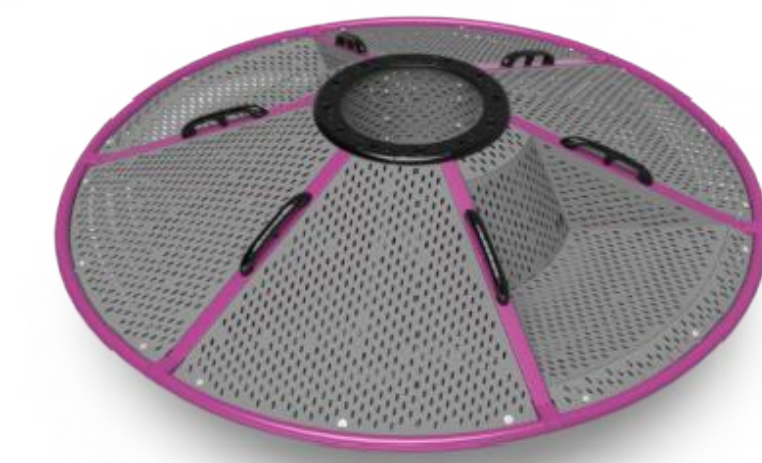


NOTE: COLOR OPTIONS AVAILABLE

SYMBOL ON PLAN:

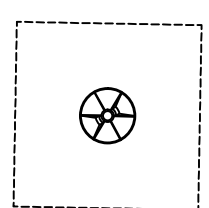


PLAYWORLD SIERRA SUMMIT CLIMBER (AGES 5-12)



NOTE: COLOR OPTIONS AVAILABLE

SYMBOL ON PLAN:



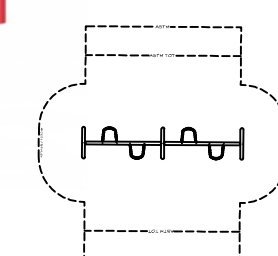
PLAYWORLD UNITY SPINR (AGES 5-12)



NOTE: COLOR OPTIONS AVAILABLE

- ADDITIONAL SEAT OPTIONS:
- TODDLER BUCKET SEAT
 - ACCESSIBLE SWING SEAT
 - PLAYWORLD "SWING ALONG" SEAT

SYMBOL ON PLAN:



PLAYWORLD ARCH SWINGS (AGES 2-12)

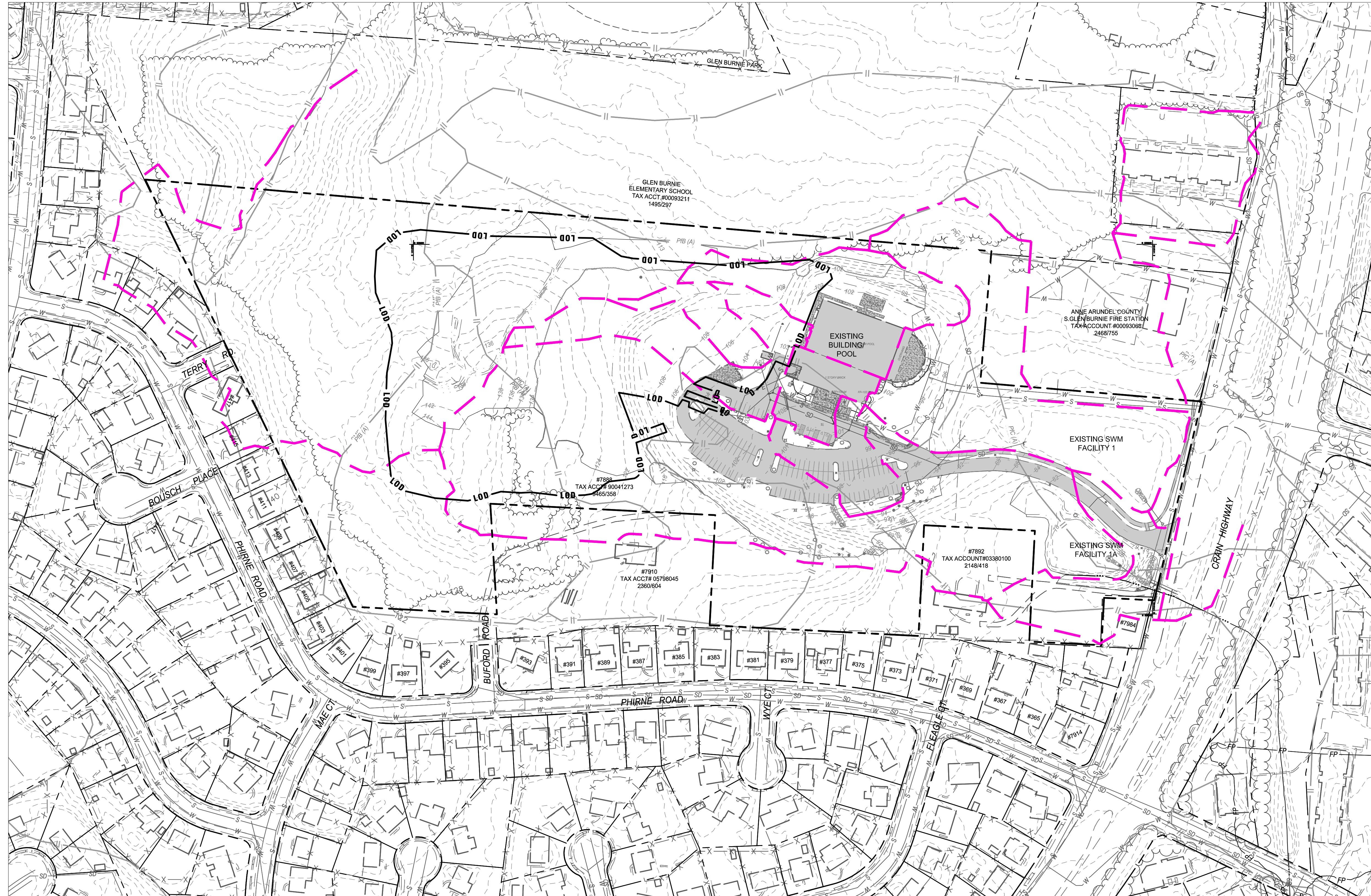
CENTURY ENGINEERING
A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

DATE: _____

LICENSE NO. _____

ANNE ARUNDEL COUNTY DEPARTMENT OF PUBLIC WORKS			
REVISED DATE	BY	APPROVED DATE	DATE
		CHIEF ENGINEER	PROJECT MANAGER
		APPROVED DATE	DATE
		ASSISTANT CHIEF ENGINEER	CHIEF, RIGHT OF WAY
SCALE AS SHOWN	CHECKED BY	SHEET 11 OF 20	
	MJP	PROJECT NO.: P588001	
		DATE: 2/28/2024	
SCHEMATIC DESIGN		Site Details	
		North Arundel Aquatic Center	
		2nd Tax District Anne Arundel Co., MD. Tax Map 15, Grid 11, Parcel 638	

T:\2018\Facilities\1811200198.n.aquatic center\CADD\Drawings\1. Schematic Design\1811200198A (SP-11) Site Details.dwg Feb 29, 2024 2:45pm kdarley



PLAN

SCALE: 1" = 100'

SOIL CHART				
KEY	NAME	SLOPE	HYDROLOGIC GROUP	HYDRIC SOIL
PtB	Patapsco-Fort Mott complex	0-5%	A	No
PtC	Patapsco-Fort Mott complex	5-10%	A	No
PtB	Patapsco-Fort Mott complex	0-5%	A	No
WdaA	Woodstown sandy loam	0-2%	C	No

CENTURY ENGINEERING
 A Kleinfelder Company
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 www.centuryeng.com

DATE: _____
 LICENSE NO. _____

REVISED		APPROVED		DATE		APPROVED		DATE		SCALE AS SHOWN	
DATE	BY										

**ANNE ARUNDEL COUNTY
 DEPARTMENT OF PUBLIC WORKS**

SCHEMATIC DESIGN
**Stormwater Management Existing
 Conditions Drainage Area Map**
North Arundel Aquatic Center
 2nd Tax District Anne Arundel Co., MD. Tax Map 15, Grid 11, Parcel 638

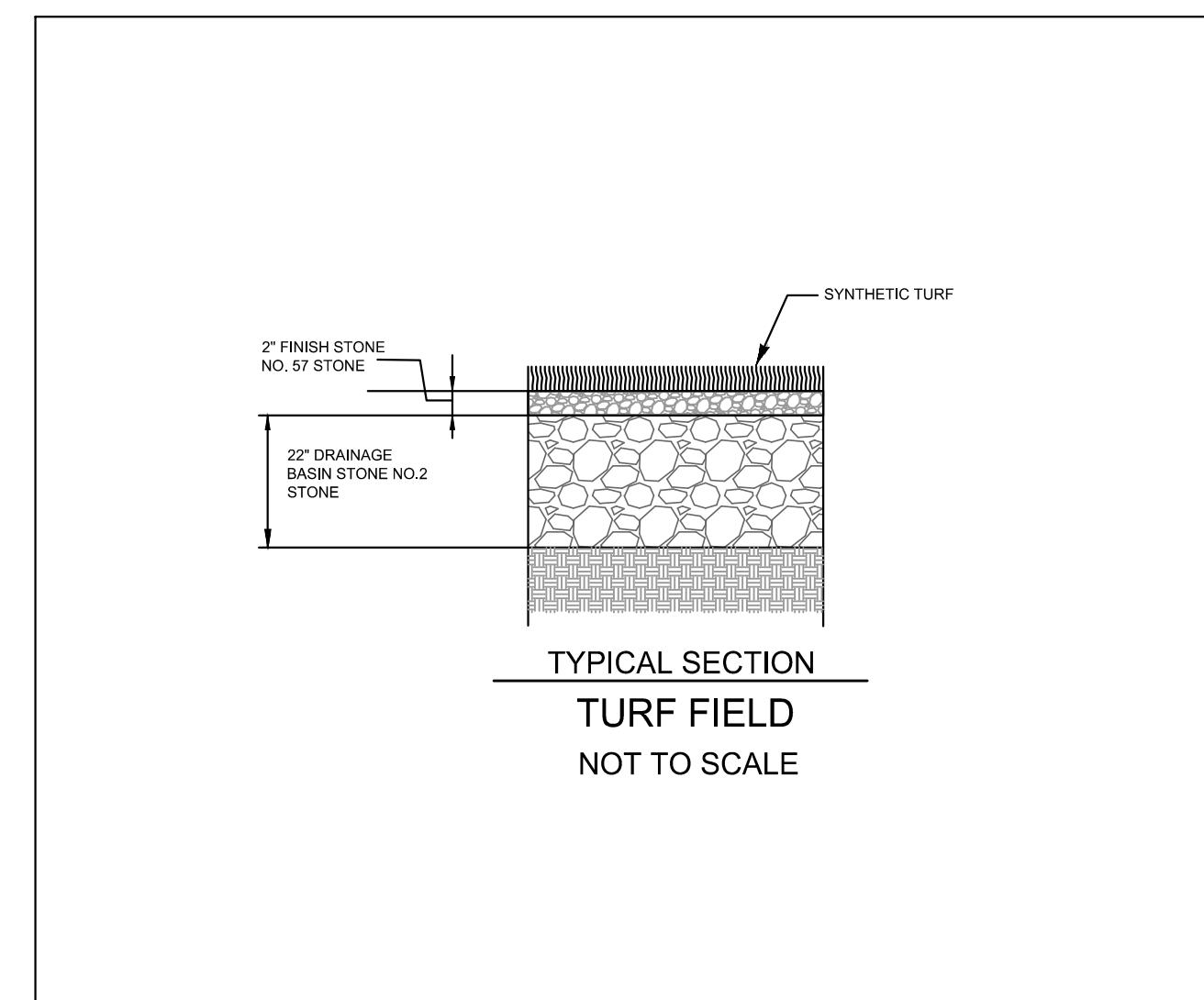
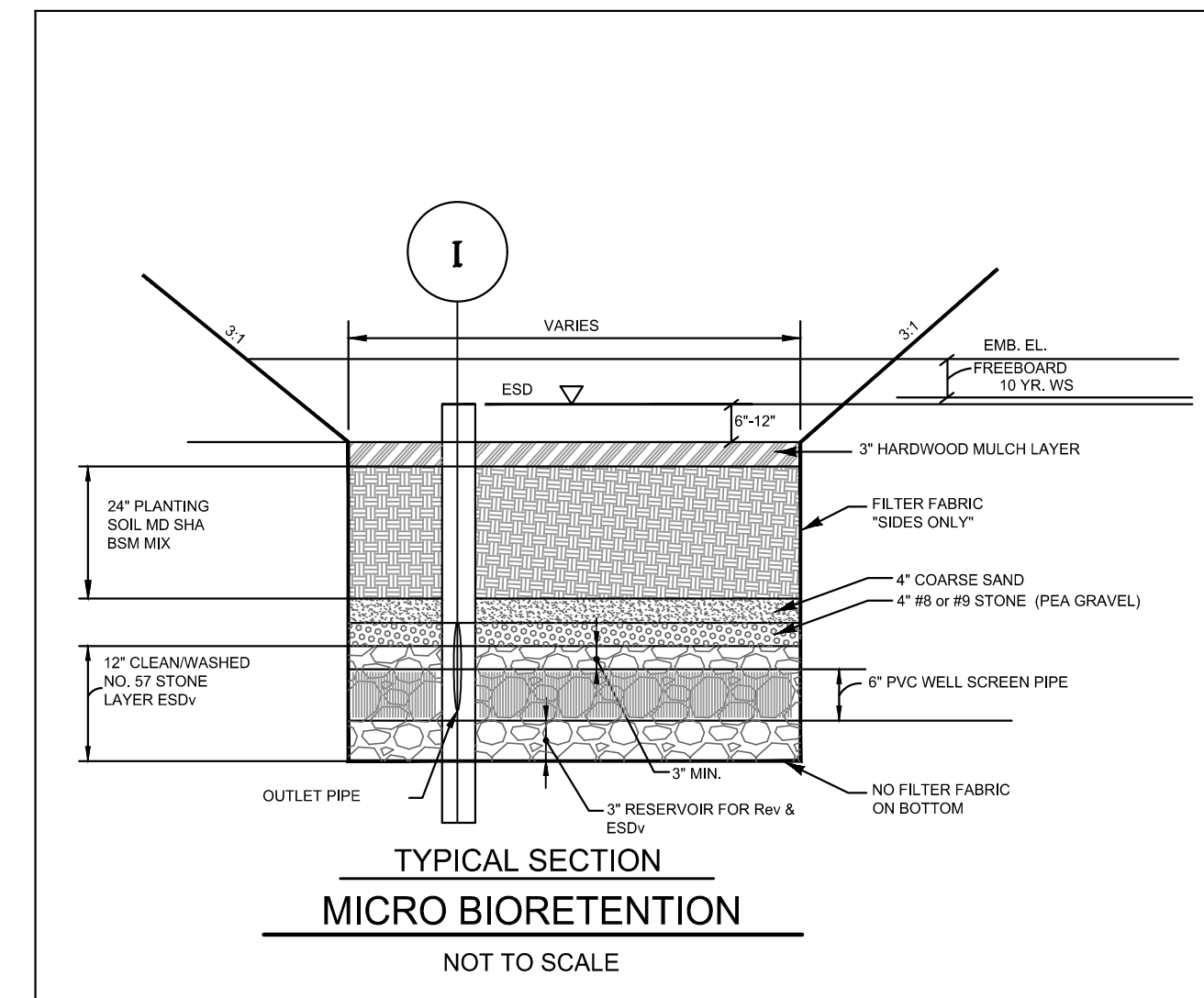
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T:\2018\facilities\18112001\18112011\18112011.dwg (SD-XX) SWM PropDA Map.dwg Feb 23, 2024 2:45pm kdarley



PLAN

SCALE: 1" = 100'



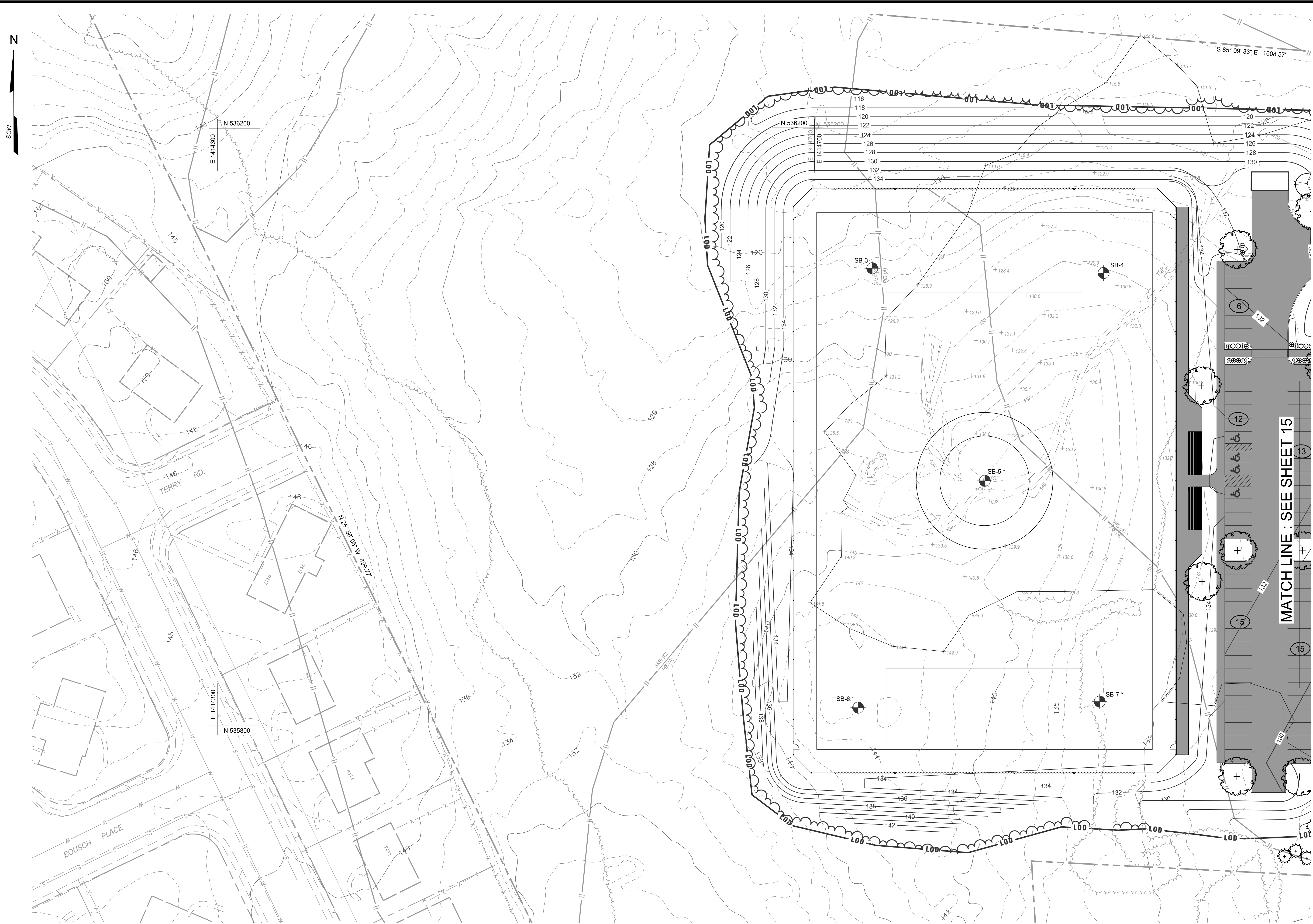
A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

DATE: _____
LICENSE NO. _____

REVISED		APPROVED		DATE		APPROVED		DATE		SCALE AS SHOWN		SCHEMATIC DESIGN	
DATE	BY											Stormwater Management Proposed Conditions Drainage Area Map North Arundel Aquatic Center	
												2nd Tax District Anne Arundel Co., MD.	
												Tax Map 15, Grid 11, Parcel 638	

PROJECT NO.: P588001
SHEET 13 OF 20
DATE: 2/28/2024

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LEGEND

	Property Line
	Adjoiner / Lot Line
	Zoning Line
	Existing Minor Contour
	Existing Major Contour
	Existing Edge of Road/Paving
	Existing Storm Drain
	Existing Water
	Existing Overhead Electric Line
	Existing Utility Pole
	Existing Guy Pole / Guy Wire
	Existing Sign
	Existing Fence
	Existing Trail
	Existing Tree Line
	Existing Deciduous Tree
	Existing Evergreen Tree
	Critical Root Zone
	Existing Building
	Limit of Disturbance
	Proposed Edge of Road/Paving
	Proposed Minor Contour
	Proposed Major Contour
	Proposed Paving
	Proposed Major Tree
	Proposed Minor Tree
	Proposed Evergreen Tree
	Proposed Shrubs

PLANTING PROVIDED

SYMBOL	TYPE	QTY
	MAJOR DECIDUOUS TREES	24
	MINOR DECIDUOUS TREES	32
	EVERGREEN TREES	31
	SHRUBS	74

PLAN
SCALE: 1" = 30'

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ANNE ARUNDEL COUNTY
DEPARTMENT OF PUBLIC WORKS

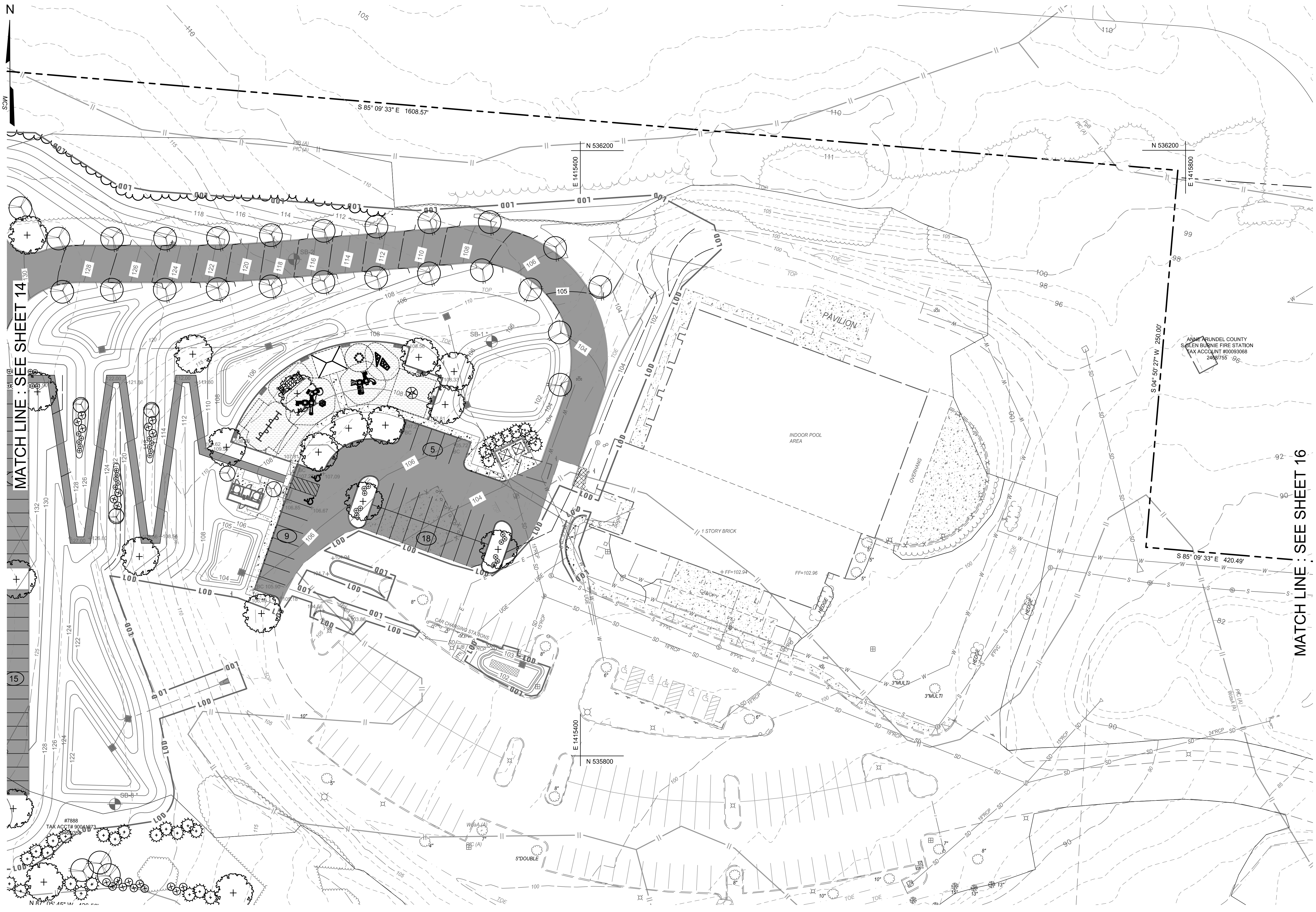
SCHEMATIC DESIGN
Schematic Landscape Plan

North Arundel Aquatic Center

2nd Tax District
Anne Arundel Co., MD.

Tax Map 15, Grid 11, Parcel 638

CHECKED BY	MJP
SHEET	14 OF 20
PROJECT NO.:	P588001
DATE:	2/28/2024



LEGEND

- Property Line
- Adjoineer / Lot Line
- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Road/Paving
- Existing Storm Drain
- Existing Water
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- Proposed Building
- Proposed Edge of Road/Paving
- Proposed Minor Contour
- Proposed Major Contour
- Proposed Spot Elevation
- Proposed Paving
- Proposed Major Tree
- Proposed Minor Tree
- Proposed Evergreen Tree
- Proposed Shrubs

MATCH LINE : SEE SHEET 14

MATCH LINE : SEE SHEET 16

PLAN

SCALE: 1" = 30'

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<p>CENTURY ENGINEERING A Kleinfelder Company</p> <p>10710 Gilroy Road, Hunt Valley, MD 21031 Phone: 443.589.2400 www.centuryeng.com</p>		DATE: _____		ANNE ARUNDEL COUNTY DEPARTMENT OF PUBLIC WORKS																															
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MATCH LINE : SEE SHEET 15

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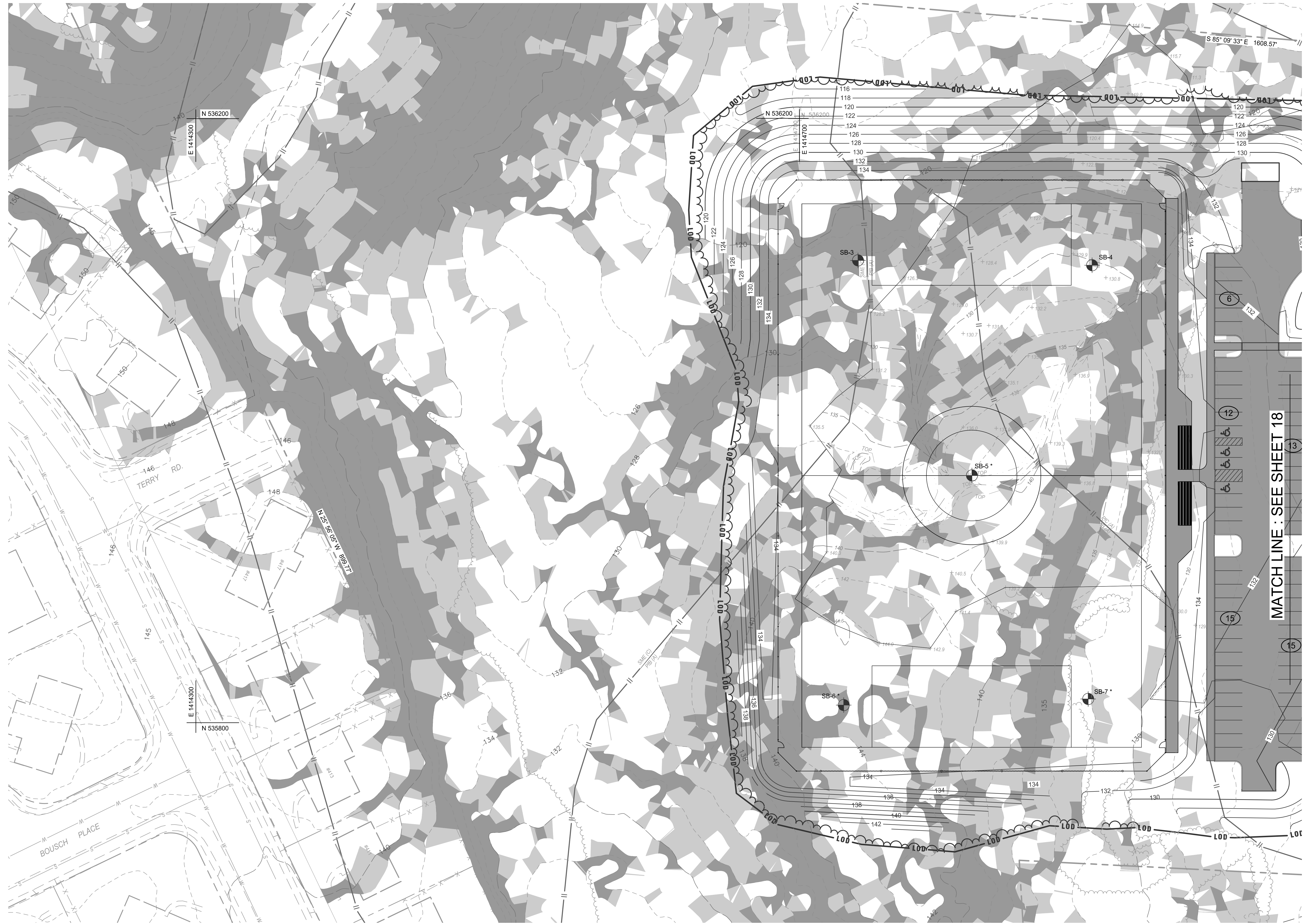
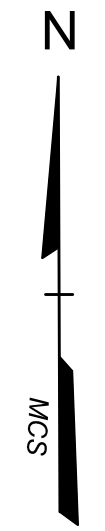
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APPROVED				APPROVED				APPROVED				2nd Tax District Anne Arundel Co., MD.	
ASSISTANT CHIEF ENGINEER				CHIEF, RIGHT OF WAY								Tax Map 15, Grid 11, Parcel 638	



LEGEND

	Property Line
	Adjoiner / Lot Line
	Zoning Line
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	Existing Major Contour
	Existing Edge of Road/Paving
	Existing Storm Drain
	Existing Water
	Existing Overhead Electric Line
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	Existing Sign
	Existing Fence
	Existing Trail
	Existing Tree Line
	Existing Deciduous Tree
	Existing Evergreen Tree
	Critical Root Zone
	Existing Building
	Limit of Disturbance
	Proposed Edge of Road/Paving
	Proposed Minor Contour
	Proposed Major Contour
	Proposed Paving
	Soil Line
	Soil Line
	Steep Slopes (15%-25%)
	Steep Slopes (25%+)

- FOREST STAND NOTES**
1. FIELD SAMPLING HAS NOT BEEN CONDUCTED FOR THE 30% SCHEMATIC DESIGN PLANS.
 2. SEE SHEET 17 FOR SOILS DATA AND FOREST CALCULATIONS.

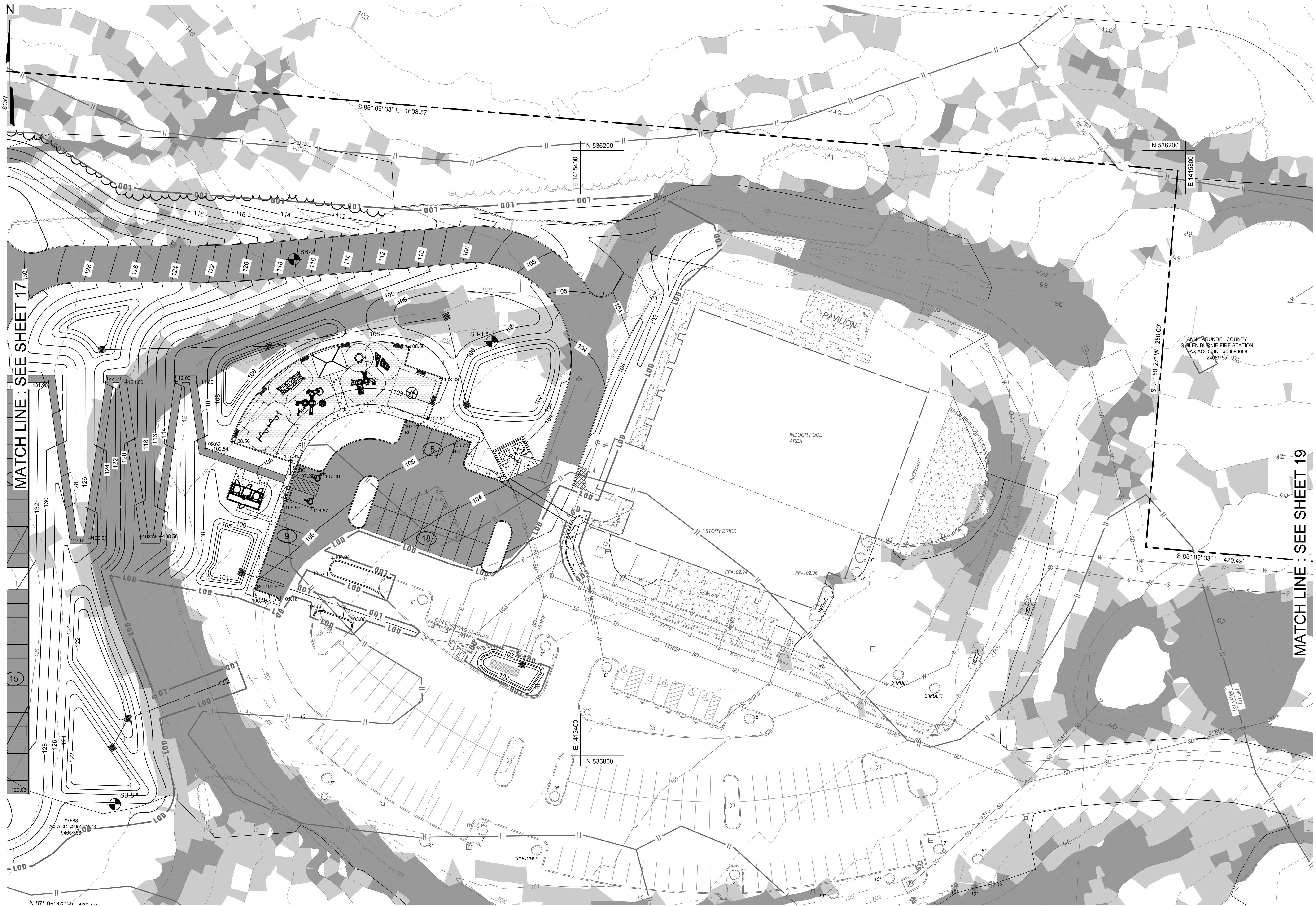
PLAN
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0 30' 60'

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LEGEND

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ANNE ARUNDEL COUNTY FOREST CONSERVATION WORKSHEET (IN SQUARE FEET)

Variables	Unique Tract 1
Site Information	
A. Growth Management Area	Priority Funding Area
B. Land Use Type	Institutional
C. Unique Tract Area	1,089,733
D. Universal Deductions (Critical Area or 100-Yr Floodplain)	0
E. Impervious Surface Deductions for Priority Funding Areas	122,618
F. Existing Forest Cover within Unique Net Tract Area	391,346
G. Proposed Forest Clearing within Unique Net Tract Area	151,981
H. Unique Net Tract Area = (C)-(D)-(E)	967,115
I. Is Total Net Tract Area less than or equal to 5 Acres?	No
Key for lookup table	Priority Funding Area/Institutional/No
L. Conservation Threshold	20%
J. Afforestation Threshold	15%
Forest Conservation	
K. Conservation Threshold Area = (H) X (I)	193,423
L. Area of Forest Above Conservation Threshold = (F) - (K)	197,923
M. Breakeven Point (Amount of forest that must be retained so that no mitigation is required.)	259,391
If the Area of Forest Above Conservation Threshold (L) is greater than 0, then M = ((0.3333) X (L)) + (K). If the Area of Forest Above Conservation Threshold is equal to 0, then M = (F).	
N. Forest Clearing Permitted without Mitigation = (F) - (M)	131,955
O. Proposed Forest Retention = (F) - (G)	239,365
P. Reforestation for Retention Above the Threshold	75,990
If Proposed Forest Clearing (G) is > Area of Forest Above Conservation Threshold (L), then (P) = (L) X (0.5). If not, then (P) = (G) X (0.5).	
Q. Credit for Retention Above the Threshold	45,942
If Proposed Forest Clearing (G) is > Area of Forest Above Conservation Threshold (L), then (R) = 0. If not, then (R) = (L) - (G).	
R. Reforestation for Retention Below the Threshold	0
If Proposed Forest Clearing (G) < Area of Forest Above Conservation Threshold (L), then (R) = 0. If not, then (R) = ((G) - (L)) X 2	
S. Total Reforestation Required = (P) + (R) - (Q)	30,048
T. Afforestation Threshold Area = (H) X (J)	145,067
U. Total Afforestation Required	0
If Existing Forest Cover (F) < Afforestation Threshold Area (T), then (U) = (T) - (F). If not, then (U) = 0.	
V. Total Mitigation Required by Tract = (S) + (U)	30,048

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FEE-IN-LIEU

A Fee-in-lieu of planting is proposed for this project. The fee-in-lieu for the total area to be cleared is calculated below, in accordance with the fee schedule in Anne Arundel County Code § 17-11-101.

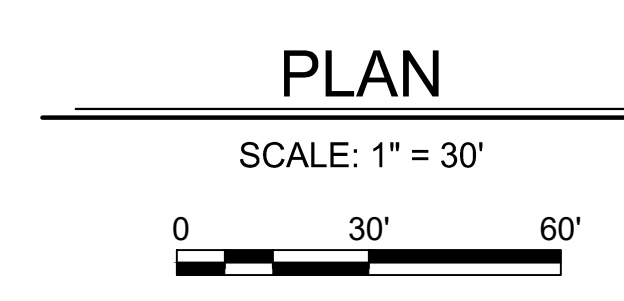
CATEGORY	FEE CALCULATION		
	RATE PER SF	MITIGATION AREA (SF)	TOTAL FEE
Fee-in-lieu of planting for land outside the critical area and inside a priority funding area	1.25	30,048	\$ 37,560.00

SOIL CHART

KEY	NAME	SLOPE	HYDROLOGIC GROUP	HYDRIC SOIL	K FACTOR (WHOLE SOIL)
PfB	Patapsco-Fort Mott complex	0-5%	A	No	.02
PfC	Patapsco-Fort Mott complex	5-10%	A	No	.02
PfB	Patapsco-Fort Mott-Urban Land complex	0-5%	A	No	.02
SME	Sassafras and Croom soils	15-25%	C	No	.15
WdaA	Woodstown Sandy Loam	0-2%	C	No	.24

FOREST STAND NOTES

1. FIELD SAMPLING HAS NOT BEEN CONDUCTED FOR THE 30% SCHEMATIC DESIGN PLANS.



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Schematic Design
Forest Conservation Plan
North Arundel Aquatic Center

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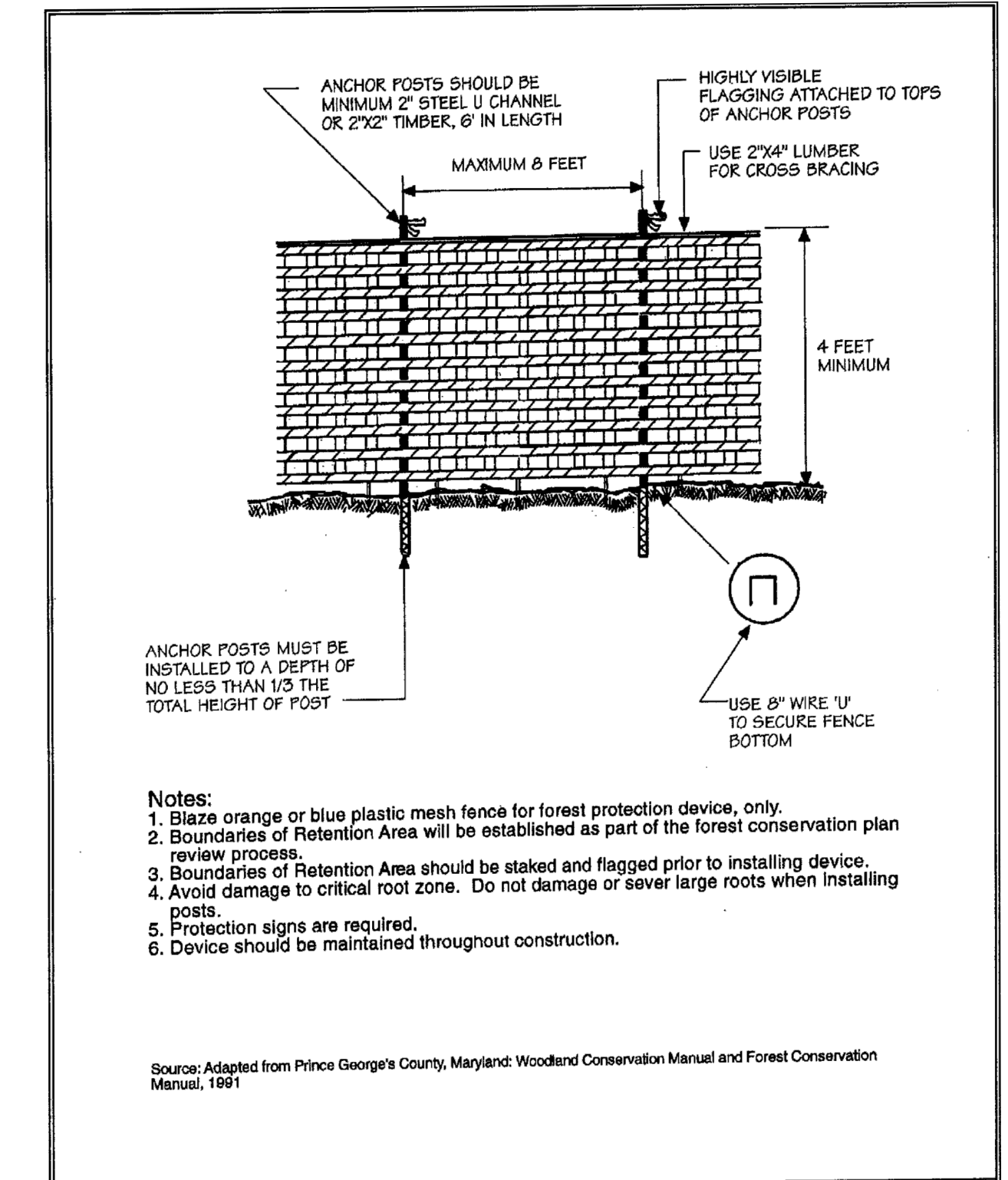
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FOREST PROTECTION NOTES:

1. THE FCP SHALL LOCATE AND DESCRIBE ANY PROTECTION MECHANISMS TO BE INSTALLED TO PROTECT RETENTION AREAS DURING AND AFTER CONSTRUCTION. THESE MECHANISMS SHALL BE FIELD LOCATED AND APPROVED BY INSPECTION PRIOR TO THE START OF CONSTRUCTION.
2. ANY CLEARING, GRADING OR CONSTRUCTION WITHIN 50 FEET OF THE RETENTION AREA WILL REQUIRE PROTECTIVE DEVICES, INCLUDING BUT NOT LIMITED TO, FENCING OR ADAPTED SEDIMENT AND EROSION CONTROL DEVICES AND SIGNS AS INDICATED IN THE APPROVED FCP. ALL PROTECTION DEVICES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION COMPLETION, FINAL INSPECTION, AND AN OCCUPANCY PERMIT, UNLESS WAIVED BY THE APPROVING AUTHORITY.
3. THE EDGE OF THE RETENTION AREAS WILL NEED TO BE STAKED BY THE APPLICANT AND APPROVED BY THE AUTHORITY PRIOR TO CLEARING. THIS FIELD EDGE SHOULD BE ADJUSTED ALONG THE CRITICAL ROOT ZONES OF THE TREES IN THE PROPOSED RETENTION AREAS.
4. FIRES PERMITTED WITHIN THE CONSTRUCTION AREA SHALL CONFIRM WITH STATE AND LOCAL REGULATIONS FOR FIRE CONTROL, AND MAY NOT ENTER THE RETENTION AREA OR ITS CANOPY.
5. NO EQUIPMENT, VEHICLES, MACHINERY, DUMPING, STORAGE, OTHER CONSTRUCTION ACTIVITIES, BURIAL, FIRE, OR OTHER DISPOSAL OF CONSTRUCTION MATERIALS SHALL BE LOCATED INSIDE THE FOREST RETENTION AREAS, SUBJECT TO APPROVAL BY THE DEPARTMENT OF NATURAL RESOURCES FOREST SERVICE, OR AMENDED FOREST CONSERVATION PLAN.
6. FOREST RETENTION AND PROTECTIVE DEVICES WILL BE VISIBLE, WELL ANCHORED, APPROVED IN THE FIELD BEFORE CLEARING OR GRADING, OR WHEN CONSTRUCTION COMMENCES AND WILL BE IN PLACE AND MAINTAINED AS NEEDED UNTIL CONSTRUCTION COMPLETION, FINAL INSPECTION, AND AN OCCUPANCY PERMIT IS ISSUED.
7. PROTECTIVE SIGNAGE IS TO REMAIN IN PLACE PERMANENTLY.
8. ATTACHMENT OF SIGNS OR ANY OTHER OBJECTS TO TREES IS PROHIBITED.
9. THIS PLAN IS TO BE USED FOR FOREST CONSERVATION PURPOSES ONLY.

FCP CONSTRUCTION SEQUENCE:

1. CONTRACTOR IS TO STAKE AND FLAG THE TREE PROTECTION FENCE. FENCE SHALL BE MANUALLY INSTALLED ALONG THE LIMITS, WHERE THE LIMIT IS WITHIN 50 FEET OF THE WETLAND/STREAM BUFFERS. THIS SHALL BE COMPLETED BEFORE THE PRE-CONSTRUCTION MEETING.
2. NO EQUIPMENT, VEHICLES, MACHINERY, DUMPING, STORAGE, OTHER CONSTRUCTION ACTIVITIES, BURIAL, FIRE, OR OTHER DISPOSAL OF CONSTRUCTION MATERIALS SHALL BE LOCATED INSIDE RETENTION AREAS. FOREST RETENTION AND PROTECTIVE DEVICES WILL BE VISIBLE, WELL ANCHORED, & APPROVED IN THE FIELD BEFORE CONSTRUCTION COMMENCES. DEVICES WILL BE IN PLACE AND MAINTAINED AS NEEDED UNTIL CONSTRUCTION COMPLETION. ATTACHMENT OF SIGNS OR ANY OTHER OBJECT TO TREES IS PROHIBITED.
3. NOTIFY ANNE ARUNDEL COUNTY, 48 HOURS IN ADVANCE, FOR THE PRE-CONSTRUCTION MEETING, TO INCLUDE INSPECTION OF LINE AND PROTECTIVE DEVICES LOCATIONS. NOTE: EXISTING PATHWAY TO BE TEMPORARILY CLOSED DUE TO PLANTING.
4. INSTALL ALL SEDIMENT CONTROL DEVICES AND BEGIN CLEARING AND GRADING.
5. PLANT AREAS PER STANDARDS AND SPECIFICATIONS.
6. MONITOR THE CONDITION OF ANY TREES TO BE RETAINED DURING CONSTRUCTION AND MAKE CORRECTIVE MEASURES WHEN APPROPRIATE. DECISIONS ARE TO BE MADE WITH THE APPROVAL OF A CERTIFIED ARBORIST.
7. AFTER CONSTRUCTION IS COMPLETED, REMOVE PROTECTIVE FENCING. INSTALL SIGNS FOR THE MITIGATION AREA AS SHOWN ON SHEETS 44 AND 45.
8. FOLLOWING COMPLETION OF CONSTRUCTION, PRIOR TO USE, A CERTIFIED ARBORIST SHALL INSPECT THE SITE TO ASCERTAIN CONDITION OF TREES IN RETENTION AREAS. IF NECESSARY, IMPLEMENT CORRECTIVE MEASURES FOR STRESS REDUCTION, REPAIR OF RETAINED TREE DAMAGE, AND REMOVAL OF DEAD OR DYING TREES THAT POSE A SAFETY HAZARD.

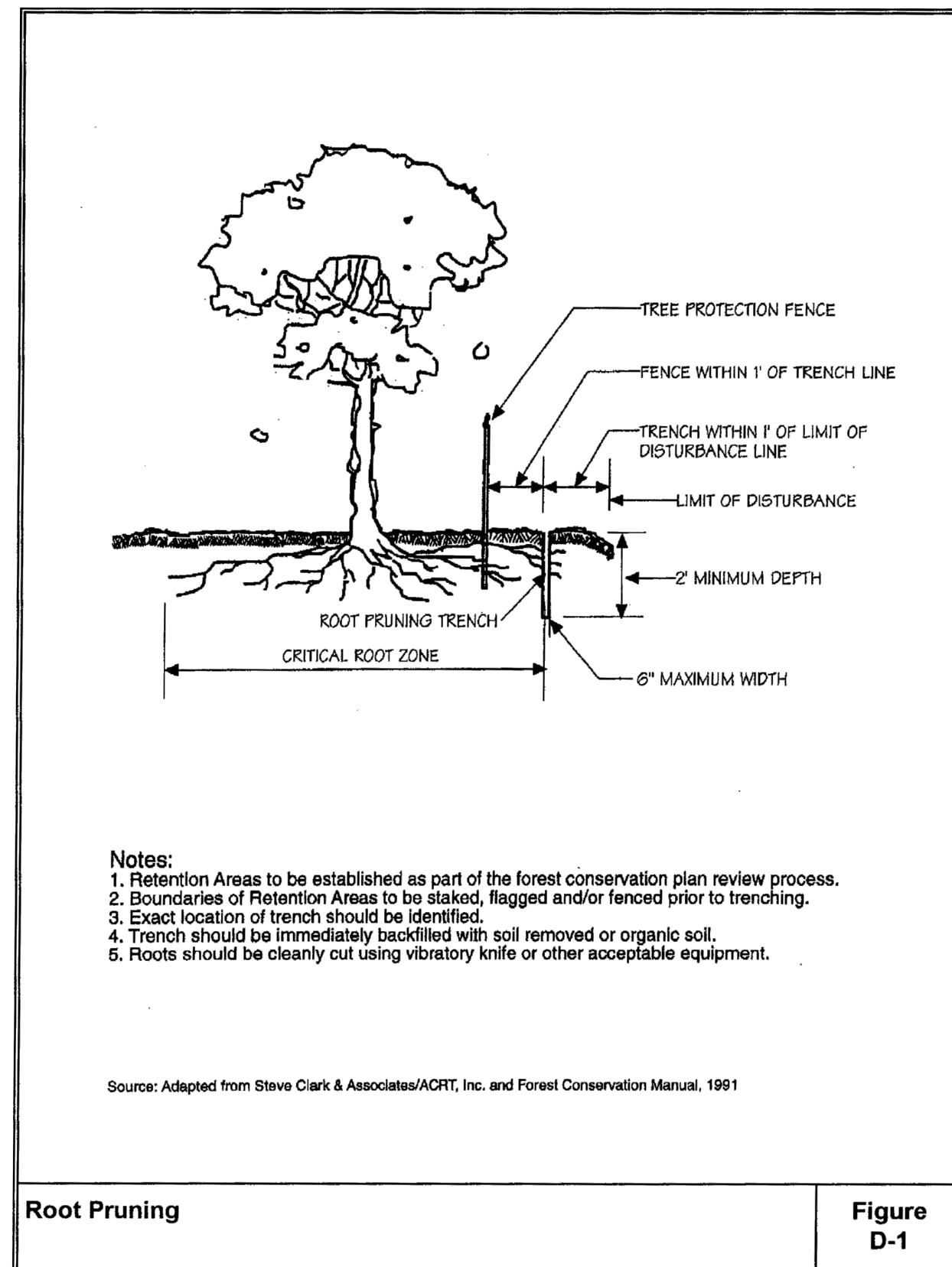


- Notes:**
1. Blaze orange or blue plastic mesh fence for forest protection device, only.
 2. Boundaries of Retention Area will be established as part of the forest conservation plan review process.
 3. Boundaries of Retention Area should be staked and flagged prior to installing device.
 4. Avoid damage to critical root zone. Do not damage or sever large roots when installing posts.
 5. Protection signs are required.
 6. Device should be maintained throughout construction.

Source: Adapted from Prince George's County, Maryland: Woodland Conservation Manual and Forest Conservation Manual, 1991

Plastic Mesh Tree Protection Fence

Figure D-5

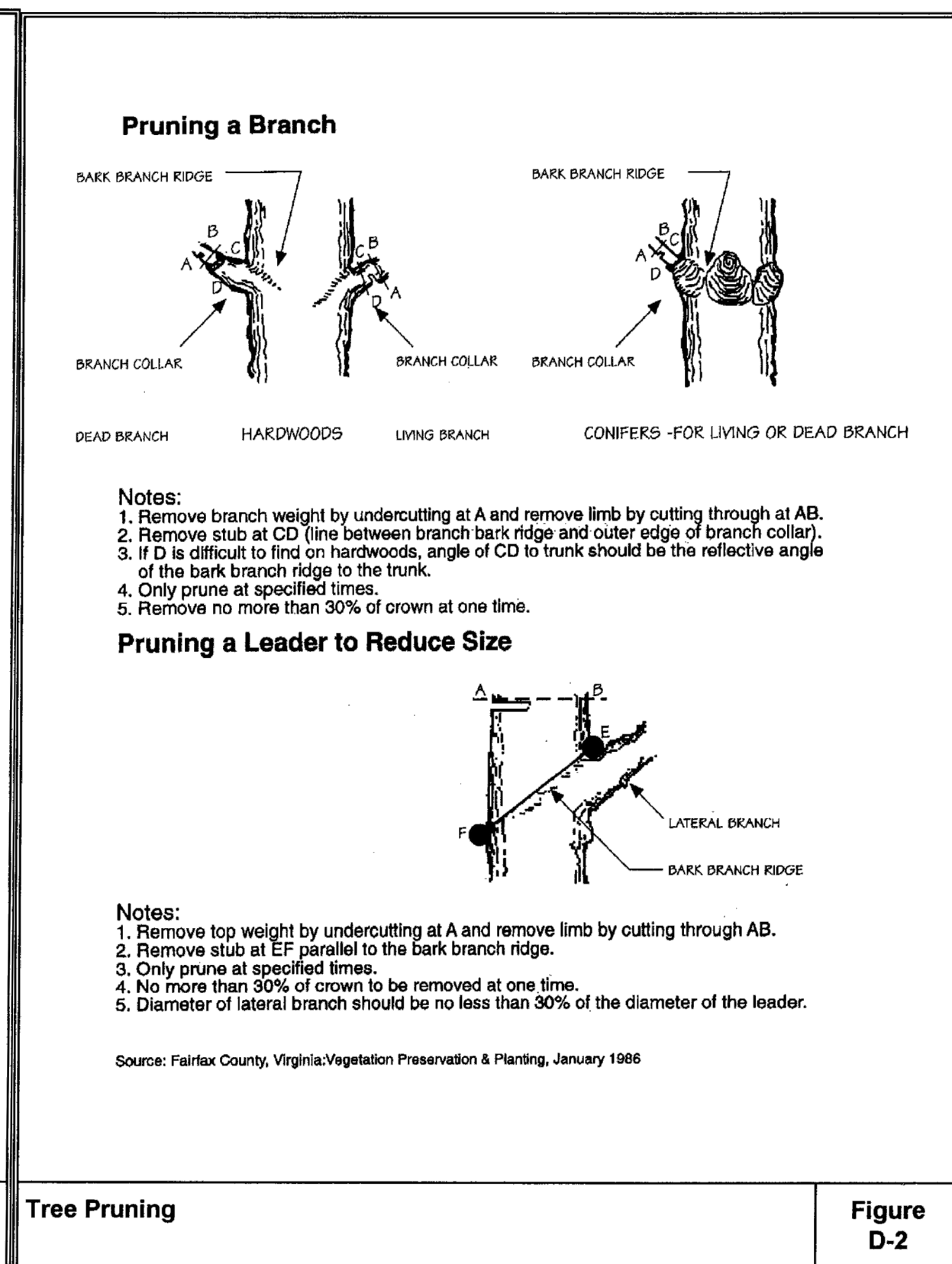


- Notes:**
1. Retention Areas to be established as part of the forest conservation plan review process.
 2. Boundaries of Retention Areas to be staked, flagged and/or fenced prior to trenching.
 3. Exact location of trench should be identified.
 4. Trench should be immediately backfilled with soil removed or organic soil.
 5. Roots should be cleanly cut using vibratory knife or other acceptable equipment.

Source: Adapted from Steve Clark & Associates/ACRT, Inc. and Forest Conservation Manual, 1991

Root Pruning

Figure D-1



- Notes:**
1. Remove branch weight by undercutting at A and remove limb by cutting through at AB.
 2. Remove stub at CD (line between branch bark ridge and outer edge of branch collar).
 3. If D is difficult to find on hardwoods, angle of CD to trunk should be the reflective angle of the bark branch ridge to the trunk.
 4. Only prune at specified times.
 5. Remove no more than 30% of crown at one time.

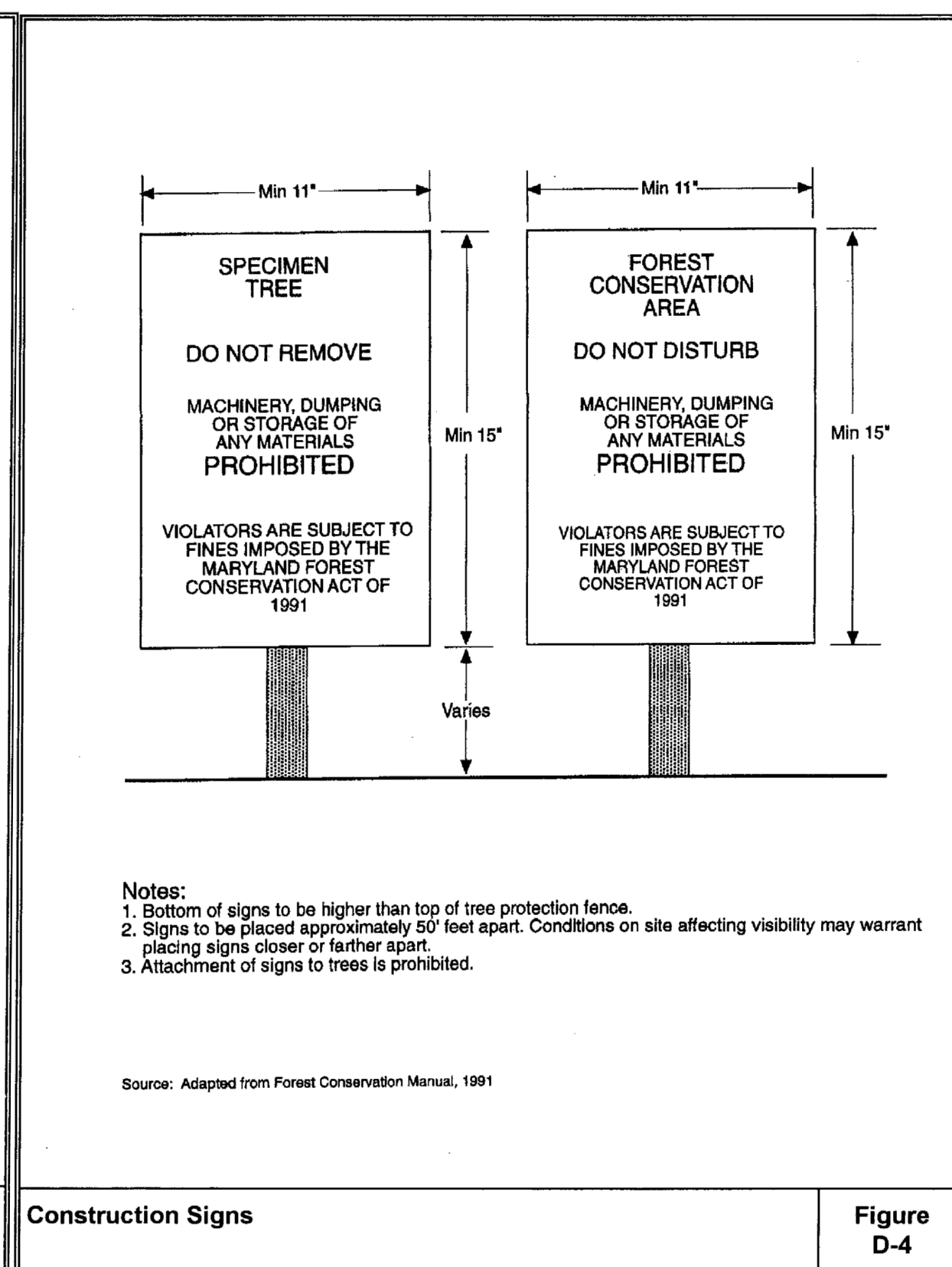
Pruning a Leader to Reduce Size

- Notes:**
1. Remove top weight by undercutting at A and remove limb by cutting through AB.
 2. Remove stub at EF parallel to the bark branch ridge.
 3. Only prune at specified times.
 4. No more than 30% of crown to be removed at one time.
 5. Diameter of lateral branch should be no less than 30% of the diameter of the leader.

Source: Fairfax County, Virginia: Vegetation Preservation & Planting, January 1986

Tree Pruning

Figure D-2

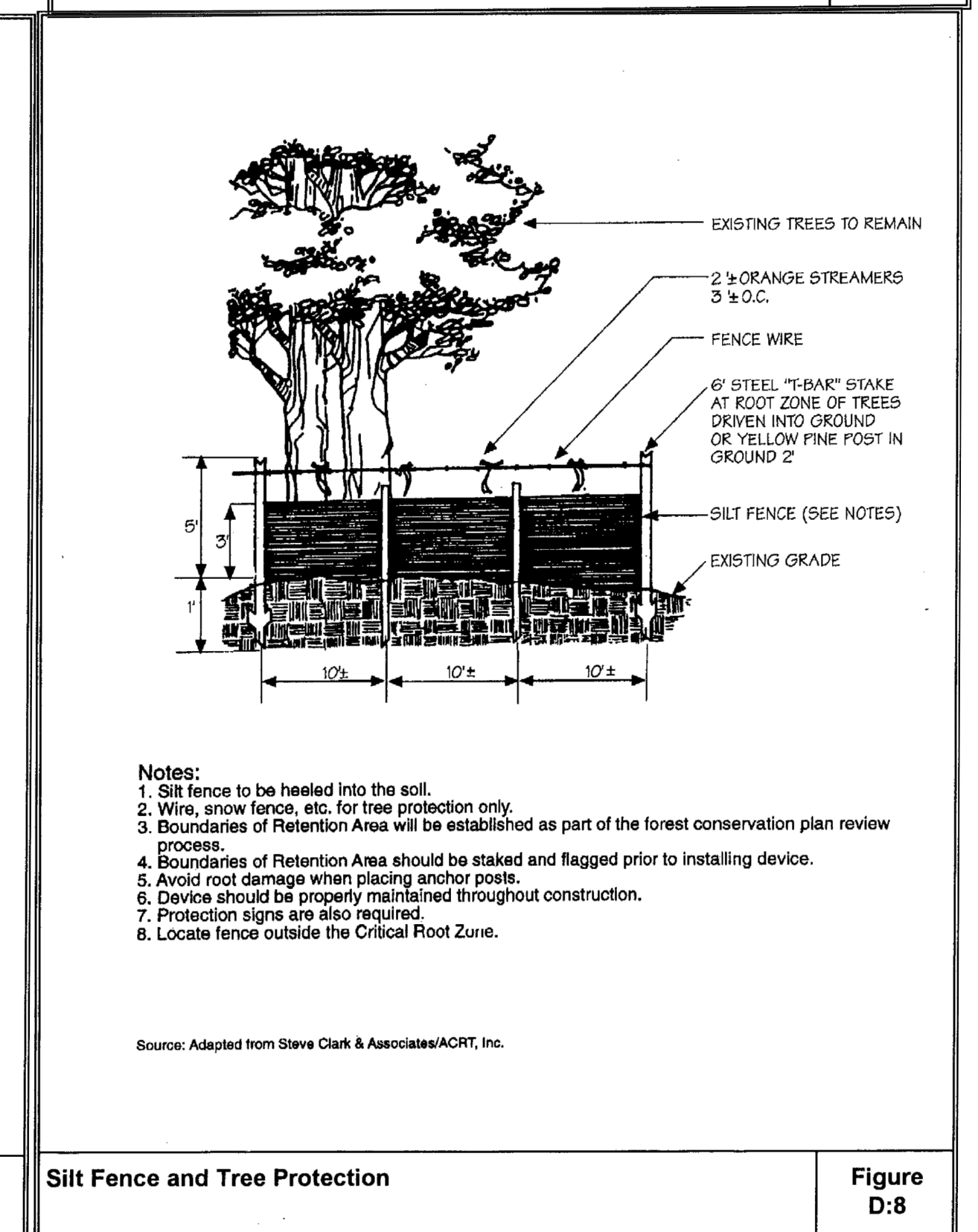


- Notes:**
1. Bottom of signs to be higher than top of tree protection fence.
 2. Signs to be placed approximately 50' feet apart. Conditions on site affecting visibility may warrant placing signs closer or farther apart.
 3. Attachment of signs to trees is prohibited.

Source: Adapted from Forest Conservation Manual, 1991

Construction Signs

Figure D-4



- Notes:**
1. Silt fence to be heeled into the soil.
 2. Wire, snow fence, etc. for tree protection only.
 3. Boundaries of Retention Area will be established as part of the forest conservation plan review process.
 4. Boundaries of Retention Area should be staked and flagged prior to installing device.
 5. Avoid root damage when placing anchor posts.
 6. Device should be properly maintained throughout construction.
 7. Protection signs are also required.
 8. Locate fence outside the Critical Root Zone.

Source: Adapted from Steve Clark & Associates/ACRT, Inc.

Silt Fence and Tree Protection

Figure D:8

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SHEET 20 OF 20						CHECKED BY MJP	
PROJECT NO.: P588001						DATE: 2/28/2024	
2nd Tax District Anne Arundel Co., MD.						Tax Map 15, Grid 11, Parcel 638	

**Forest Conservation
Notes & Details
North Arundel Aquatic Center**