

**FINDINGS AND RECOMMENDATION
OFFICE OF PLANNING AND ZONING
ANNE ARUNDEL COUNTY, MARYLAND**

APPLICANT: Richard John & Stacy Conlin, III **ASSESSMENT DISTRICT:** 3

CASE NUMBER: 2024-0123-V **COUNCIL DISTRICT:** 5

HEARING DATE: September 10, 2024 **PREPARED BY:** Jennifer Lechner
Planner



REQUEST

The applicants are requesting a variance to allow a dwelling addition (deck) with disturbance to steep slopes of 15% or greater and with less setbacks than required on property located at 1803 View Top Court in Annapolis.

LOCATION AND DESCRIPTION OF SITE

The subject site consists of approximately 1.2 acres of land and is located northwest of the intersection of View Top Court and Meadow Hill Drive. The property is identified as Lot 32 in Section 2 of Parcel 386 in Grid 2 on Tax Map 46 in the subdivision of The Meadows.

The property is zoned R1 – Residential District, as adopted by the comprehensive zoning for Council District 5, effective January 29, 2012. This site lies entirely within the Chesapeake Bay Critical Area LDA – Limited Development Area. It is currently improved with a two-story dwelling, an inground pool with a surrounding patio and deck, and associated facilities.

PROPOSAL

The applicants are proposing to replace the existing wood decking around the home to include the front porch, back deck, and two balconies.

REQUESTED VARIANCES

§ 17-8-201(a) of the Anne Arundel County Code states that development in the Limited Development Area (LDA) may not occur within slopes of 15% or greater unless development will facilitate stabilization of the slope; is to allow connection to a public utility; or is to provide direct access to the shoreline; and, all disturbance shall be limited to the minimum necessary.

- The proposed construction will disturb slopes of 15% or greater, necessitating a variance. The final amount of disturbance will be determined during permit review.

A review of the bulk regulations for development within the R1 District reveals that a setback variance is not required.

FINDINGS

This Office finds that the subject property is generally square in shape and oversized with regard to the minimum lot area requirement of 40,000 square feet and the minimum lot width requirement of 125 feet for a lot in the R1 District. The property is encumbered by steep slopes. A review of the County aerial photography shows an eclectic mix of dwellings and lots in this community.

Building permit B02425522, to remove and replace the irregular rear deck, two landings, steps to grade and a privacy panel, the front deck and steps, and the handrails on two balconies, was submitted on April 12, 2024. Variance approval must be obtained prior to the permit being issued.

The applicants' letter states that the structures to be replaced are over 30 years old, in disrepair and are unsafe. Their letter further states that without the decking, they would not be able to exit any of the back doors on the first and second floors.

Agency Comments

The **Health Department** has reviewed the on-site sewage disposal for the above referenced property, and has determined that the proposed request does not adversely affect the onsite sewage disposal system. Their Department has no objection to the above referenced request, but noted that an administrative variance for the setback of the deck to the septic tank will need to be obtained from their Department.

The **Critical Area Commission** noted that, if the variance is granted, appropriate mitigation is required.

The **Critical Area Team** has no objection to this request.

Variance Criteria

For the granting of a Critical Area variance, a determination must be made as to whether, because of certain unique physical conditions peculiar to and inherent in the particular property, strict implementation of the County's Critical Area Program would result in an unwarranted hardship. COMAR defines unwarranted hardship as that, without a variance, an applicant shall be denied reasonable and significant use of the entire parcel or lot for which the variance is requested.

In this particular case, the area of the proposed deck replacement is encumbered by steep slopes. Replacing the aging deck would be impossible without relief. The applicants are not proposing any expansion of the irregular deck located within steep slopes. Because the deck replacement is in-kind, the disturbance to the slopes will be temporary, and is considered the minimum necessary to afford relief.

The variance request is not based on conditions or circumstances that are the result of actions by the applicants, and does not arise from any condition relating to land or building use on any neighboring property.

As an in-kind replacement, the variance will not alter the essential character of the neighborhood, nor impair the appropriate use or development of adjacent properties.

With mitigation, the granting of the variance should not adversely affect water quality or impact fish, wildlife or plant habitat, should be in harmony with the general spirit and intent of the County's critical area program, will not be contrary to acceptable clearing and replanting practices, and will not reduce forest cover in the limited development area.

RECOMMENDATION

Based upon the standards set forth in § 18-16-305 of the County Code under which a variance may be granted, as proposed, this Office recommends ***approval*** of the Critical Area variance to §17-8-201 to disturb steep slopes.

If granted, the final amount of disturbance will be determined during permit review.

In accordance with § 18-16-305(e), any critical area variance granted shall lapse by operation of law if the conditions are not satisfied within 90 days or as extended.

DISCLAIMER: This recommendation does not constitute a building permit. In order for the applicant to construct the structure(s) as proposed, the applicant shall apply for and obtain the necessary building permits, and obtain any other approvals required to perform the work described herein. This includes but is not limited to verifying the legal status of the lot, resolving adequacy of public facilities, and demonstrating compliance with environmental site design criteria.

PREPARED BY:

EXACTA

MARYLAND SURVEYORS

p: 443.819.3994
www.exactaMD.com



PROPERTY ADDRESS: 1803 VIEW TOP COURT ANNAPOLIS, MARYLAND 21409

SURVEY NUMBER: 2006.4127

FIELD WORK DATE: 6/30/2020

REVISION HISTORY: (REV. 3/3/2020)

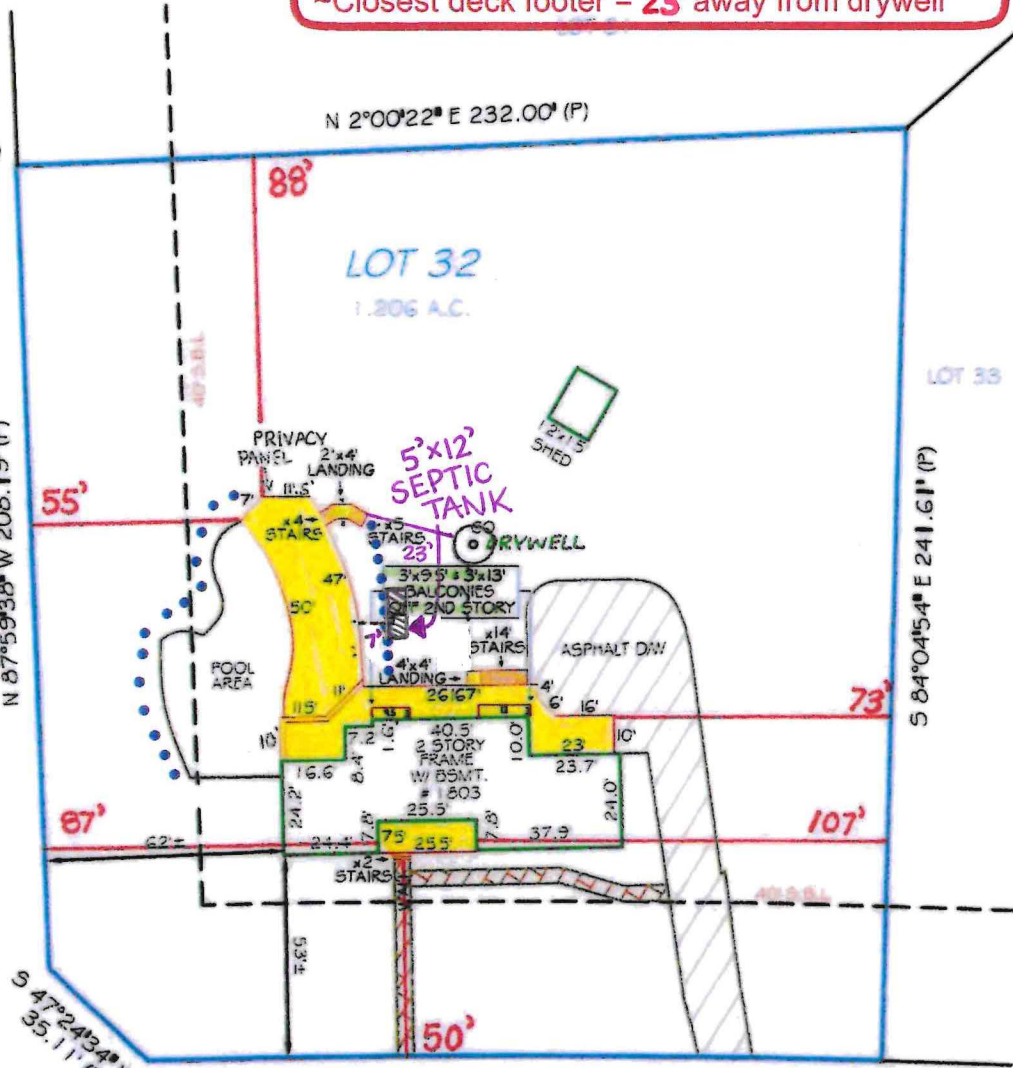
Job Notes:
~Closest deck footer = **7'** away from septic tank
~Closest deck footer = **23'** away from drywell

2006.4127
LOCATION DRAWING
LOT 32
SECTION 2, THE MEADOWS,
ANNE ARUNDEL COUNTY, MARYLAND
07-02-2020 SCALE 1"=50'



● = CONCRETE PAVERS

MEADOW HILL DR
(50' R/W)



EXPIRES 5-26-2022



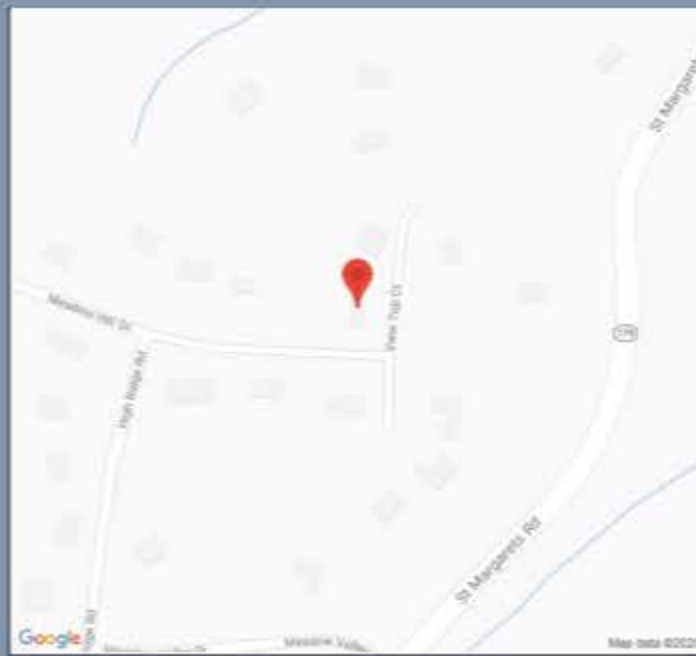
GRAPHIC SCALE (In Feet)
1 inch = 50' ft.
ACCURACY=1/2"

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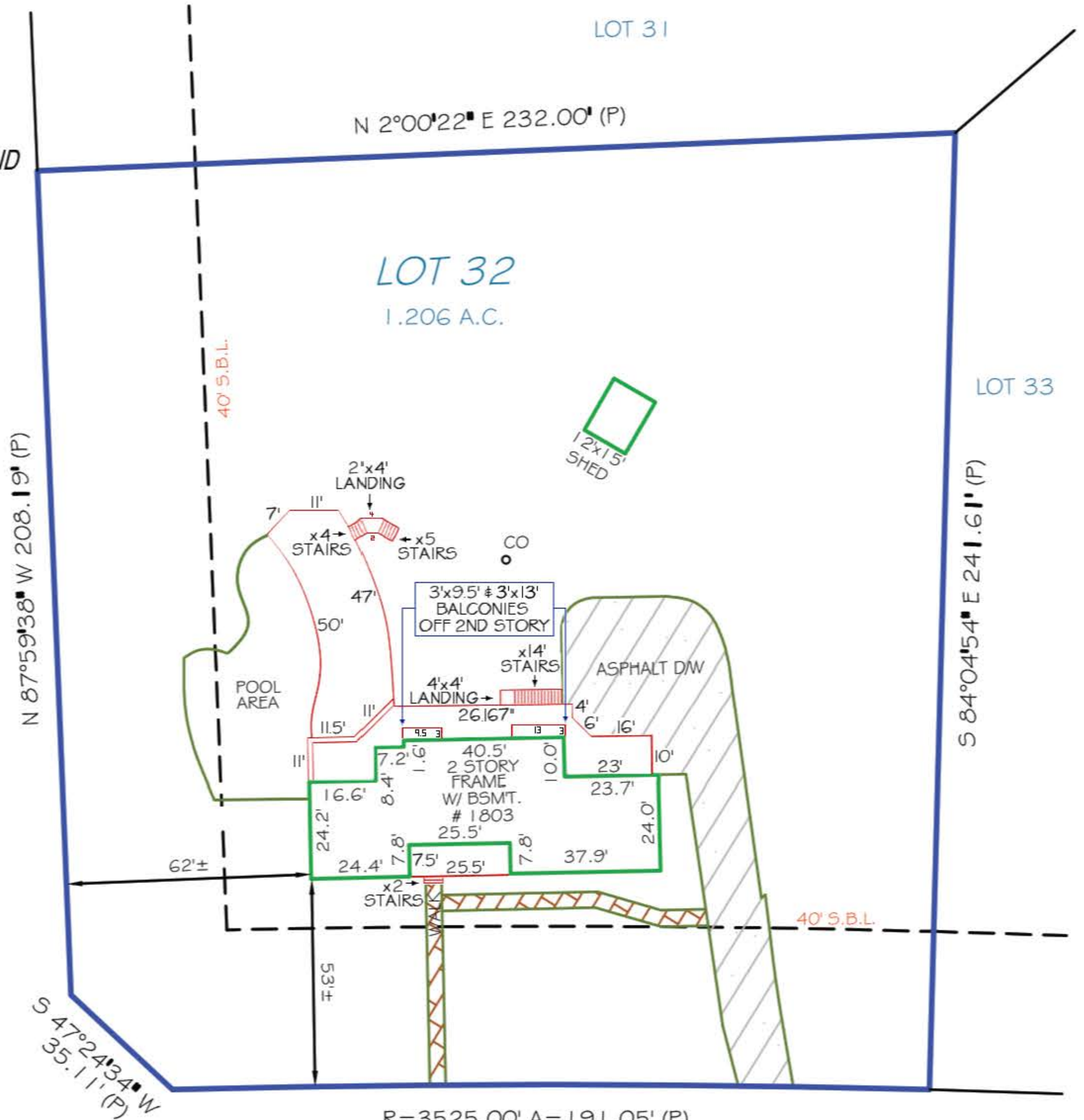
FIELD WORK DATE: 6/30/2020

REVISION HISTORY: (REV.0 7/2/2020)

2006.4127
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LOT 32
SECTION 2, THE MEADOWS,
ANNE ARUNDEL COUNTY, MARYLAND
07-02-2020 SCALE 1"=50'



MEADOW HILL DR
(50' RW)



EXPIRES 5-26-2022



GRAPHIC SCALE (In Feet)
1 inch = 50' ft.

ACCURACY=1±

POINTS OF INTEREST:
NONE VISIBLE

CLIENT NUMBER:

DATE: 07/02/20

BUYER:

SELLER: MICHAEL T. STRANDQUIST AND KAREN STRANDQUIST

CERTIFIED TO:

LIBERTY TITLE & ESCROW OF MARYLAND, LLC

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POWERED BY:



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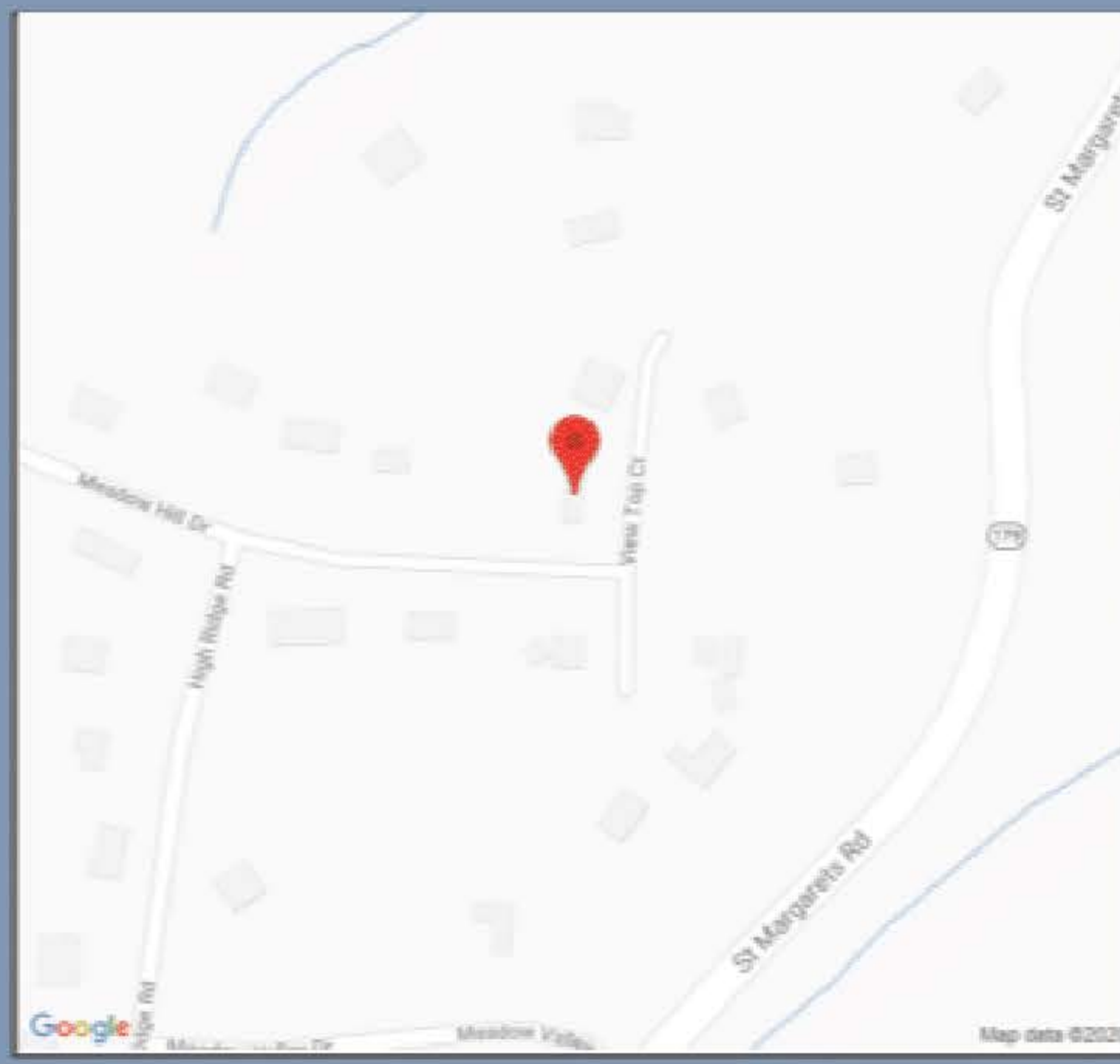
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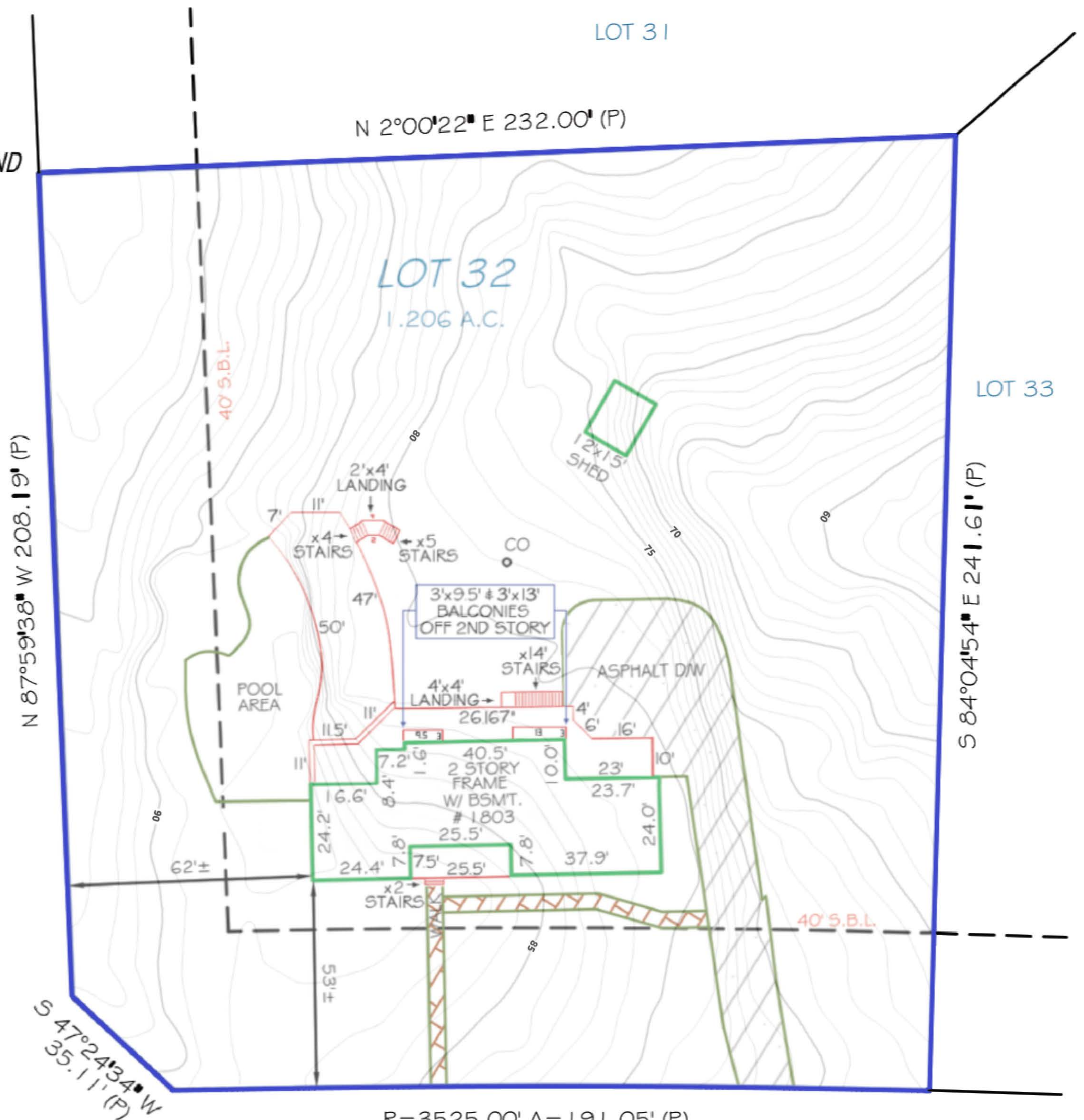
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REVISION HISTORY: (REV.0 7/2/2020)

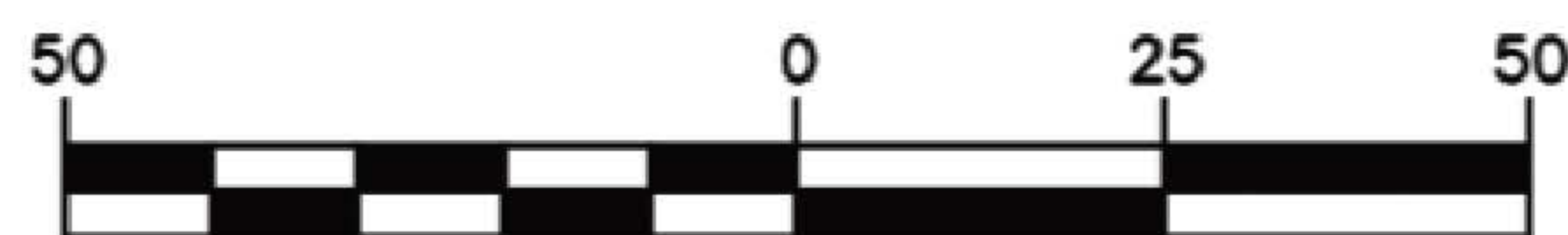
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LOCATION DRAWING
LOT 32
SECTION 2, THE MEADOWS,
ANNE ARUNDEL COUNTY, MARYLAND
07-02-2020 SCALE 1"=50'



MEADOW HILL DR
(50' RM)



EXPIRES 5-26-2022



GRAPHIC SCALE (In Feet)
1 inch = 50' ft.

ACCURACY=1±

VIEW TOP COURT
(50' RM)

POINTS OF INTEREST:
NONE VISIBLE

CLIENT NUMBER:

DATE: 07/02/20

POWERED BY:

BUYER:

SELLER: MICHAEL T. STRANDQUIST AND KAREN STRANDQUIST

CERTIFIED TO:

LIBERTY TITLE & ESCROW OF MARYLAND, LLC

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RICHARD AND STACY CONLIN

1803 View Top Ct., Annapolis, MD. 21409 | 724-513-4740 | conlin0917@yahoo.com

June 14, 2024

Planning and Zoning
Anne Arundel County
Maryland

Dear Sir or Ma'am:

We would like to replace existing wood decking around our home to include our front porch, back deck, and two balconies. All structures described are over 30 years old and **in disrepair creating an unsafe living environment** for our family, visitors, and delivery persons. The location of this decking is important because without it we would not be able to exit any of the back doors on our first and second floors. The new wood decking would be identical to the existing decking with one exception, a set of stairs in near the driveway. The kitchen is on the side of the house near the driveway and we currently having to park in the street to unload our groceries before moving our car back into the driveway.

Sincerely,

Richard and Stacy Conlin

CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS
1804 WEST STREET, SUITE 100
ANNAPOLIS, MD 21401

PROJECT NOTIFICATION APPLICATION

GENERAL PROJECT INFORMATION

Jurisdiction: Anne Arundel County

Date: 6/21/2024

| Tax Map # | Parcel # | Block # | Lot # | Section |
|-----------|----------|---------|-------|---------|
| 0046 | 0386 | | 32 | 2 |
| | | | | |
| | | | | |

FOR RESUBMITTAL ONLY

- Corrections
- Redesign
- No Change
- Non-Critical Area

*Complete Only Page 1
General Project Information

Tax ID: Dist 03 subD 548 Acct# 90019416

Project Name (site name, subdivision name, or other) ~~the parcels~~ Conlin Deck

Project location/Address 1803 View Top Ct.

City Annapolis Zip 21409

Local case number ~~800425522~~

Applicant: Last name Conlin First name Stacy

Company

Application Type (check all that apply):

- | | |
|--|--|
| Building Permit <input type="checkbox"/> | Variance <input checked="" type="checkbox"/> |
| Buffer Management Plan <input type="checkbox"/> | Rezoning <input type="checkbox"/> |
| Conditional Use <input type="checkbox"/> | Site Plan <input type="checkbox"/> |
| Consistency Report <input type="checkbox"/> | Special Exception <input type="checkbox"/> |
| Disturbance > 5,000 sq ft <input type="checkbox"/> | Subdivision <input type="checkbox"/> |
| Grading Permit <input type="checkbox"/> | Other <input type="checkbox"/> |

Local Jurisdiction Contact Information:

Last name AACo Zoning Administration Section First name

Phone # 410-222-7437 Response from Commission Required By TBD

Fax # Hearing date TBD

SPECIFIC PROJECT INFORMATION

Describe Proposed use of project site:

Replace existing deteriorating decking on front porch, back deck, and 2 balconies.

Intra-Family Transfer Yes
 Grandfathered Lot

Growth Allocation Yes
 Buffer Exemption Area

Project Type (check all that apply)

Commercial
 Consistency Report
 Industrial
 Institutional
 Mixed Use
 Other

Recreational
 Redevelopment
 Residential
 Shore Erosion Control
 Water-Dependent Facility

SITE INVENTORY (Enter acres or square feet)

| | Acres | Sq Ft |
|------------|-------|-------|
| IDA Area | | |
| LDA Area | | 2000 |
| RCA Area | | |
| Total Area | | |

Total Disturbed Area

| | |
|-------|-------|
| Acres | Sq Ft |
| | 2000 |

of Lots Created

| | Acres | Sq Ft | Acres | Sq Ft |
|--------------------------------|-------|-------|-----------------------|-------|
| Existing Forest/Woodland/Trees | | | Existing Lot Coverage | 1.2 |
| Created Forest/Woodland/Trees | | | New Lot Coverage | 1.2 |
| Removed Forest/Woodland/Trees | | | Removed Lot Coverage | |
| | | | Total Lot Coverage | |

VARIANCE INFORMATION (Check all that apply)

| | Acres | Sq Ft | Acres | Sq Ft |
|------------------------|-------|-------|------------------------|-------|
| Buffer Disturbance | | | Buffer Forest Clearing | |
| Non-Buffer Disturbance | | | Mitigation | |

Variance Type
 Buffer
 Forest Clearing
 HPA Impact
 Lot Coverage
 Expanded Buffer
 Nontidal Wetlands
 Setback
 Steep Slopes
 Other

Structure
 Acc. Structure Addition
 Barn
 Deck
 Dwelling
 Dwelling Addition
 Garage
 Gazebo
 Patio
 Pool
 Shed
 Other

Critical Area Report Narrative for 1803 View Top Court, 21409

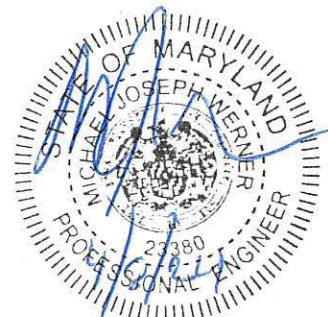
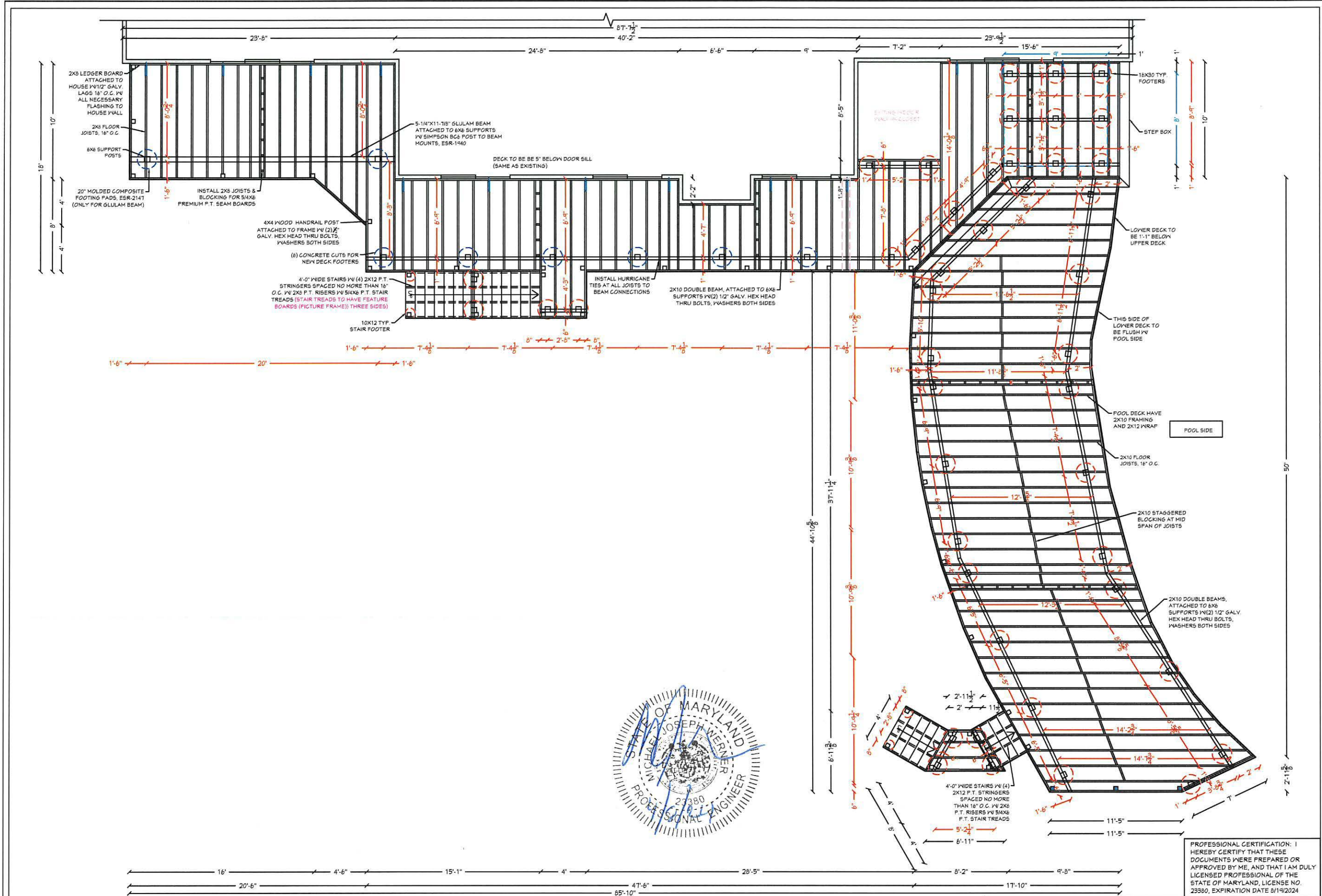
- Describe the proposed use of the subject property and include if the project is residential, commercial, industrial, or maritime.
 - This is a private residence and the deck will be used to not fall out of the back doors of our home, as the current deck is used.

- Describe the type of predominant trees and shrubs on the subject property. Include a statement addressing the square footage of the property that is vegetated with trees and shrubs, how much of the property will be disturbed by the proposed development, and how the disturbance will be mitigated.
 - Not foliage will be disturbed as there is currently decking in the concerned area, which prevents foliage from growing.

- Describe the methods to minimize impacts on water quality and habitat from proposed construction (i.e. stormwater management, sediment control, and silt fence).
 - Nothing will change with regard to impact to water and habitat and the proposed construction is not new, just a replacement.

- Calculate the impervious surface before and after construction, including all structures, gravel areas, driveways, and concrete areas.
 - No impervious surfaces needed. Decking will be wood.

- If applicable, describe any habitat protection areas on the subject property including expanded buffers, steep slopes of 15% or greater, rare and endangered species, anadromous fish propagation waters, colonial waterbird nesting sites, historic waterfowl staging and concentration areas, riparian forests, natural heritage areas, and plant and wildlife habitats of local significance.
 - The current deck is built on a steep slope as will be the new deck, in the same location.



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| 14 | CAD DETAILS |
| 15 | SIMPSON DETAILS |
| 16 | FOOTING DETAILS |

PROJECT DESCRIPTION:
 Conlin Deck Layout
 Stacy Conlin
 18030 View Top Court,
 Annapolis, Maryland 21409

DRAWINGS PROVIDED BY:
Fence & Deck Connection, Inc.
 8057 Veterans Highway
 Millersville, MD, 21108
 410-969-4444
 www.fencedeckconnection.com

DATE:
 04/08/2024

SCALE:
 PER PLAN

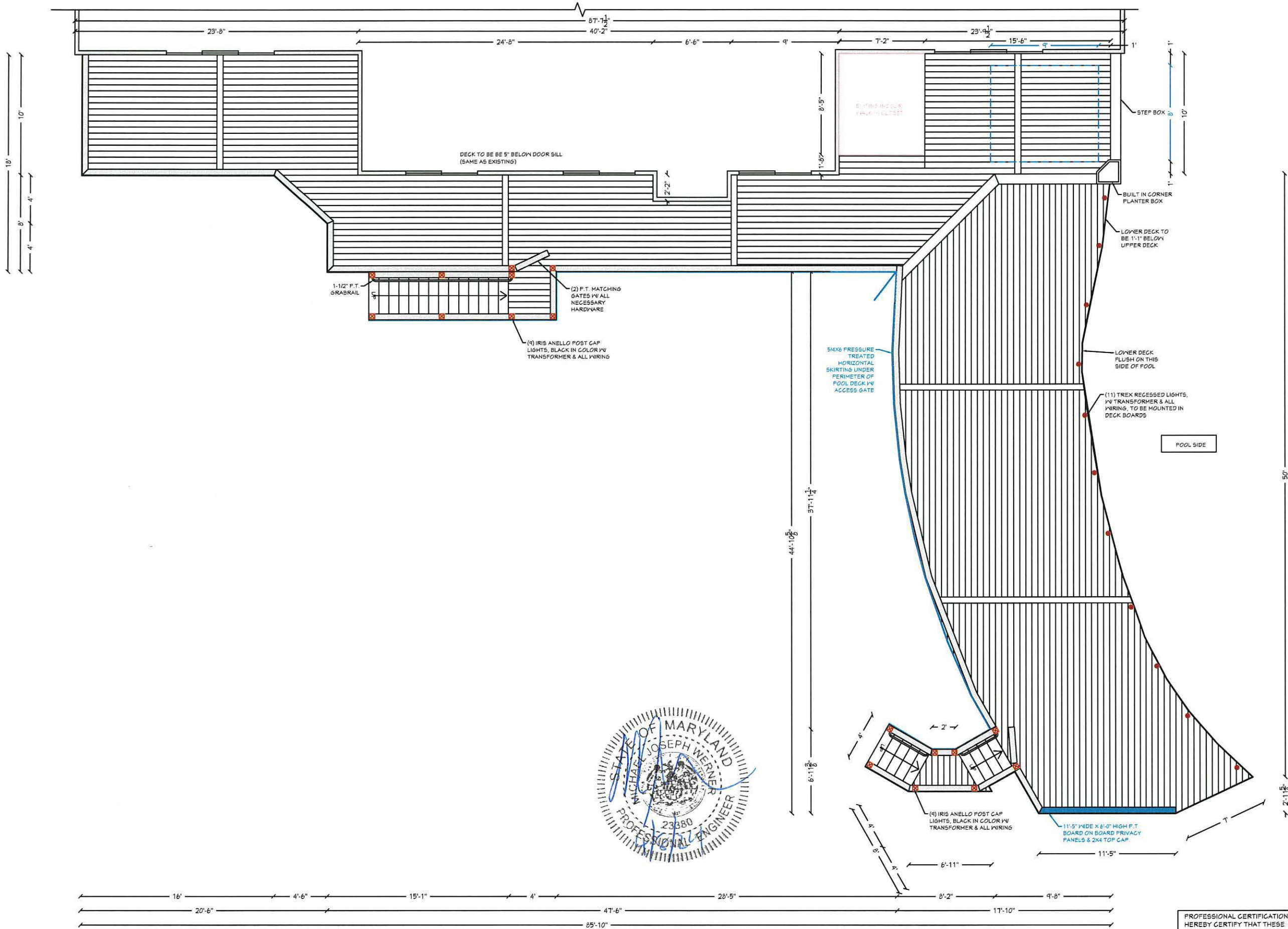
SHEET:
 A-1

REAR FRAMING LAYOUT
 Scale: 1/8" = 1'-0"

JOB NOTES:
 1. REMOVE EXISTING DECKS AND STAIRS, APPROX 2000 SQ. FT. COMPLETE AND HAUL AWAY ALL DEBRIS.
 2. LIGHTING PACKAGE TO INCLUDE (1) IRIS ANELLO POST CAP LIGHTS, BLACK IN COLOR, (1) TREX RECESSED LIGHTS, (1) TRANSFORMER & ALL WIRING.
 3. (b) CONCRETE CUTS FOR NEW DECK FOOTERS.

DECK MATERIALS:
 1. DECKING- 5/4x6 PREMIUM P.T.
 2. SEAM BOARDS- 5/4x6 PREMIUM P.T.
 3. RAILING - 36" HIGH 2x4 PRESSURE TREATED RAILING SYSTEM W/ BLACK ROUND ALUMINUM BALUSTERS W/ 5/4x6 PREMIUM PRESSURE TREATED TOP CAP.
 4. WRAP- 2x10 PRESSURE TREATED.
 5. GATE- (2) P.T. MATCHING GATES W/ ALL NECESSARY HARDWARE
 6. PRIVACY PANELS- 11'-5" WIDE X 6'-0" HIGH P.T. BOARD ON BOARD PRIVACY PANELS & 2x4 TOP CAP.
 7. SKIRTING- 5/4 X 6 P.T. HORIZONTAL SKIRTING W/ ACCESS GATE.

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- 6 LF. RE-DECK
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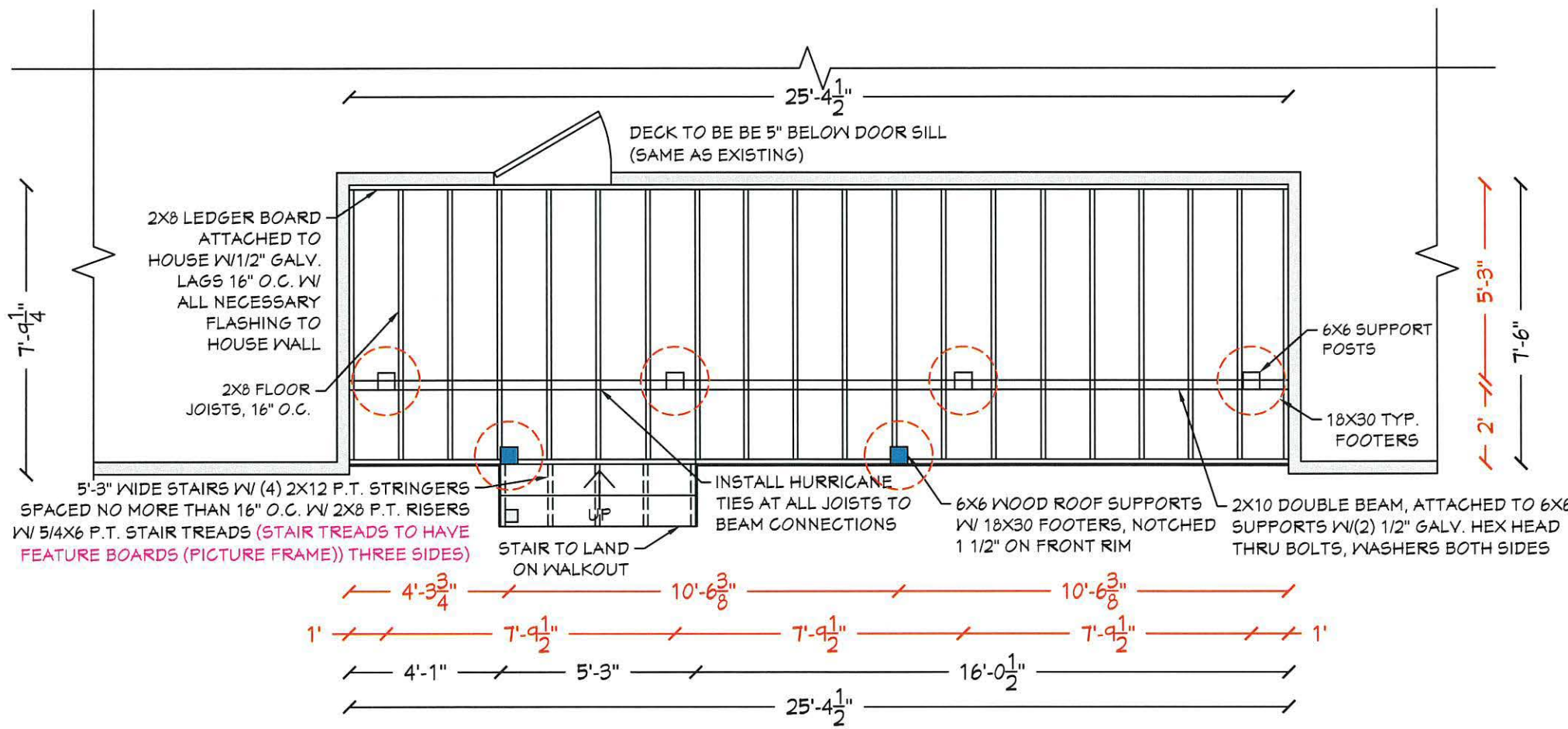
SHEET:
A-2



REAR DECK LAYOUT
 Scale: 1/8" = 1'-0"

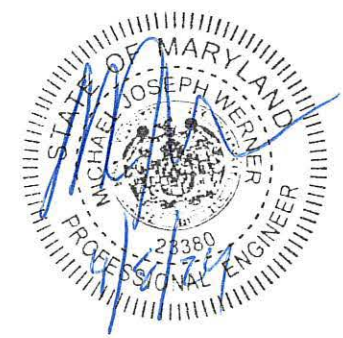
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PORCH FRAMING LAYOUT

Scale : 1/4" = 1'-0"

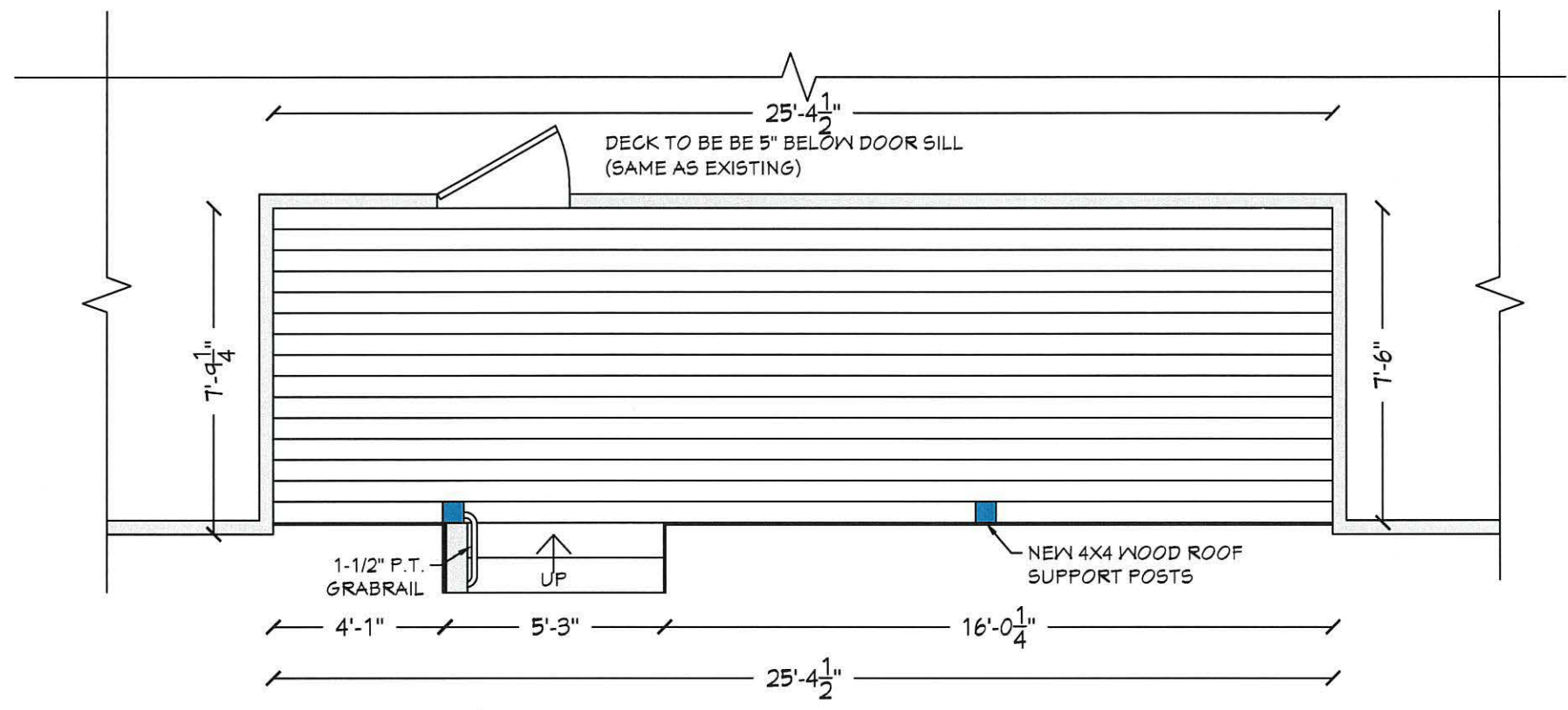


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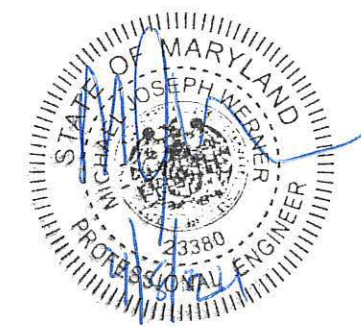
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| 04/08/2024 |
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PORCH DECK LAYOUT

Scale : 1/4" = 1'-0"



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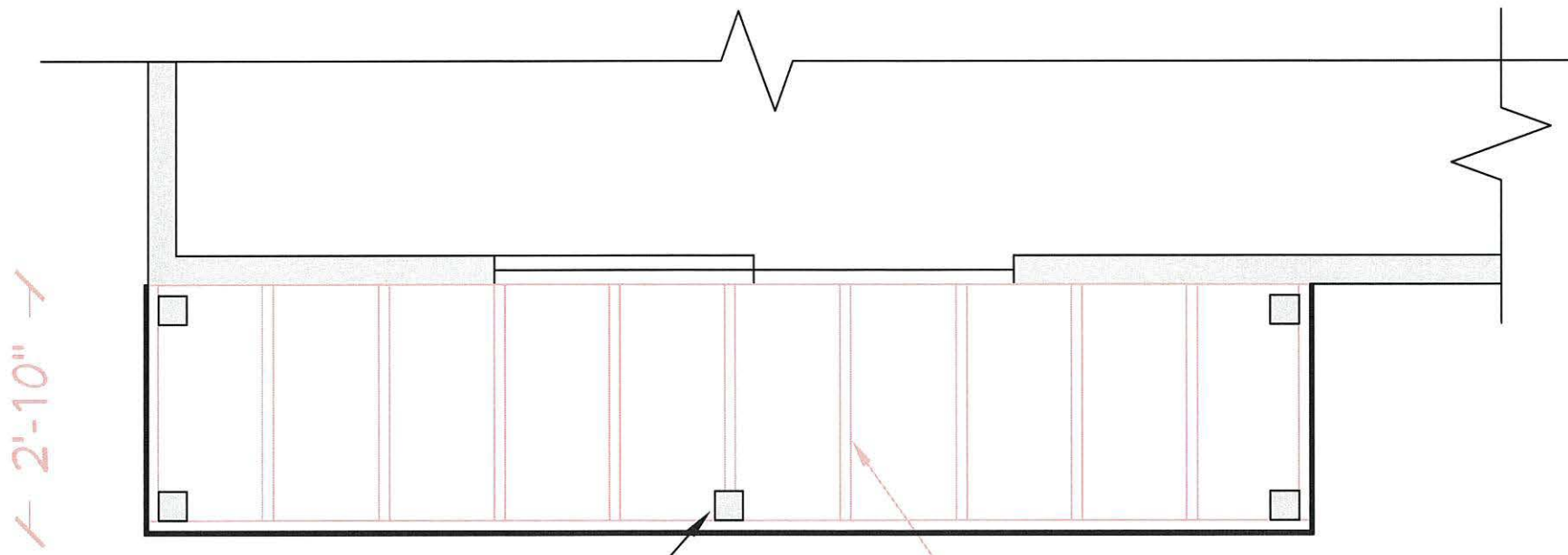
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SHEET:
A-4



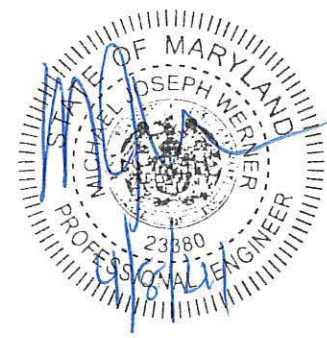
4X4 WOOD HANDRAIL POST
 ATTACHED TO FRAME W/ (2) 1/2"
 GALV. HEX HEAD THRU BOLTS,
 WASHERS BOTH SIDES

EXISTING UPPER
 LEFT DECK
 FRAMING TO
 REMAIN AS-IS

13'-5"

EXISTING UPPER LEFT FRAMING LAYOUT

Scale : 1/2" = 1'-0"



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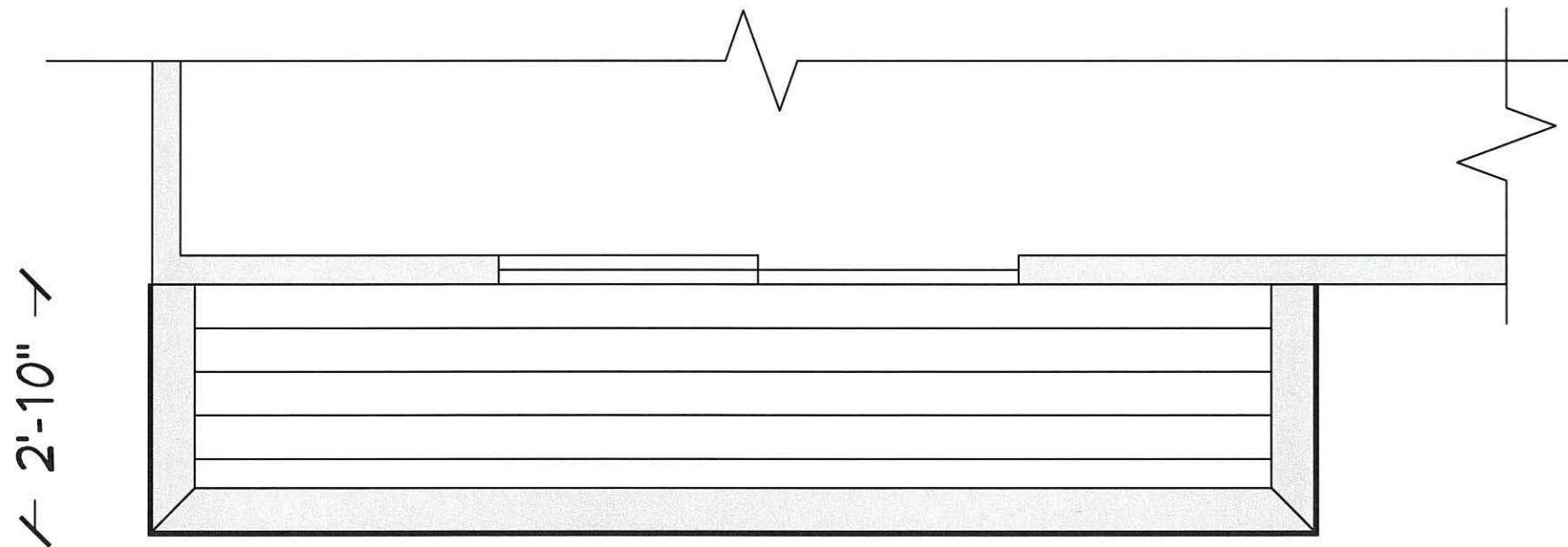
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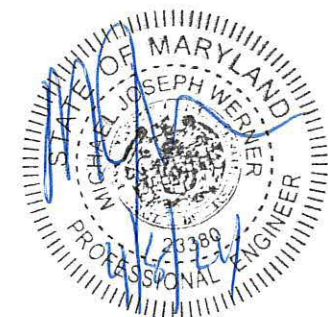
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UPPER LEFT RE-DECK LAYOUT

Scale : 1/2" = 1'-0"



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| 6 | LF. RE-DECK |
| 7 | EX. RT. FRAMING |
| 8 | RT. RE-DECK |
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| 11 | RT. ELEVATION |
| 12 | PR.FT. ELEVATION |
| 13 | BRACING DETAILS |
| 14 | CAD DETAILS |
| 15 | SIMPSON DETAILS |
| 16 | FOOTING DETAILS |

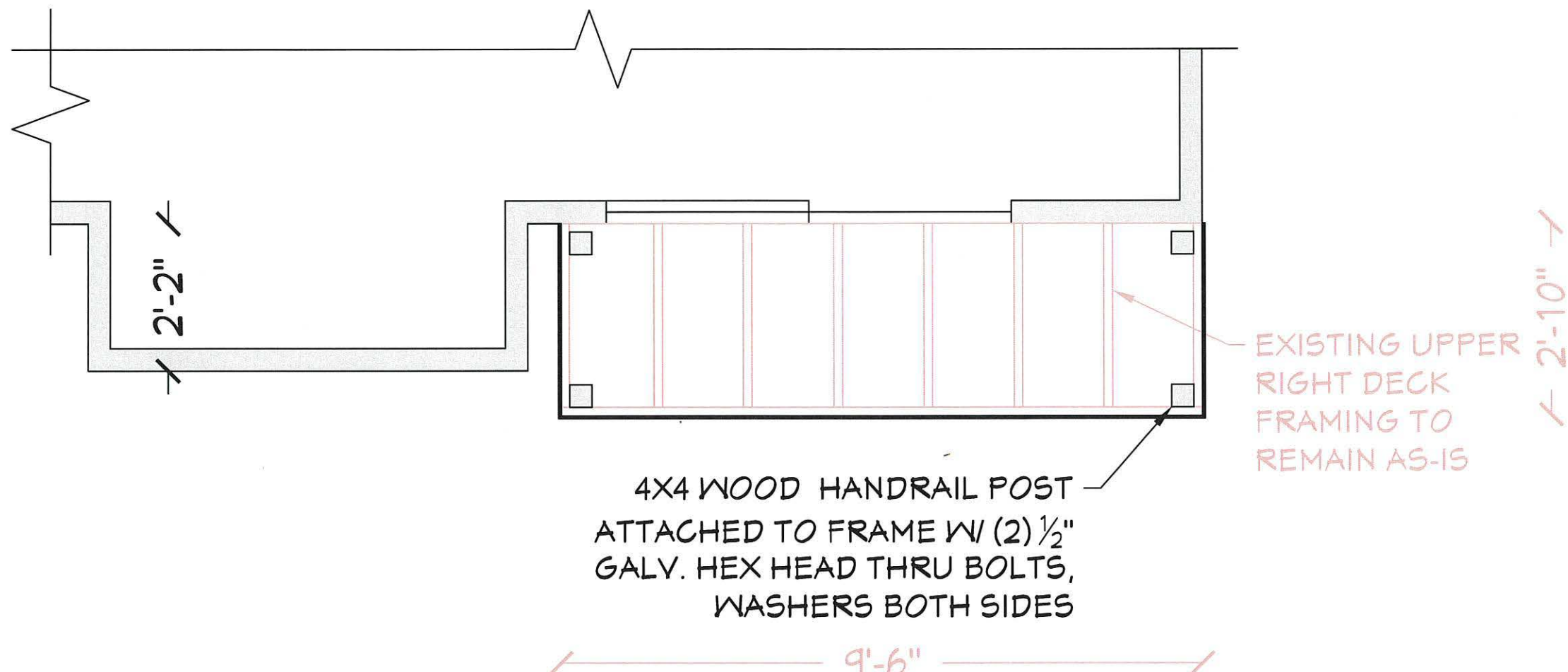
PROJECT DESCRIPTION:
 Conlin Deck Layout
 Stacy Conlin
 18030 View Top Court,
 Annapolis, Maryland 21409

DRAWINGS PROVIDED BY:
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 8057 Veterans Highway
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 410-969-4444
 www.fencedeckconnection.com

DATE:
04/08/2024

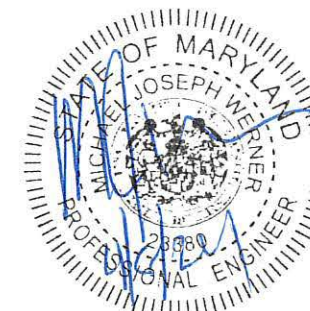
SCALE:
PER PLAN

SHEET:
A-6



EXISTING UPPER RIGHT FRAMING LAYOUT

Scale : 1/2" = 1'-0"



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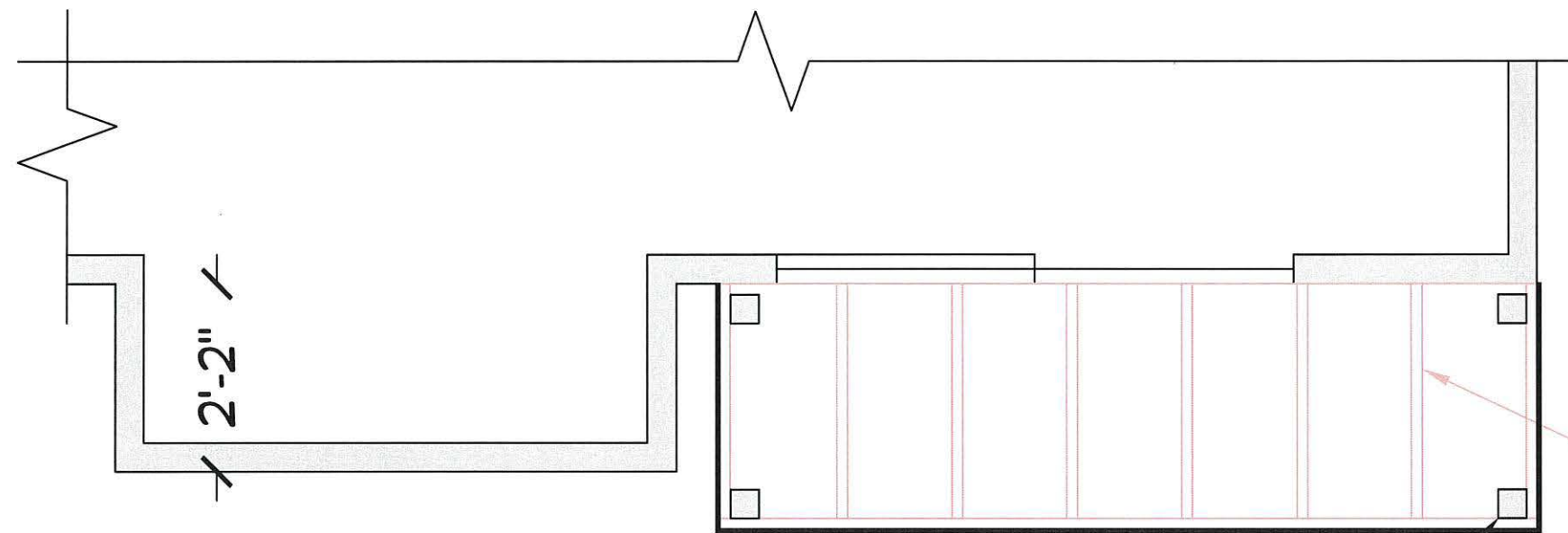
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|--------|------------|
| DATE: | 04/08/2024 |
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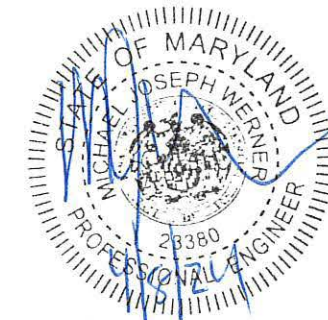


4X4 WOOD HANDRAIL POST
 ATTACHED TO FRAME W/ (2) 1/2"
 GALV. HEX HEAD THRU BOLTS,
 WASHERS BOTH SIDES

EXISTING UPPER
 RIGHT DECK
 FRAMING TO
 REMAIN AS-IS

EXISTING UPPER RIGHT FRAMING LAYOUT

Scale : 1/2" = 1'-0"



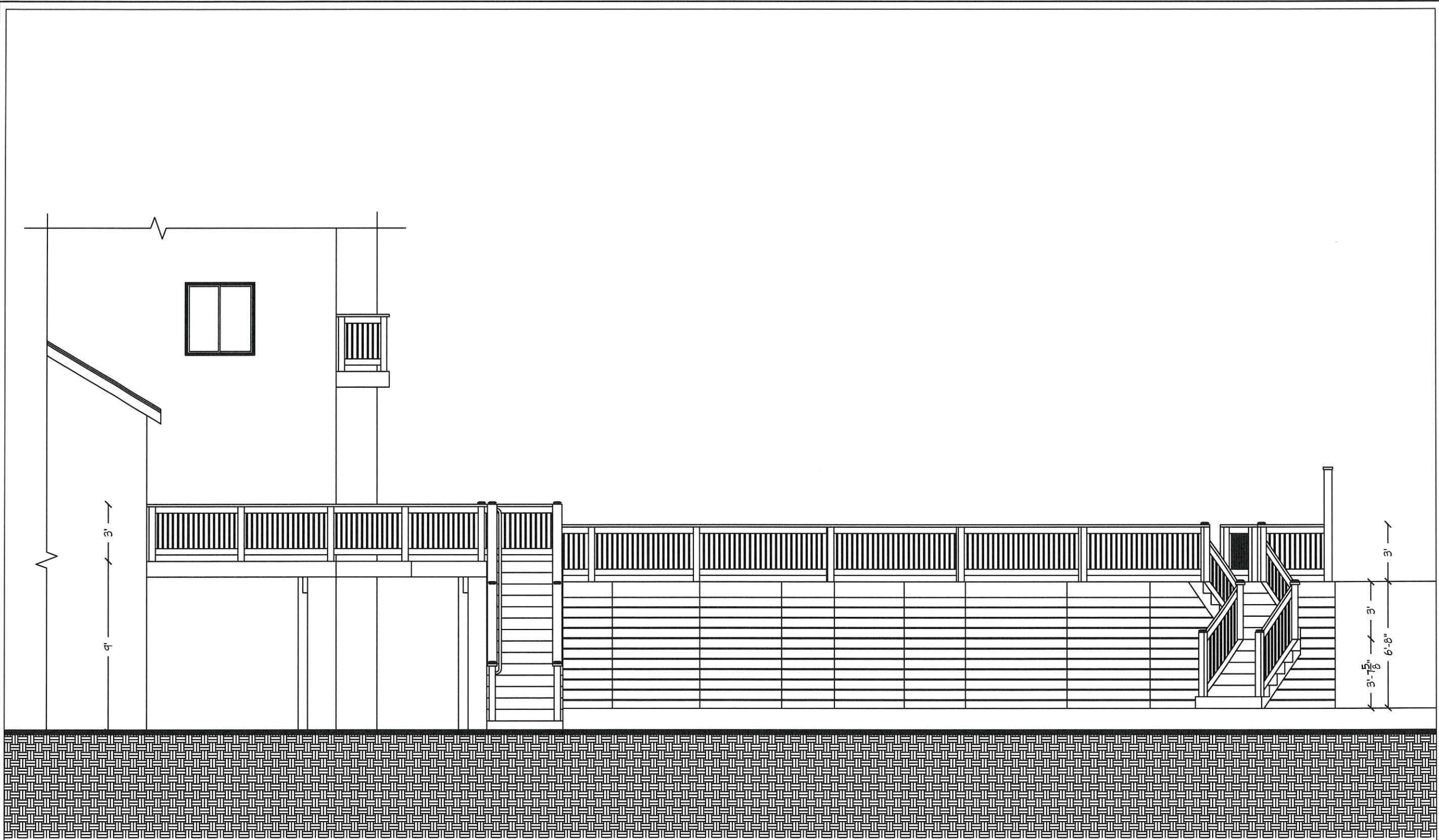
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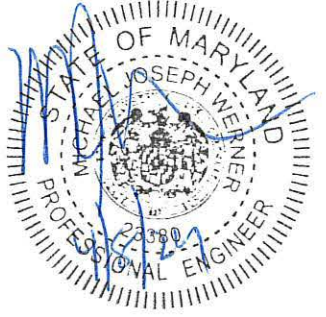
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| DATE: |
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| A-8 |



REAR LEFT ELEVATION

Scale : 3/16" = 1'-0"



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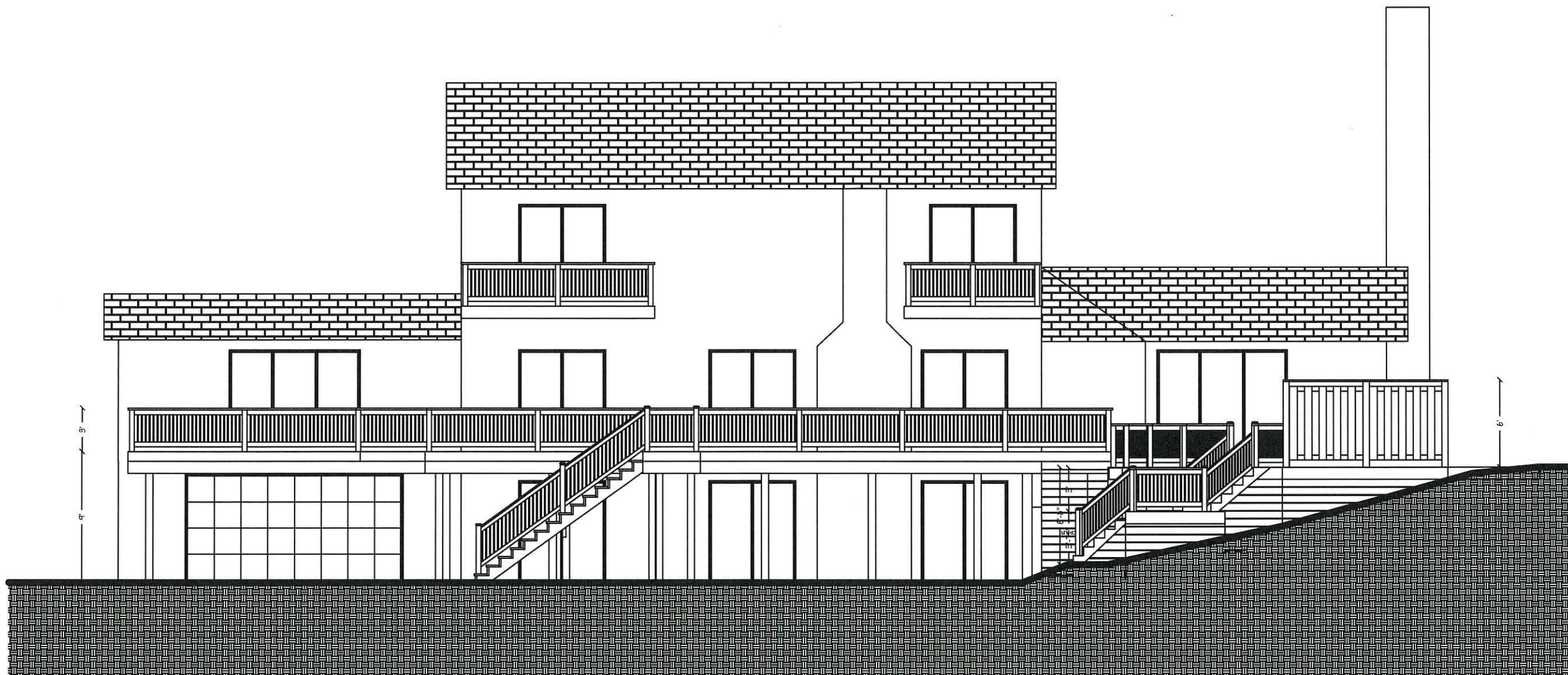
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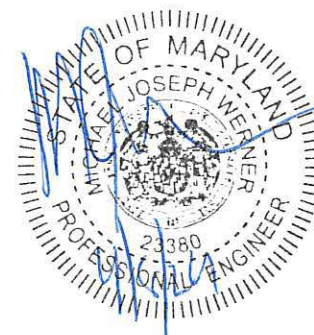
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| DATE: |
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| A-9 |



REAR FRONT ELEVATION

Scale : 1/8" = 1'-0"



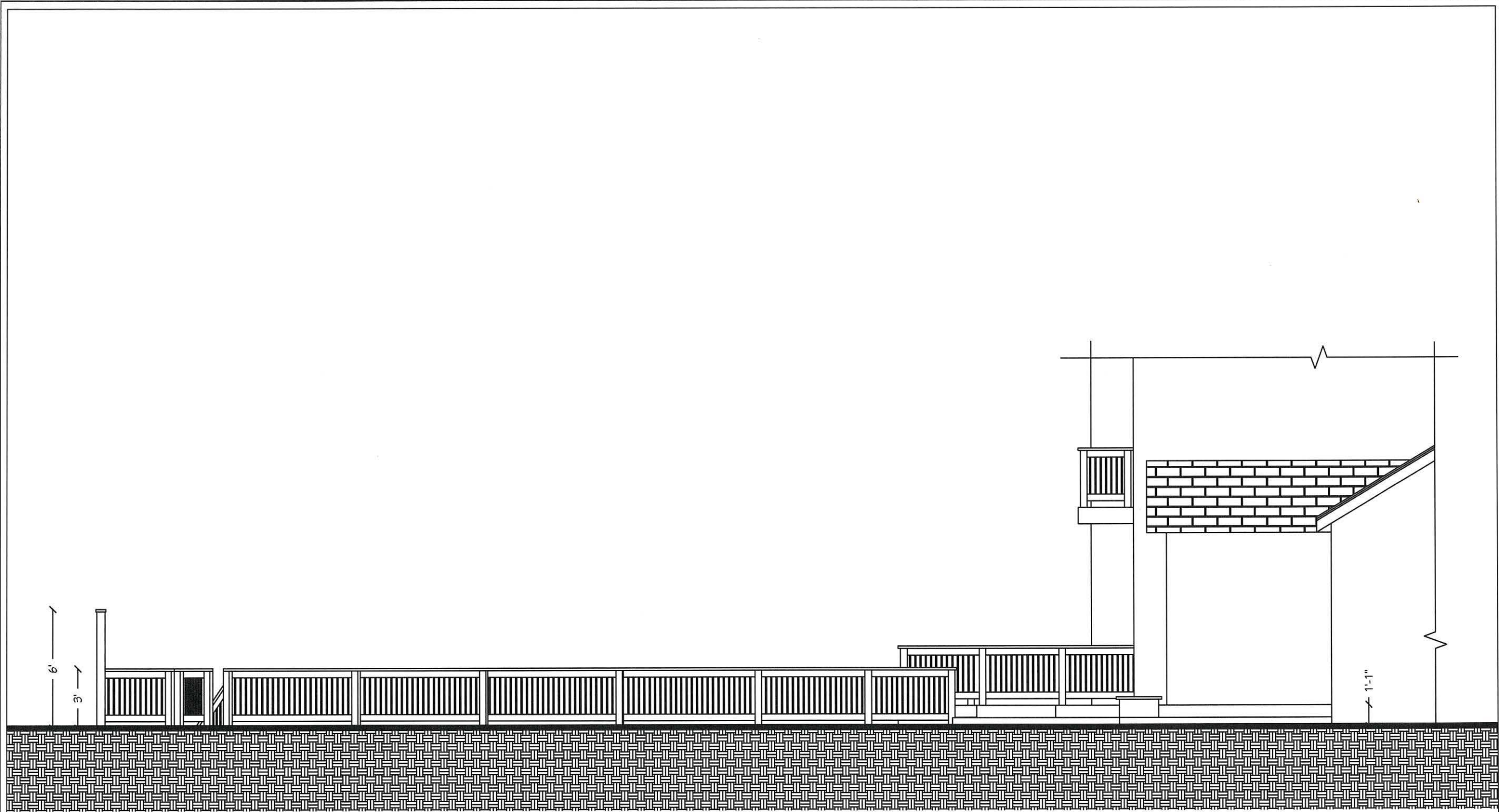
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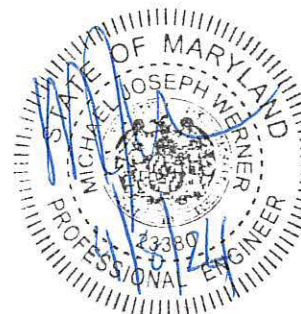
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| A-10 |



REAR RIGHT ELEVATION

Scale : 3/16" = 1'-0"



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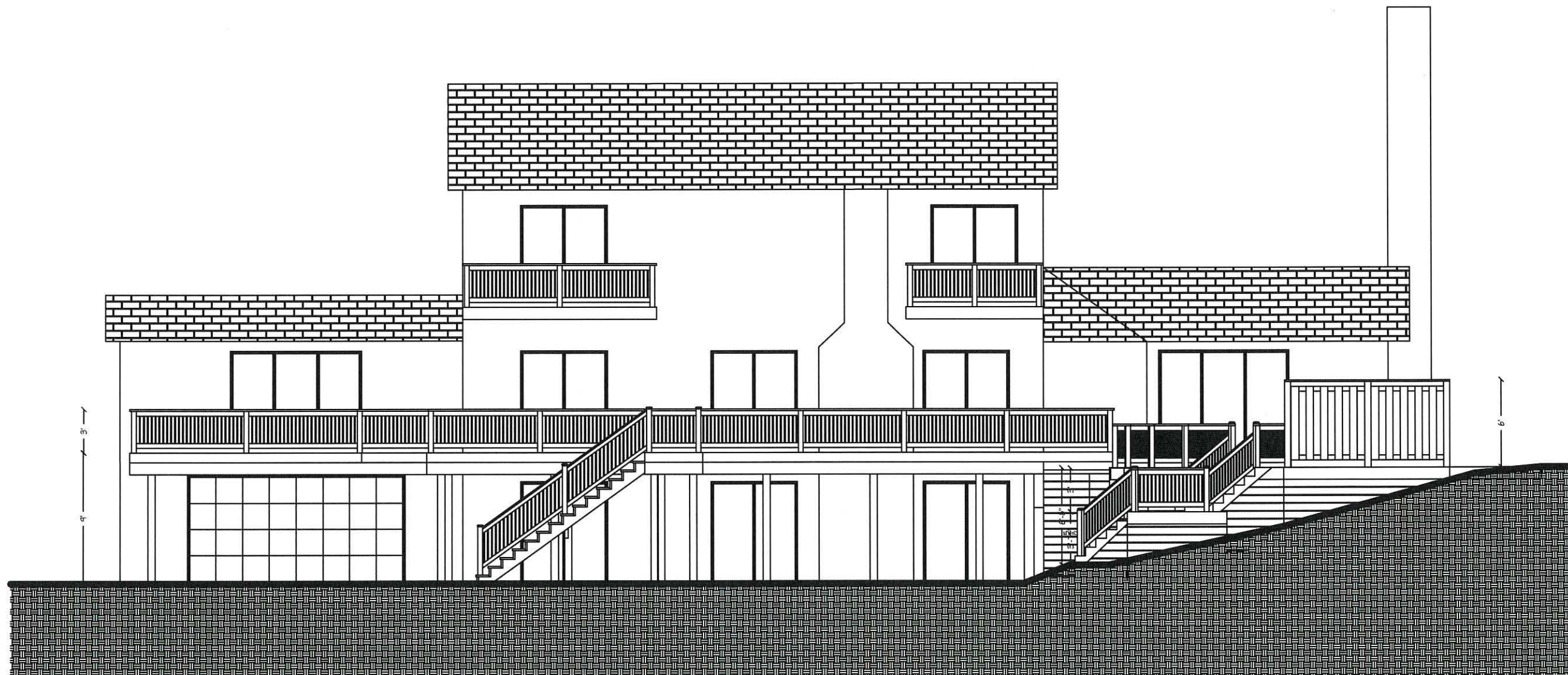
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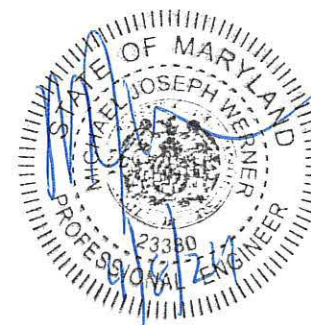
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REAR FRONT ELEVATION

Scale : 1/8" = 1'-0"



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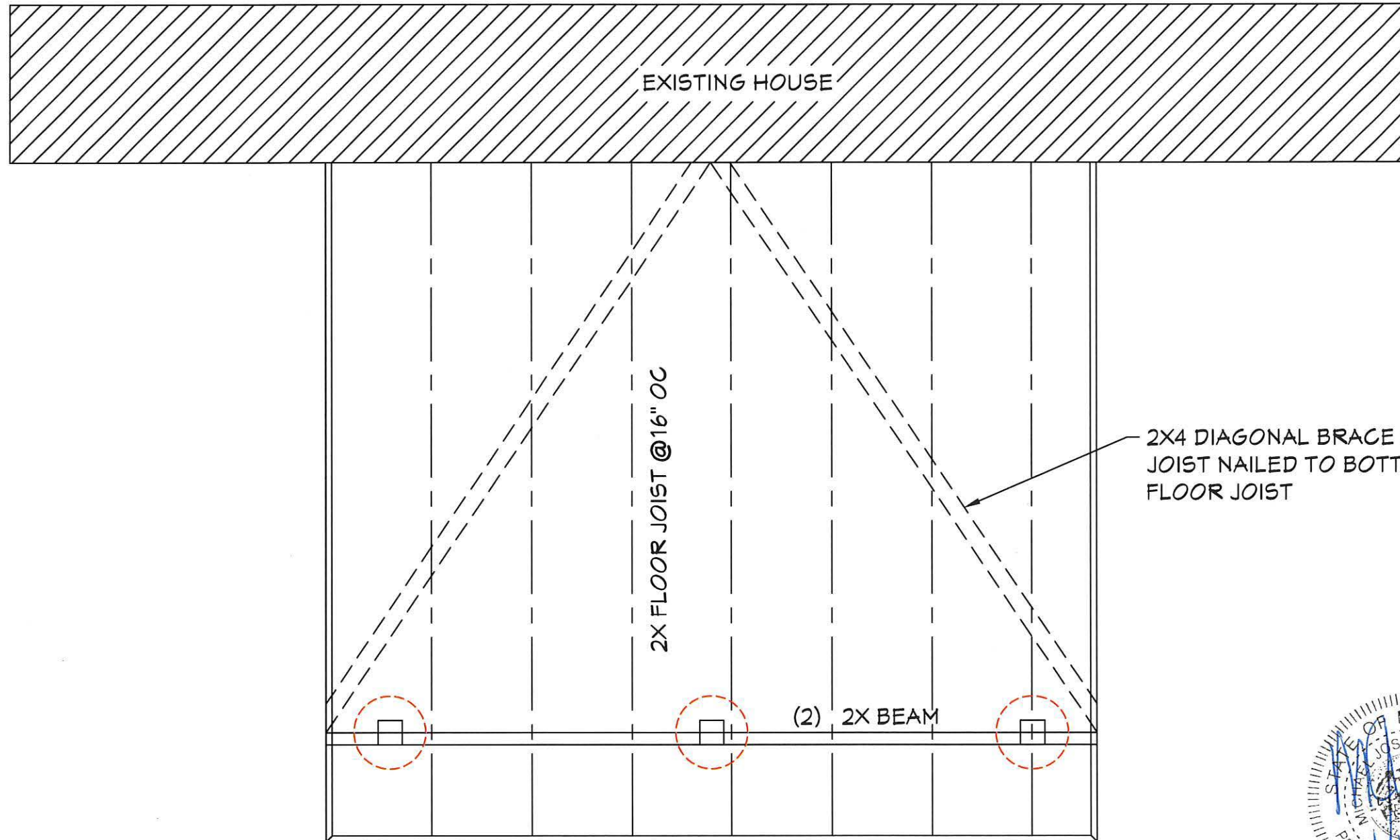
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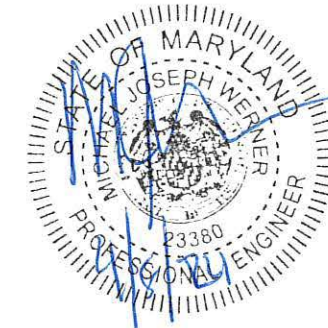
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BRACING DETAIL



2X4 DIAGONAL BRACE UNDER JOIST NAILED TO BOTTOM OF FLOOR JOIST



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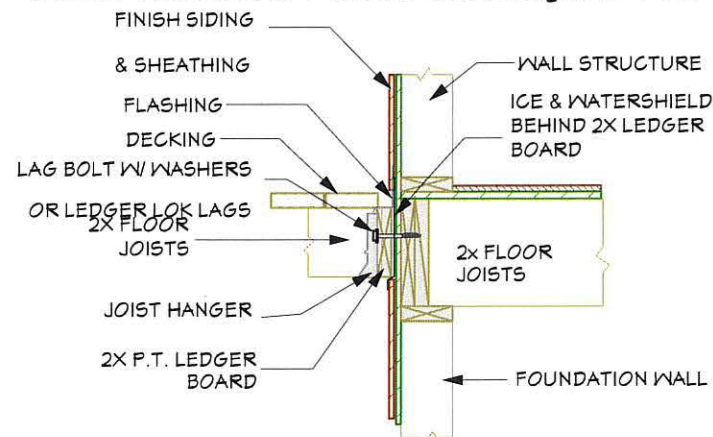
DETAIL SHEET
SCALE: 1/2" = 1'-0"
GENERAL NOTES:
ALL FASTENERS SHALL BE ACQ APPROVED.
ALL LUMBER TO BE #2 S. PINE OR BETTER.
ALL WOOD RAILING AND DECKING TO BE #1 S. PINE.
ALL LUMBER SHALL BE P/T.

- JOB NOTES:**
- 2X10 FLOOR JOISTS, PRESSURE TREATED.
 - 2X10 DOUBLE BEAM, PRESSURE TREATED.
 - 6X6 SUPPORT POSTS, PRESSURE TREATED.
 - 5-1/4"X11-7/8" GLULAM BEAM, ESR-1940
 - 5/4X6 PREMIUM P.T. DECKING, FACE SCREWED TO FLOOR JOISTS.
 - 5/4X6 PREMIUM P.T. SEAM BOARDS.
 - 36" HIGH 2X4 PRESSURE TREATED RAILING SYSTEM W/ BLACK ROUND ALUMINUM BALUSTERS WITH 5/4X6 PREMIUM PRESSURE TREATED TOP CAP.
 - 2X12 P.T. WRAP AROUND PERIMETER OF DECK.
 - (2) P.T. MATCHING GATES W/ ALL NECESSARY HARDWARE.
 - 11'-5" WIDE X 6'-0" HIGH P.T. BOARD ON BOARD PRIVACY PANELS & 2X4 TOP CAP.
 - 5/4X6 P.T. HORIZONTAL SKIRTING W/ ACCESS GATE.

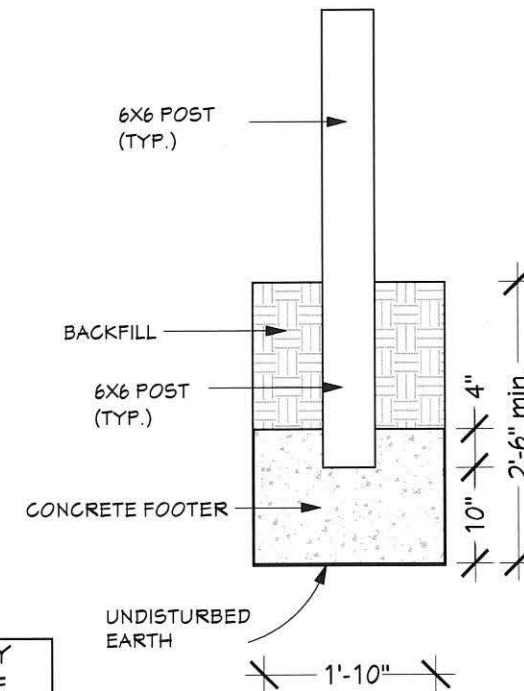
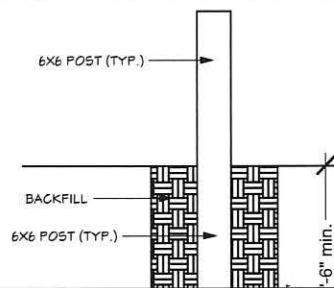
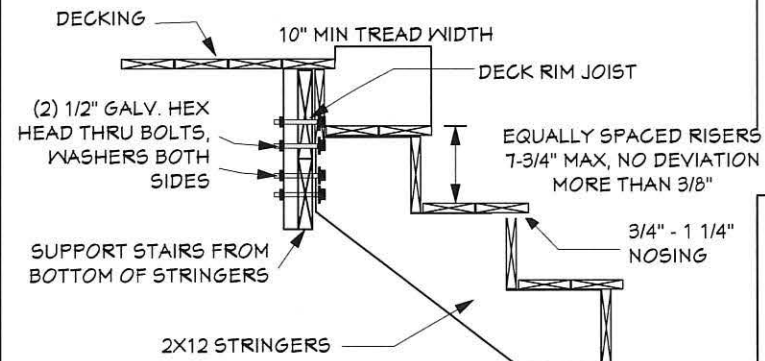
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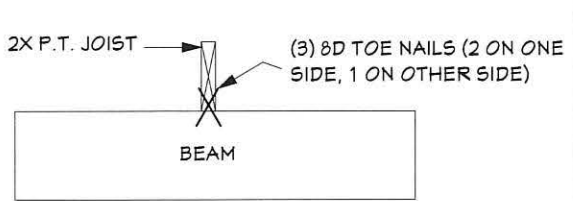
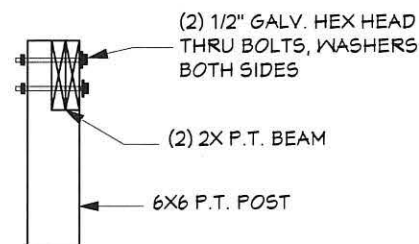
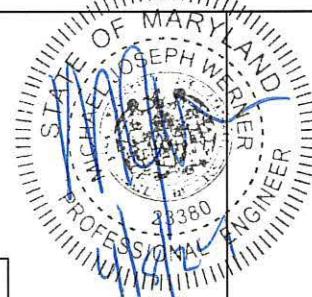
Deck Anchored to Wood Wall: Ledger to Wall



Exterior Stair Detail



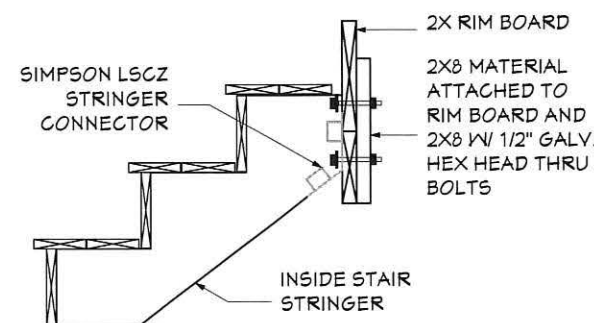
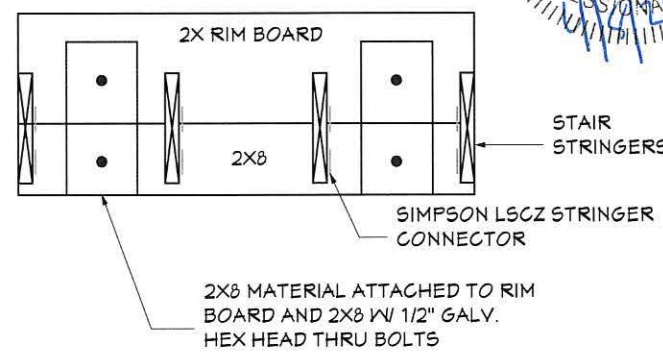
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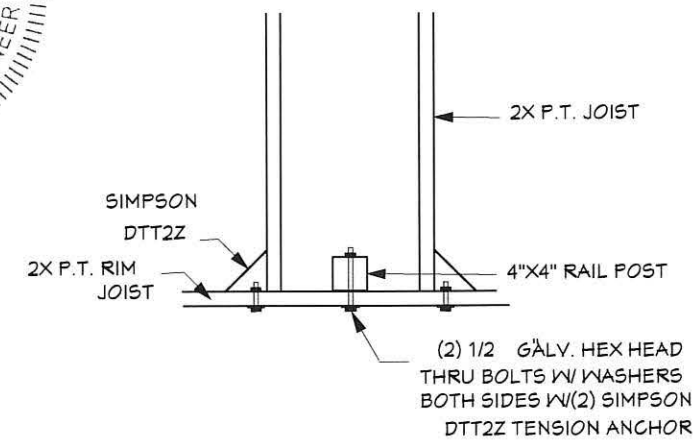
POST TO BEAM DETAIL

JOIST TO BEAM DETAIL

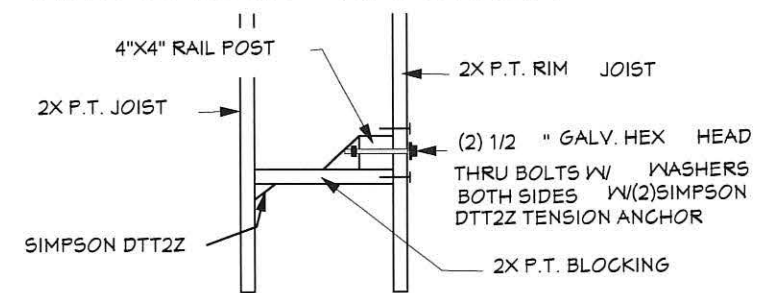
STAIR STRINGER ATTACHMENT



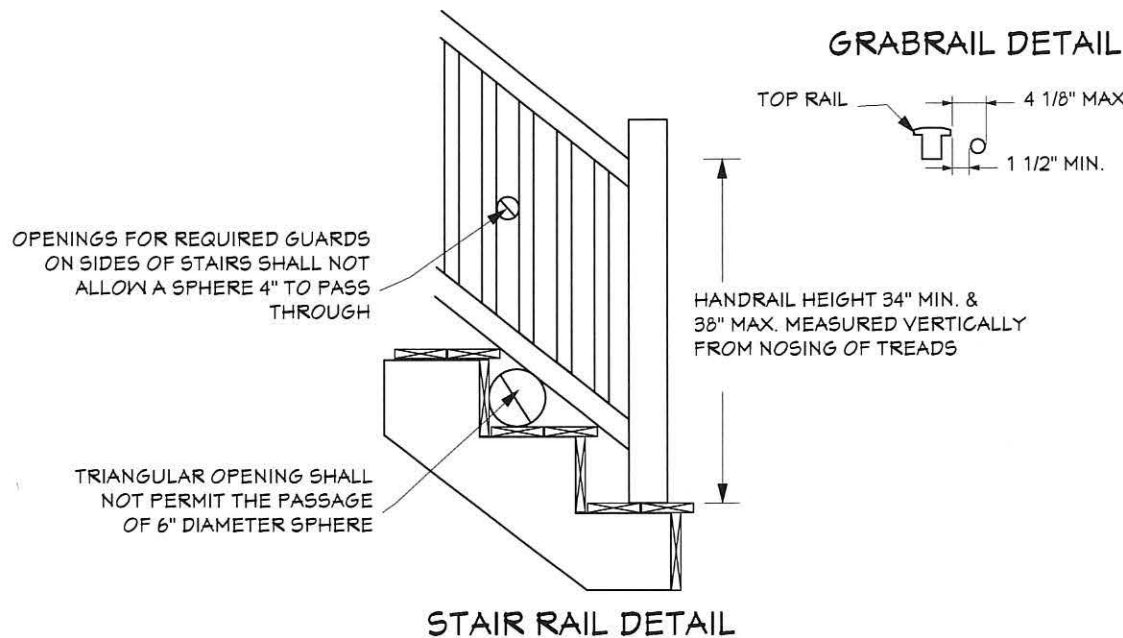
FRONT OF DECK ATTACHMENT



SIDES OF DECK ATTACHMENT



RAILING POST ATTACHMENT

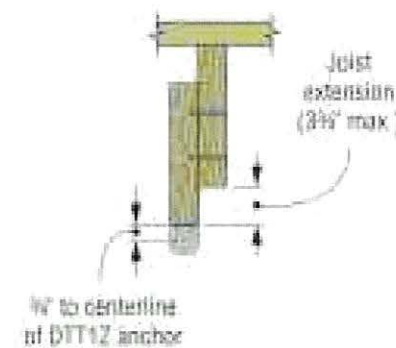
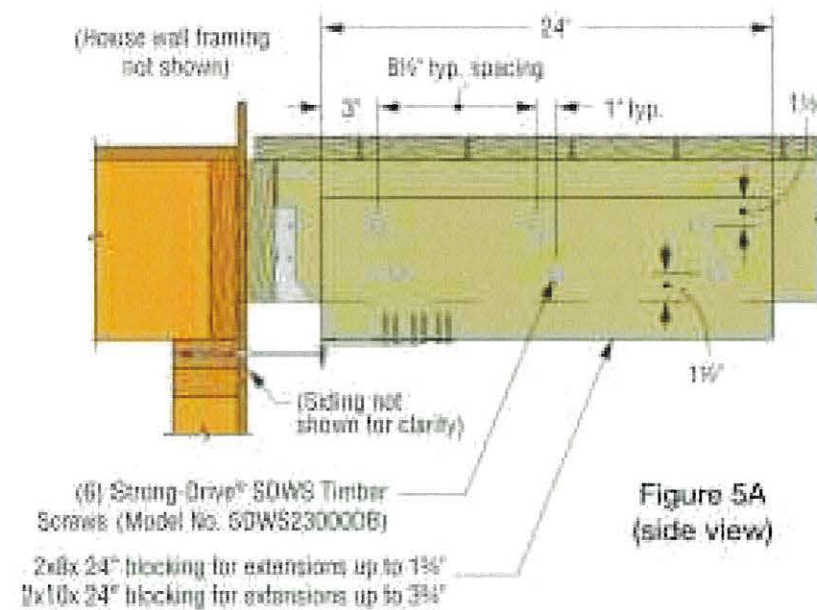
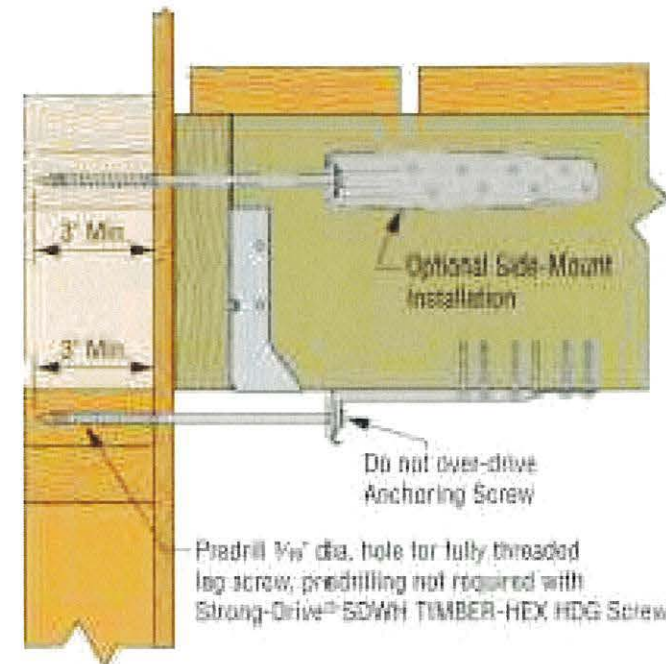
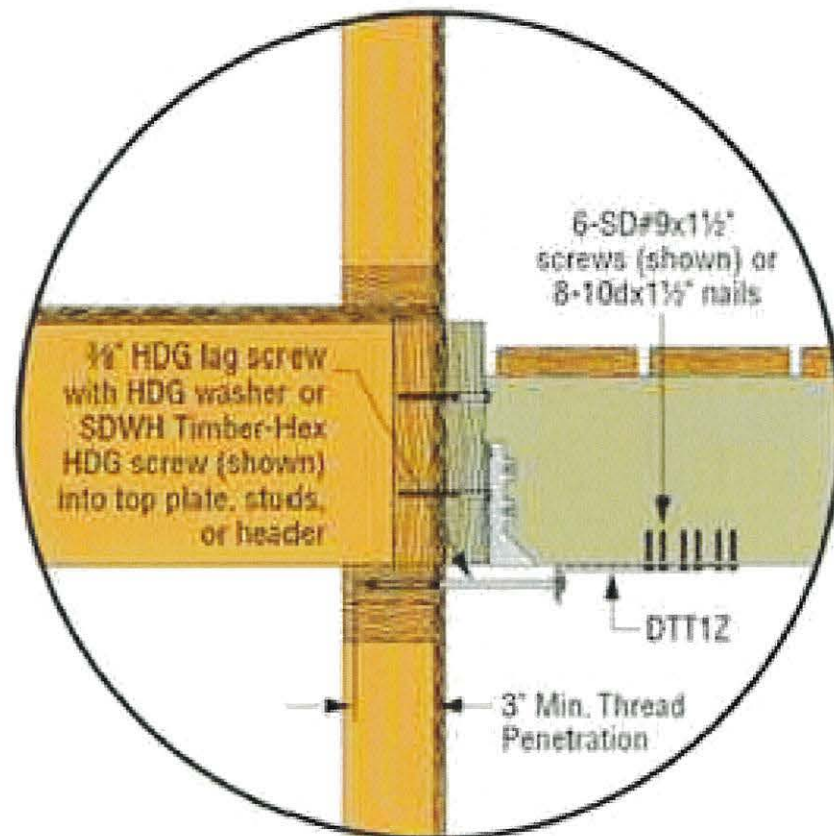


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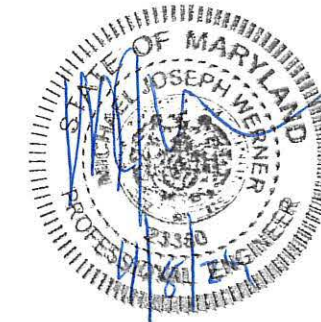
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| DATE: |
| 04/08/2024 |
| SCALE: |
| PER PLAN |
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| A-14 |

SIMPSON DTT1Z DECK TENSION TIE



Code Requirements

The DTT1 Hold-Down may be used to satisfy the deck lateral load connection requirement for a 750 pound hold-down tension device in 2021 IRC Section R507.9.2.



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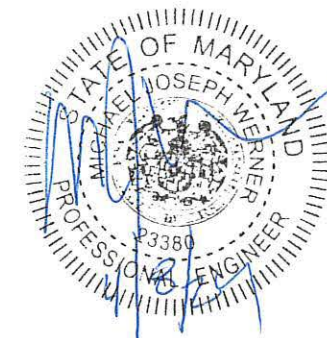
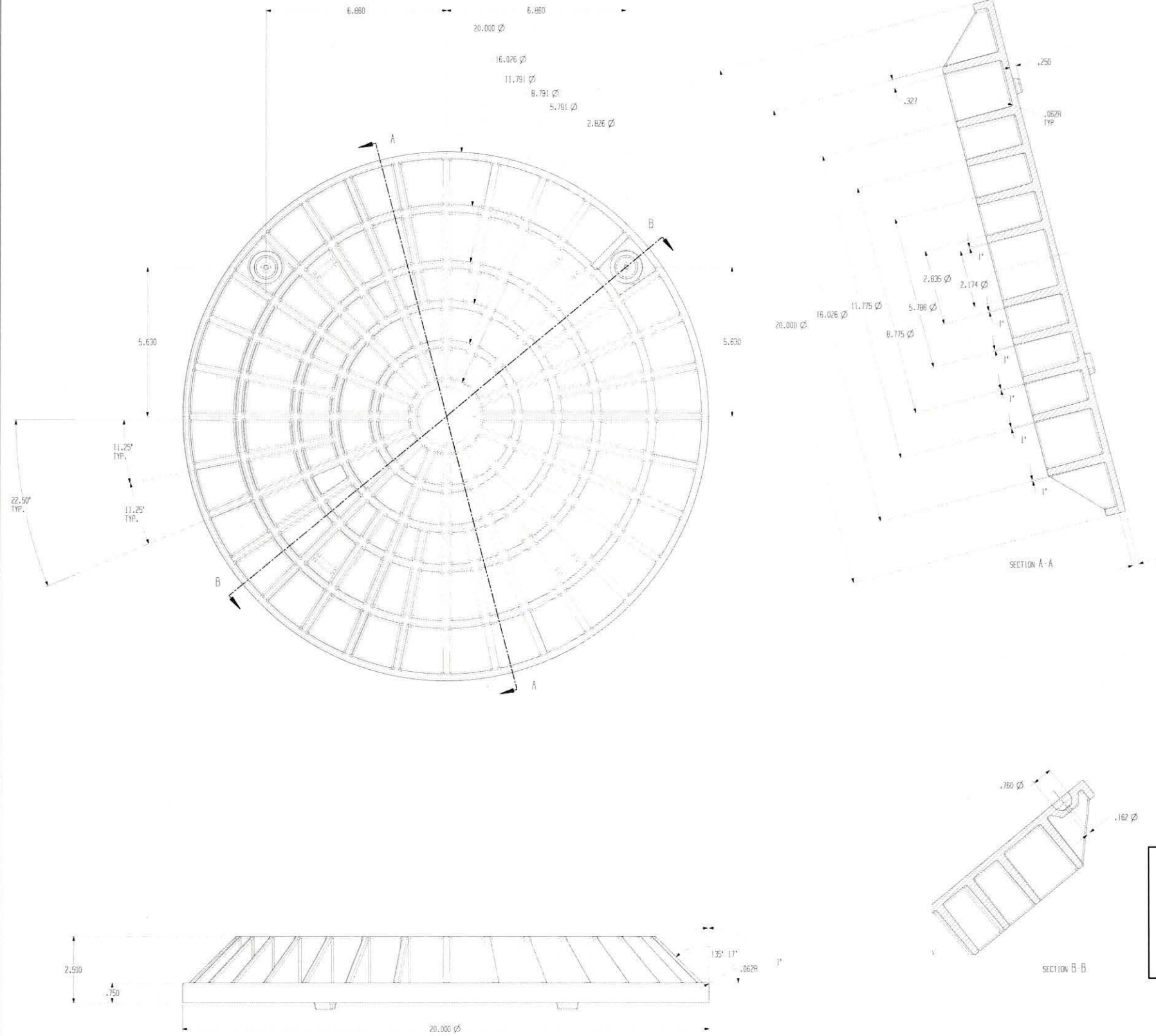
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| REVISIONS | | | | | | |
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| | |
|----------------------|------|
| FRANCHINO | |
| MOLD AND ENGINEERING | |
| 20 INCH FOOTING PAD | |
| NO. CD | |
| 03/02/18 | 2433 |

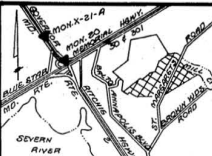
UNLESS OTHERWISE SPECIFIED:
 2 PLACE DECIMALS = .01
 3 PLACE DECIMALS = .001
 4 PLACE DECIMALS = .0005
 ANGLES = 1/8" OF 30"
 REMOVE ALL SHARP EDGES

- SHEET INDEX
- RR. FRAMING
 - RR. DECK
 - FR. FRAMING
 - FR. DECK
 - EX. LF. FRAMING
 - LF. RE-DECK
 - EX. RT. FRAMING
 - RT. RE-DECK
 - LT. ELEVATION
 - 10 FT. ELEVATION
 - 11 RT. ELEVATION
 - 12 PR. FT. ELEVATION
 - 13 BRACING DETAILS
 - 14 CAD DETAILS
 - 15 SIMPSON DETAILS
 - 16 FOOTING DETAILS

PROJECT DESCRIPTION:
 Conlin Deck Layout
 Stacy Conlin
 18030 View Top Court,
 Annapolis, Maryland 21409

DRAWINGS PROVIDED BY:
 Fence & Deck Connection, Inc.
 8057 Veterans Highway
 Millersville, MD, 21108
 410-969-4444
www.fencedeckconnection.com

| | |
|--------|------------|
| DATE: | 04/08/2024 |
| SCALE: | PER PLAN |
| SHEET: | A-16 |



NOTE: A TEMPORARY CONSTRUCTION EASEMENT IS RESERVED ON ALL LOTS SHOWN HEREON BETWEEN THE RIGHT-OF-WAY LINE AND THE BUILDING RESTRICTION LINE FOR THE PURPOSE OF CONSTRUCTION OF ROADS SHOWN HEREON ONLY THAT WORK NECESSARY FOR THE EXECUTION OF THE APPROVED ROAD CONSTRUCTION PLANS SHALL BE PERFORMED WITHIN THIS EASEMENT. SAID EASEMENT WILL CEASE TO EXIST UPON COMPLETION OF THESE ROADS, AND THE RELEASE OF ANY MAINTENANCE BOND HELD BY A.R. CO., INC.

NOTE: PRIOR TO ISSUANCE OF BUILDING PERMITS DETAIL GRADING PLANS FOR DRIVEWAY ENTRANCES MUST BE REQUIRED ON LOTS NO. 34, 36, 38, 53 AND 60.

- NOTES: 1. THE RECREATION REQUIREMENTS OF ANNE ARUNDEL COUNTY, MARYLAND HAVE BEEN MET BY MONETARY PAYMENT IN LIEU OF DEDICATING LAND. P4 4-14-78 #3,700.00 2. NO DRIVEWAY ACCESS WILL BE PERMITTED TO ST. MARGARETS ROAD FROM LOTS NO. 38, 39, 40, 41 AND 42. 3. LOTS 53, 59, 61 TO HAVE COMMON INGRESS AND EGRESS TO AND FROM ST. MARGARETS ROAD OVER THE TWO 20' STRIPS OF LAND AS SHOWN. 4. LOTS 58 AND 62 TO HAVE COMMON INGRESS AND EGRESS TO AND FROM ST. MARGARETS ROAD OVER THE TWO 20' STRIPS OF LAND AS SHOWN.

COORDINATE TABLE with columns for NO, NORTH, EAST, NORTH, EAST. Contains coordinate data for various points on the plat.

CURVE DATA TABLE with columns for NO, A, RAD, LEN, TAN, CHORD. Lists curve data for various points on the plat.

NOTICE TO TITLE EXAMINERS:

1. THIS PLAT HAS BEEN APPROVED FOR RECORDING ONLY SUBJECT TO A SUBDIVISION AGREEMENT WITH ANNE ARUNDEL CO., MD. 9-7-78 AND RECORDED AMONG THE LAND RECORDS OF A.R. CO., MD. IN LIBER 3121 AT FOLIO 481. 2. NO SALE OR CONTRACT OF SALE OF LOTS SHOWN HEREON SHALL BE MADE UNTIL THE NECESSARY IMPROVEMENTS HAVE BEEN SATISFACTORILY GUARANTEED BY A SURETY BOND, CERTIFIED CHECK, CASH OR AN IRREVOCABLE LETTER OF CREDIT FROM A LOCAL BANK OR OTHER SUCH SECURITY AS AUTHORIZED BY LAW AND SUCH AGREEMENT HAS BEEN ENTERED INTO BY THE DEVELOPER WITH THE PUBLIC WORKS DEPT. IN ACCORDANCE WITH SUBDIVISION REGULATIONS. 3. NO BUILDING PERMITS SHALL BE ISSUED FOR ANY CONSTRUCTION IN THIS DEVELOPMENT UNLESS THE REQUIREMENTS OF SECTION 3-108(A) OF ARTICLE 5 OF THE ANNOTATED CODE OF MARYLAND, 1957 EDITION AS AMENDED 1973 TITLE, REAL PROPERTY AS FAR AS RELATED TO THE MAKING OF THIS PLAT AND SETTING OF MARKERS HAVE BEEN COMPLIED WITH.

OWNERS DEDICATION:

WE, THE MEADOWS A JOINT VENTURE, BY JOHN E. HARMS, JR., PRESIDENT OF E.J.R. INC., MANAGING PARTNER, OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND THE REQUIREMENTS OF SECTION 3-108(A) OF ARTICLE 5 OF THE ANNOTATED CODE OF MARYLAND, 1957 EDITION AS AMENDED 1973 TITLE, REAL PROPERTY AS FAR AS RELATED TO THE MAKING OF THIS PLAT AND SETTING OF MARKERS HAVE BEEN COMPLIED WITH.

SURVEYORS CERTIFICATE:

I HEREBY CERTIFY THAT THE PLAT SHOWN HEREON IS CORRECT, THAT IT IS A SUBDIVISION OF PART OF THE LAND CONVEYED BY HAROLD E. SLANKER, SR., ET AL TO E.J.R. INC. AND THE MEADOWS OF MILL CREEK, INC., MARYLAND COMPANY, A JOINT VENTURE, BY DEED DATED DECEMBER 22, 1977, AND RECORDED AMONG THE LAND RECORDS OF ANNE ARUNDEL CO., MARYLAND IN LIBER W.G.L. 3039 AT FOLIO 241. THE REQUIREMENTS OF SECTION 3-102 OF THE ANNE ARUNDEL COUNTY SUBDIVISION REGULATIONS HAVE BEEN COMPLIED WITH.

A.R. COUNTY OFFICE OF PLANNING & ZONING:

APPROVED: [Signature] DATE: 9-13-78

A.R. COUNTY HEALTH DEPARTMENT:

APPROVED: [Signature] DATE: 12-11-77

LEGEND

- IRON PIN
MONUMENT
GENERAL EASEMENT TO DISCHARGE FLOW OF WATER FROM OR INTO CONSULTING ENGINEERS & LAND SURVEYORS EX WATERWAY OR NATURAL DRAINAGE COURSE. PASADENA MARYLAND

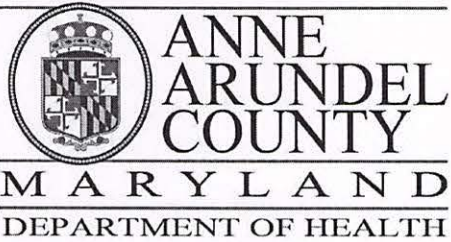
SECTION TWO THE MEADOWS

3RD. ASSESSMENT DIST. ANNE ARUNDEL CO., MD. SCALE: 1" = 200' DECEMBER, 1977



JOHN E. HARMS, JR. & ASSOCIATES, INC. - PROFESSIONAL ENGINEERS & LAND SURVEYORS





J. Howard Beard Health Services Building
3 Harry S. Truman Parkway
Annapolis, Maryland 21401
Phone: 410-222-7095 Fax: 410-222-7294
Maryland Relay (TTY): 711
www.aahealth.org

Tonii Gedin, RN, DNP
Health Officer

MEMORANDUM

TO: Sadé Medina, Zoning Applications
Planning and Zoning Department, MS-6301

FROM: Brian Chew, Program Manager *BC*
Bureau of Environmental Health

DATE: July 2, 2024

RE: John Richard Conlin III
1803 View Top Court
Annapolis, MD 21409

NUMBER: 2024-0123-V

SUBJECT: Variance/Special Exception/Rezoning

The Health Department has reviewed the above referenced variance to allow a dwelling addition (deck) with disturbance to steep slopes of 15% or greater and with less setbacks than required .

The Health Department has reviewed the on-site sewage disposal for the above referenced property. The Health Department has determined that the proposed request does not adversely affect the on-site sewage disposal system. The Health Department has no objection to the above referenced request. An administrative variance with the Health Department for the setback of the deck to the septic tank will need to be obtained.

If you have further questions or comments, please contact Brian Chew at 410-222-7413.

cc: Sterling Seay



Jennifer Esposito -DNR- <jennifer.esposito@maryland.gov>

Conlin Variance_2024-0123-V_AA157-24

Jennifer Esposito <jennifer.esposito@maryland.gov>
To: Sadé Medina <pzmedi22@aacounty.org>
Cc: Charlotte Shearin -DNR- <charlotte.shearin@maryland.gov>

Thu, Jul 18, 2024 at 10:36 AM

Good afternoon,

The Critical Area Commission has reviewed the aforementioned variance. Provided that the Administrative Hearing Officer finds that all of the Critical Area Variance standards have been met, appropriate mitigation is required.

Thank you for the opportunity to provide comments. If you have any questions or concerns, please let me know.

The above comments have been uploaded to the County's online portal.



 facebook_logo.jpg
 twitter_logo.jpg

dnr.maryland.gov/criticalarea

Jennifer Esposito

Critical Area Commission for the
Chesapeake & Atlantic Coastal Bays

1804 West Street, Suite 100

Annapolis, MD 21401

Office: 410-260-3468

(In office: Mon., Wed., Friday)

Cell: 443-569-1361

(Teleworking: Tues., Thurs.)

jennifer.esposito@maryland.gov

Task Details **OPZ Critical Area Team**

| | |
|---|--|
| Assigned Date 06/25/2024 | Due Date 07/16/2024 |
| Assigned to Kelly Krinetz | Assigned to Department OPZ Critical Area |
| Current Status Complete w/ Comments | Status Date 07/01/2024 |
| Action By Kelly Krinetz | Overtime No |
| Comments No objection. | Start Time |
| End Time | Hours Spent 0.0 |
| Billable No | Action by Department OPZ Critical Area |
| Time Tracking Start Date | Est. Completion Date |
| In Possession Time (hrs) 0.0 | <input type="checkbox"/> Display E-mail Address in ACA |
| Estimated Hours 0.0 | <input checked="" type="checkbox"/> Display Comment in ACA |
| Comment Display in ACA | |
| <input checked="" type="checkbox"/> All ACA Users | |
| <input checked="" type="checkbox"/> Record Creator | |
| <input checked="" type="checkbox"/> Licensed Professional | |
| <input checked="" type="checkbox"/> Contact | |
| <input checked="" type="checkbox"/> Owner | |

Task Specific Information

| | | |
|------------------------------|-----------------------|----------------------|
| Expiration Date | Review Notes | Reviewer Name |
| Reviewer Phone Number | Reviewer Email | |

1803 View Top Court (2024-0123-V)



Legend

Foundation

Addressing



Parcels



Parcels - Annapolis City



Planning

County Planning

Buffer

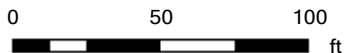


Modified Buffer



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

none



THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes