

**FINDINGS AND RECOMMENDATION
OFFICE OF PLANNING AND ZONING
ANNE ARUNDEL COUNTY, MARYLAND**

APPLICANT: Colin J. Withers, Trustee

ASSESSMENT DISTRICT: 3rd

CASE NUMBER: 2024-0135-V

COUNCILMANIC DISTRICT: 5th

HEARING DATE: September 26, 2024

PREPARED BY: Sara Anzelmo
Planner

REQUEST

The applicant is requesting a variance to allow dwelling additions (second story over existing first floor and two-story addition) with less setbacks than required on property located at 656 Shore Road in Severna Park.

LOCATION AND DESCRIPTION OF SITE

The subject site consists of 10,403 square feet of land and is located with approximately 141 feet of frontage on the east side of Shore Road, west of Laurel Place. It is identified as Lots 1 & 2 and part of Lots 3 & 4 of Parcel 38 in Block 4 on Tax Map 31 in the Carrollton Manor subdivision.

The property is zoned R5 – Residential District, lies entirely within the Chesapeake Bay Critical Area overlay, and is designated as IDA – Intensely Developed Area. It is improved with a one-story, single-family, detached dwelling with a basement and other associated facilities.

PROPOSAL

The applicant proposes to construct a second story addition over a portion of the existing one story dwelling and to construct a two-story addition with a basement and built-in garage onto the front. A portion of the existing dwelling will be removed in order to remedy the current encroachment into the Laurel Place right-of-way.

REQUESTED VARIANCES

§ 18-4-701 of the Anne Arundel County Zoning Code provides that a principal structure in an R5 District shall be set back a minimum of 25 feet from the front lot line and 20 feet from the corner side lot line. The proposed dwelling additions would be constructed as close as four feet from the front lot line (abutting Shore Road) and as close as six feet from the corner side lot line (abutting Laurel Place), necessitating variances of 21 feet and 14 feet, respectively.

FINDINGS

The subject property is triangular at the north end and irregularly shaped at the south end. The lot exceeds the minimum 60-foot width and the minimum 7,000 square foot area required in an R5

District. The existing critical area lot coverage is 1,864 square feet, and the proposed coverage would increase to 2,270 square feet.

A review of the 2024 County aerial photograph shows an eclectic mix of dwellings in this older waterfront community. According to State tax assessment records, the subject dwelling was constructed in 1951, prior to the enactment of zoning regulations. The existing house is located near the intersection of Shore Road and Laurel Place, in an acutely angled area of the site, causing expansion to be problematic without setback relief. A portion of the existing dwelling (approximately 4' by 38') encroaches into the Laurel Place right-of-way.

The **Health Department** commented that the property is served by public water and sewer facilities. Therefore, the Department has no objection.

For the granting of a zoning variance, a determination must be made as to whether, because of certain unique physical conditions peculiar to or inherent in the lot or because of exceptional circumstances, strict implementation of the Code would result in practical difficulties or an unnecessary hardship. In this case, the property is a uniquely shaped corner lot, and further development is constrained by the practical limitations of the existing dwelling location (c. 1951).

Approval of the variances may alter the essential character of the neighborhood, as the substantial three-level addition would be located a mere four feet from the front lot line, having a significant visual impact on the streetscape. The variances would not substantially impair the appropriate use or development of adjacent properties, as the additions would exceed the minimum setback required from the only adjacent property. There is no evidence to indicate that the variance would be detrimental to the public welfare.

Given the unique lot shape and the nonconforming location of the existing house within an acutely angled portion of the property, it is clear that some setback relief is warranted. However, it does not appear that any consideration was given to the shape of the lot when designing the proposed additions. The dwelling could have been designed to be more respectful of the front setback by expanding a lesser distance to the west and extending more to the south. In fact, given that the area of the proposed addition that is closest to the front lot line is an excessive 19.5' by 23.6' multi-level porch/deck area, the applicant could have reduced or angled that area in order to minimize the requested front variance.

The applicant's letter of explanation provided no justification for the variances at all, nor did it explain what alternatives were considered and why the current proposal represents the minimum variances necessary to afford relief. Alternative options exist that would minimize the front setback variance in order to lessen the visual impact on Shore Road. Therefore, the variances cannot be supported as proposed.

RECOMMENDATION

Based upon the standards set forth in § 18-16-305 of the Code under which a variance may be granted, this Office recommends ***denial*** of the proposed zoning variances to § 18-4-701.

DISCLAIMER: This recommendation does not constitute a building permit. In order for the applicant(s) to construct the structure(s) as proposed, the applicant(s) shall apply for and obtain the necessary building permits and obtain any other approvals required to perform the work described herein. This includes but is not limited to verifying the legal status of the lot, resolving adequacy of public facilities, and demonstrating compliance with environmental site design criteria.

THIS DOCUMENT IS CERTIFIED TO:



CASE # 2-70175-23



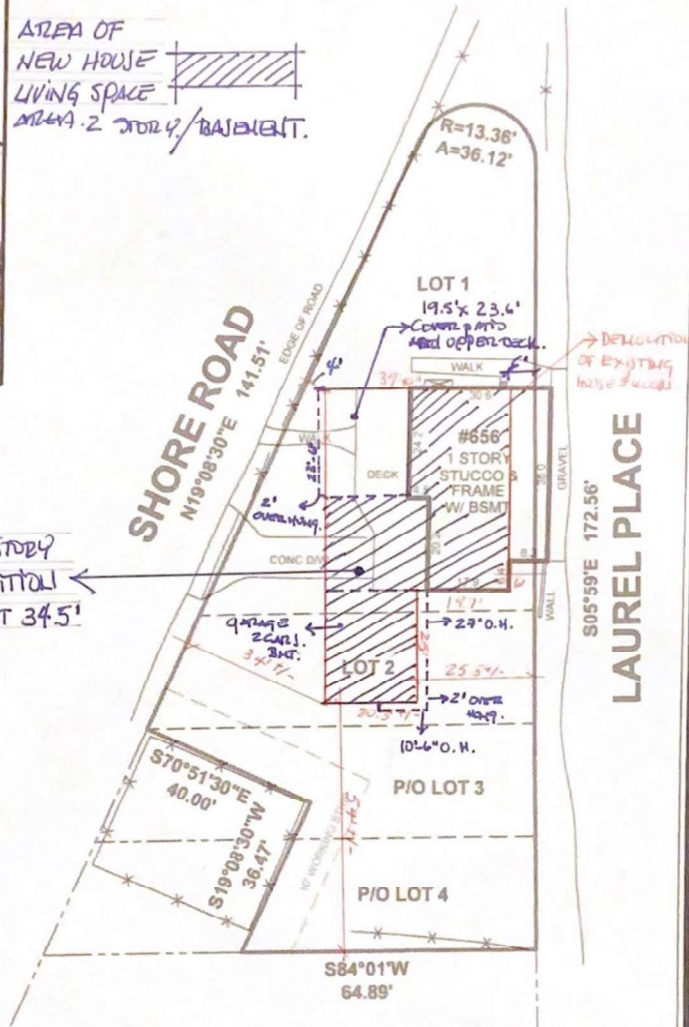
AREA OF
NEW HOUSE
LIVING SPACE
AREA - 2 STORY / BASEMENT.

NOTE:
ENCROACHMENTS
MAY EXIST

PROPOSED 2 STORY
DUELING ADDITONAL
WITH BASEMENT 34.5'



P.B. 9 @ 23



THE LEVEL OF ACCURACY OF
DISTANCES TO APPARENT
PROPERTY LINES IS: **2±**

LOCATION DRAWING OF:
#656 SHORE ROAD
LOTS 1, 2 & PART OF 3 & 4, BLOCK 2
PLAT BOOK 2, PLAT 23
CARROLLTON MANOR
LIBER 2688, FOLIO 889
ANNE ARUNDEL COUNTY, MARYLAND
SCALE 1"=30' DATE: 10-31-2023
DRAWN BY: AP FILE # 238582-152

LEGEND:

- FENCE
- BASEMENT ENTRANCE
- BAY WINDOW
- BRICK
- BLDG RESTRICTION LINE
- BASEMENT
- CONCRETE STOOP
- CONCRETE
- DRIVEWAY
- EXISTING
- FRAME
- MACADAM
- NOW OR FORMERLY
- OVERHANG
- PUBLIC UTILITY EMBT
- PUBLIC IMPROVEMENT EMBT

COLOR KEY:

- (RED) RECORD INFORMATION
- (BLUE) IMPROVEMENTS
- (GREEN) EMBT & RESTRICTION LINES

A Land Surveying Company

DULEY
and
Associates, Inc.

Serving D.C. and MD.

14604 Elm Street, Upper Marlboro, MD 20772
Phone: 301-888-1111 Fax: 301-888-1114
Email: orders@duley.biz On the web: www.duley.biz



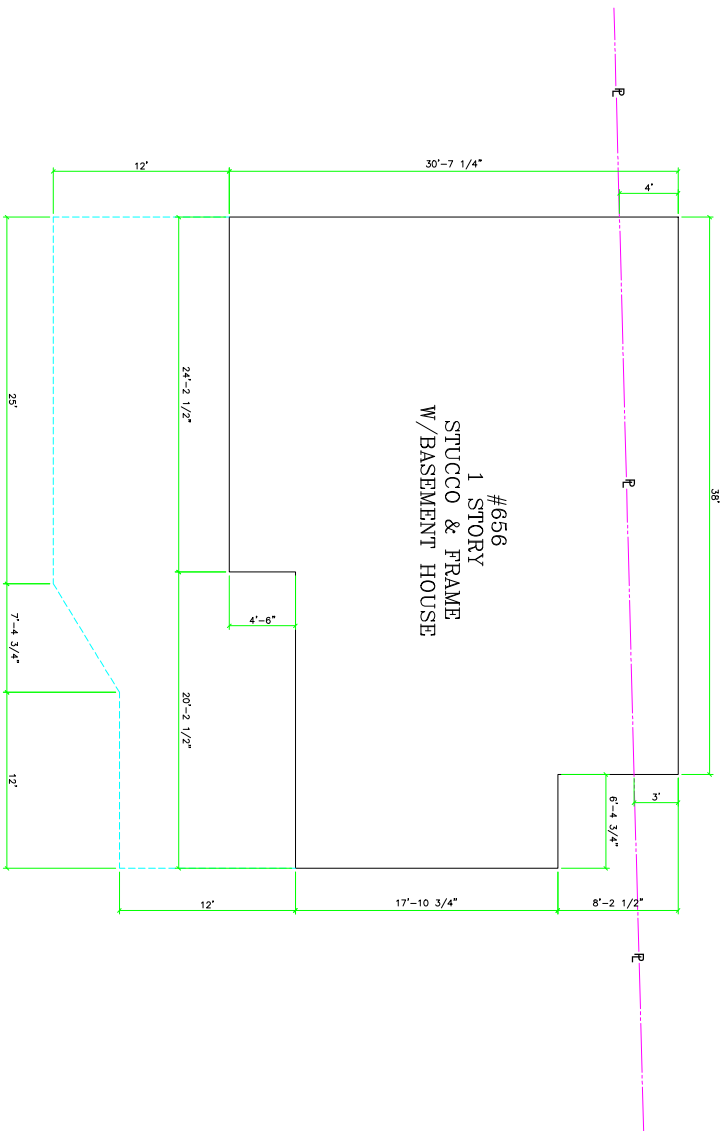
SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT I WAS IN RESPONSIBLE CHARGE OVER THE PREPARATION OF THIS DRAWING AND THE SURVEY WORK REFLECTED HEREIN AND IT IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN REGULATION 12 CHAPTER 09 13.08 OF THE CODE OF MARYLAND ANNOTATED REGULATIONS. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF FENCES, BUILDING, OR OTHER IMPROVEMENTS. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING. THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 2±. NO TITLE REPORT WAS FURNISHED TO NOR DONE BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EMBTMENTS OF RECORD. BUILDING RESTRICTION LINES AND EMBTMENTS MAY NOT BE SHOWN ON THIS SURVEY. IMPROVEMENTS WHICH IN THE SURVEYOR'S OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR MAY BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN. IF IT APPEARS ENCROACHMENTS MAY EXIST, A BOUNDARY SURVEY IS RECOMMENDED.

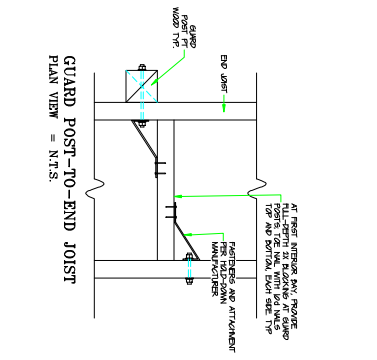
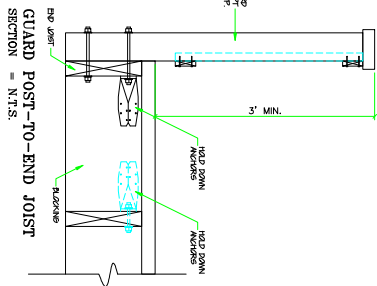
DULEY & ASSOC.
WILL GIVE YOU A 100%
FULL CREDIT TOWARDS
UPGRADING THIS
SURVEY TO A
"BOUNDARY/STAKE"
SURVEY FOR ONE
YEAR FROM THE DATE
OF THIS SURVEY.

(EXCLUDING D.C. & BALT. CITY)

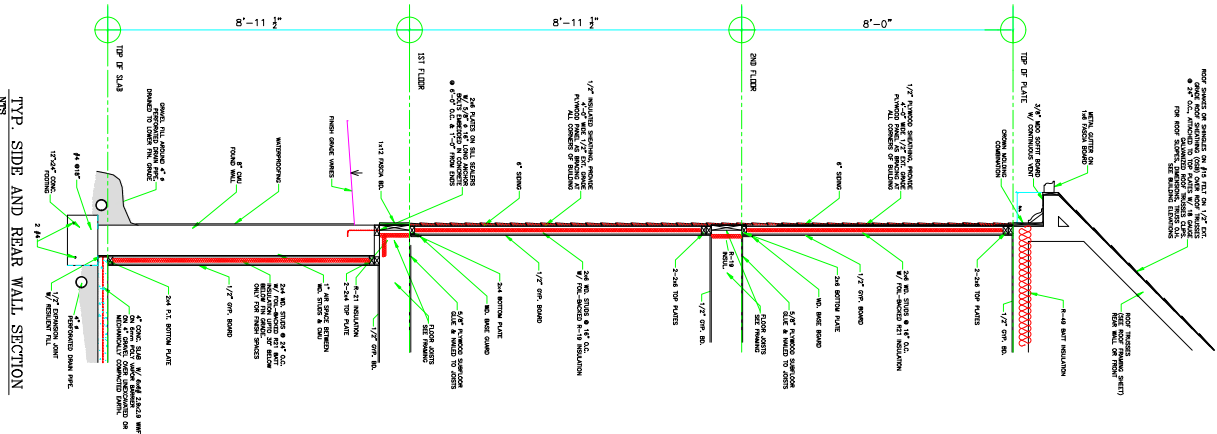
**EXISTING FOOTPRINT PLAN
FIRST FLOOR PLAN
1/4"=1'-0"**



#656
1 STORY
STUCCO & FRAME
W/BASEMENT HOUSE



NOTE:
THESE PLANS ARE FOR THE USE OF THE BUILDER IN FACILITATING CONSTRUCTION. ALL DIMENSIONS INDICATED ARE APPROXIMATE AND MAY VARY DUE TO ADJUSTMENTS REQUIRED IN THE FIELD. ELECTRICAL AND H.V.A.C. EQUIPMENT MAY OR MAY NOT BE INDICATED ON PLANS.



TYP. SIDE AND REAR WALL SECTION
N.T.S.

A001

EXISTING
FOOTPRINT HOUSE
TYP.

656 SHORE RD.
SEVERNA PARK MD.
21146
BUILDING ADDITION

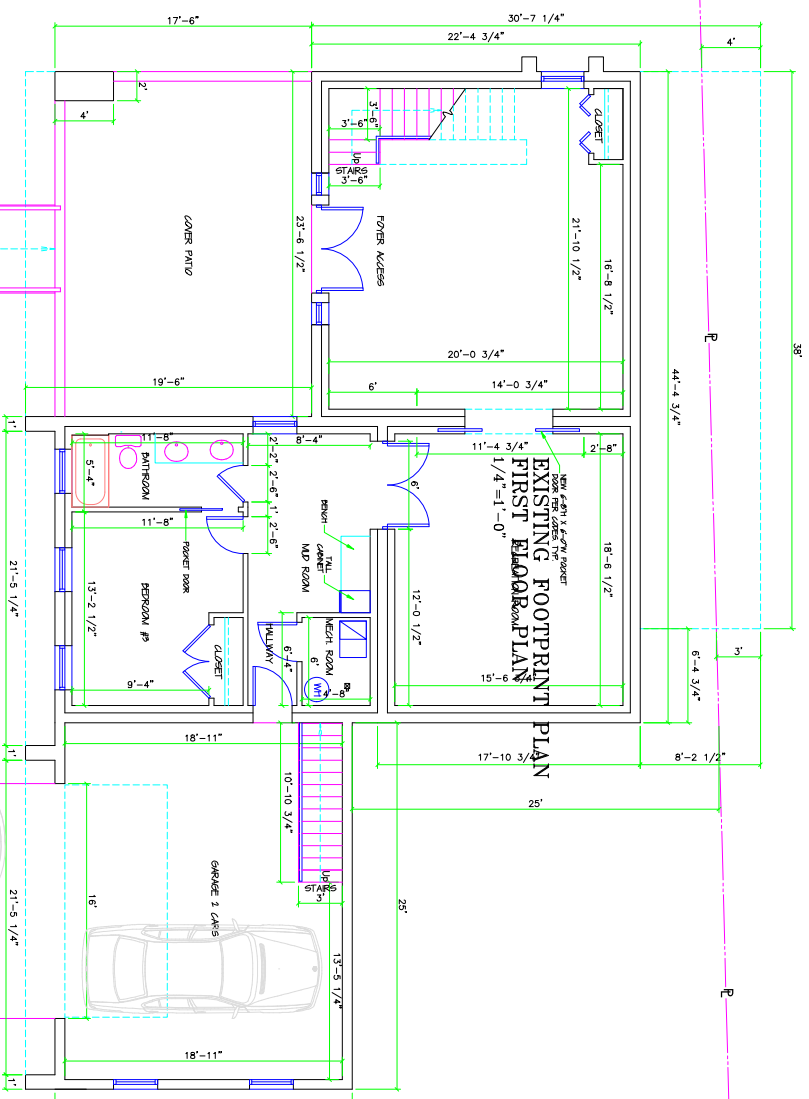
OWNER:
MR. JOSE
BUILDER:
OWNER
DESIGN BY:
DAMAT SERVICES INC.
JORGE VALVERDE
240.535.0223

DATE:
JANUARY 3 2024

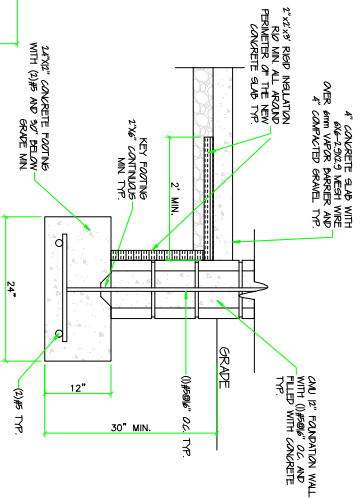
DRAWING BY: DAMAT Services Inc.
Jorge Valverde

**EXISTING & PROPOSED
BASEMENT FLOOR PLAN**
1/4"=1'-0"

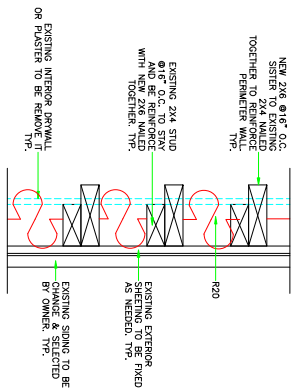
NOTE: THESE PLANS ARE FOR THE USE OF THE BUILDER IN FACILITATING CONSTRUCTION. ALL DIMENSIONS INDICATED ARE APPROXIMATE AND MAY VARY DUE TO ADJUSTMENTS REQUIRED IN THE FIELD. APPLICABLE FEATURES, FINISHES, ELECTRICAL AND H.V.A.C. EQUIPMENT MAY OR MAY NOT BE INDICATED ON PLANS.



FOOTING & CMU CONNECTION DETAIL
1/4"=1'-0"



SISTERING FRAMING WALL
1ST FLOOR ONLY (PERIMETER WALL ONLY)
N.T.S.



NOTE: ALL BRACING WALLS ON 1/2" SHEATHING CONTINUOUS WOOD BOARDS METHOD: CWSPPS "CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING."

A002

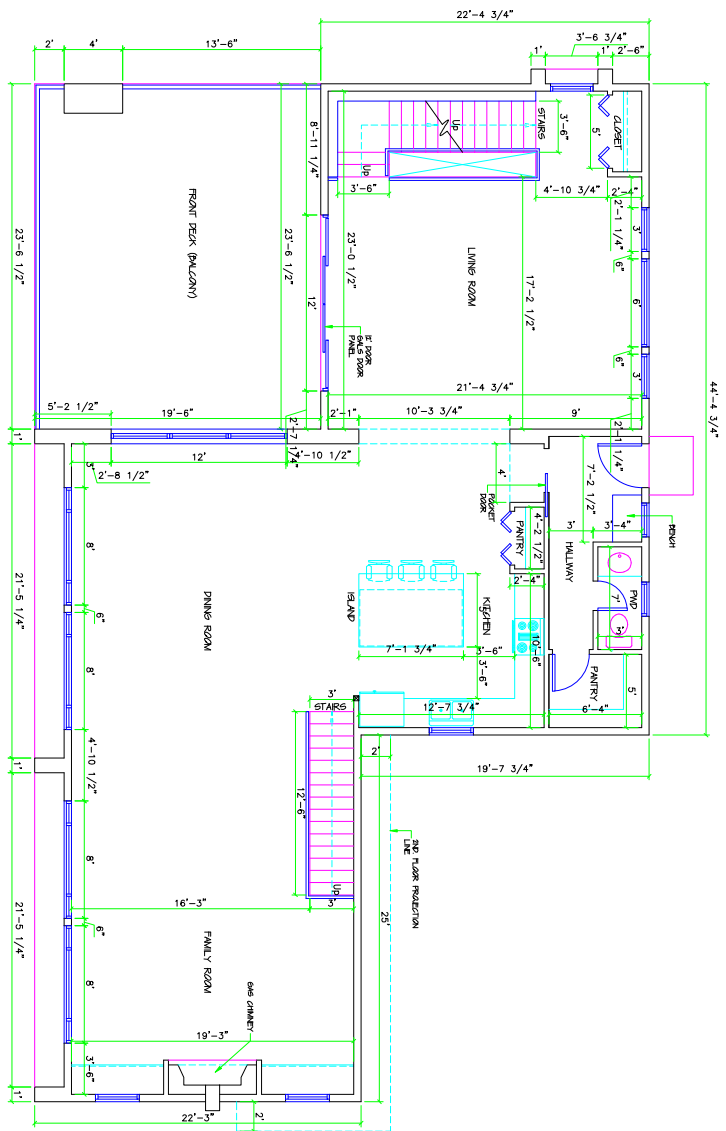
EXISTING & PROPOSED
BASEMENT FLOOR AREA
CONSTRUCTION DETAILS

656 SHORE RD.
SEVERNA PARK MD.
21146
BUILDING ADDITION

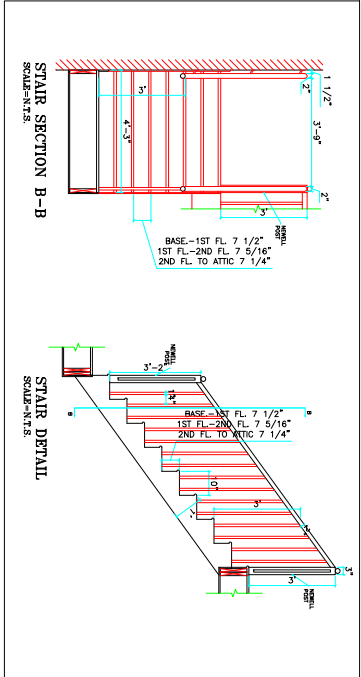
OWNER:
MR. JOSE
BUILDER:
OWNER
DESIGN BY:
DAMAT SERVICES INC.
JORGE VALVERDE
240.535.0223

DATE:
FEBRUARY 1, 2024

DRAWING BY: DAMAT Services Inc.
Jorge Valverde



EXISTING & PROPOSED
1ST FLOOR PLAN
1/4"=1'-0"

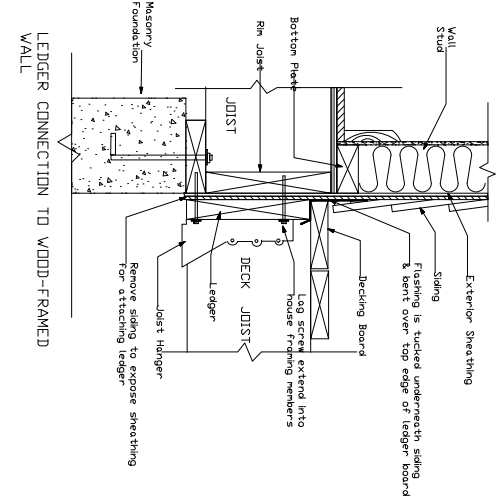
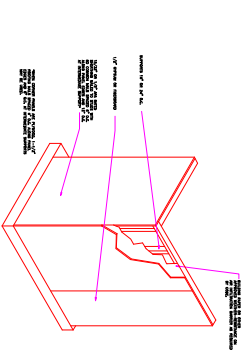


- DESIGN CRITERIA
1. FLOOR LIVE LOAD = 40 POUNDS PER SQUARE FOOT (psf) except in sleeping rooms where the live load = 30 psf
 2. ROOF LIVE LOAD = 30 psf, with additional load for roof areas subjected to drifting.
 3. BASIC WIND SPEED = 115 mph, 3-second gusts; Seismic Design Category = B
 4. FROST/ROOTING DEPTH = 30 INCH.
 5. SOIL BEARING CAPACITY ASSUMED 1500 PSF

NOTE: ALL BRACING WALLS ON 1/2" SHEATHING CONTINUOUS WOOD BOARDS METHOD: CWSPS "CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING."

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CORNER DETAIL (BRACING)
Scale = N.T.S.



A003

EXISTING & PROPOSED
1ST FLOOR PLAN
CONSTRUCTION DETAILS

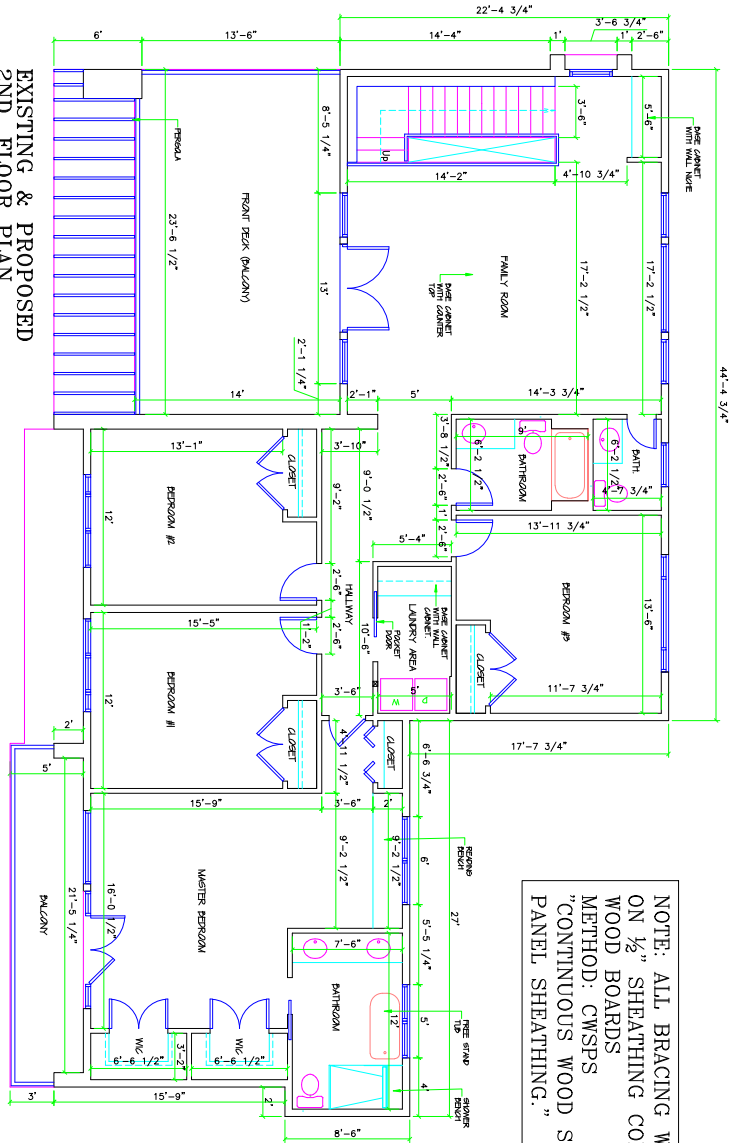
656 SHORE RD.
SEVERNA PARK MD.
21146
BUILDING ADDITION

OWNER:
MR. JOSE
BUILDER:
OWNER
DESIGN BY:
DAMAT SERVICES INC.
JORGE VALVERDE
240.535.0223

DATE:
FEBRUARY 1, 2024

DRAWING BY: DAMAT Services Inc.
Jorge Valverde

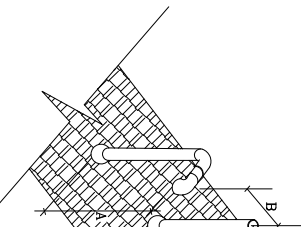
**EXISTING & PROPOSED
2ND. FLOOR PLAN**
1/4"=1'-0"



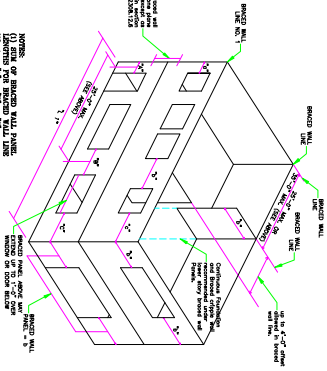
NOTE: ALL BRACING WALLS ON 1/2" SHEATHING CONTINUOUS WOOD BOARDS METHOD: CWSPS "CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING."

NOTE: THESE PLANS ARE FOR THE USE OF THE BUILDER IN FACILITATING CONSTRUCTION. ALL DIMENSIONS INDICATED ARE APPROXIMATE AND MAY VARY DUE TO ADJUSTMENTS REQUIRED IN THE FIELD. OPTIONAL FEATURES, FINISHES, ELECTRICAL AND H.V.A.C. EQUIPMENT MAY OR MAY NOT BE INDICATED ON PLANS.

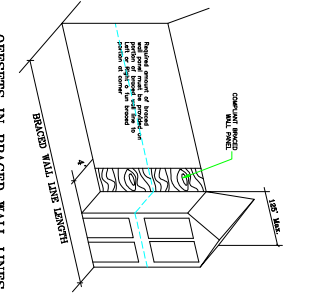
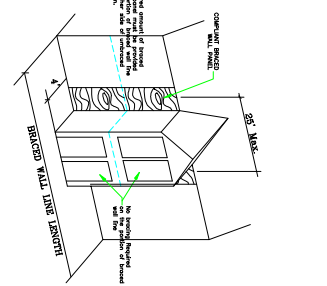
ROOF TOP TERMINATION
SCALE = N.T.S.



A = 12" ABOVE ROOF OF SNOW ACCUMULATION LEVEL.
B = 8" MIN. 20" MAX. EXCEPT IN AREAS WITH EXTREM COLD TEMPERATURES (BELOW 0 F.) THE 10" MIN.



BASIC COMPONENTS OF THE LATERAL BRACING SYSTEM
FIGURE 2308.9.3
Per. 01.14 - 04.14.18

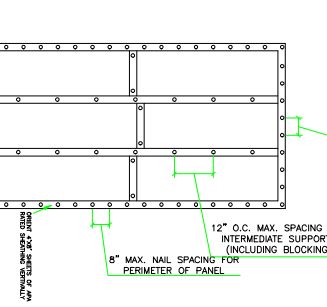


OFFSETS IN BRACED WALL LINES
SCALE = N.T.S.

CORNER DETAIL (BRACING)

WALL HEIGHT "H"	MIN. BRACING WALL LENGTH "L"	MIN. BRACING WALL WIDTH "W"
8'	8'	8'
9'	9'	9'
10'	10'	10'

NOTE: ABOVE TABLE ASSUMES BUILT-UP BRACING CONSTRUCTION. DIMENSIONS STRUCTURAL MEMBER SPACING IN ACCORDANCE WITH THE IRC 2003 CODE, SECTION 609.10.5.



REQUIRED NAILING PATTERN FOR VERTICAL BRACED WALL PANEL
Scale = N.T.S.

A004

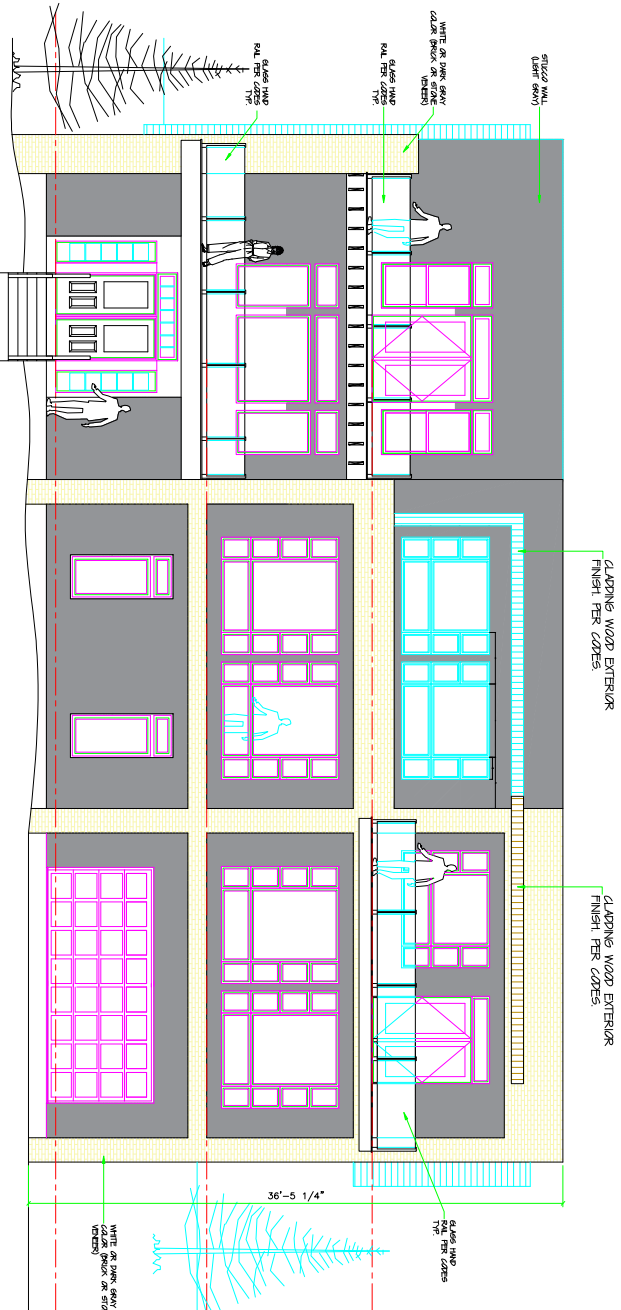
EXISTING & PROPOSED
2ND. FLOOR PLAN
CONSTRUCTION DETAILS

656 SHORE RD.
SEVERNA PARK MD.
21146
BUILDING ADDITION

OWNER:
MR. JOSE
BUILDER:
OWNER
DESIGN BY:
DAMAT SERVICES INC.
JORGE VALVERDE
240.535.0223

DATE:
FEBRUARY 1, 2024

DRAWING BY: DAMAT Services Inc.
Jorge Valverde

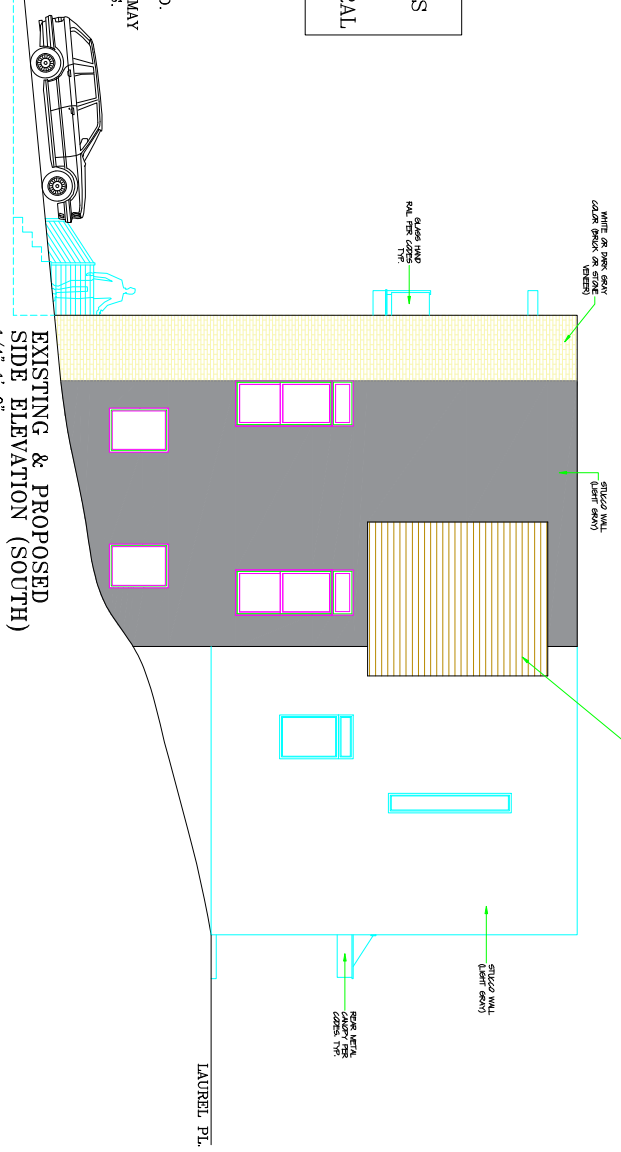


EXISTING & PROPOSED FRONT ELEVATION
1/4"=1'-0"

NOTE: ALL BRACING WALLS ON 1/2" SHEATHING CONTINUOUS WOOD BOARDS METHOD: CWSPS "CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING."

NOTE: THESE PLANS ARE FOR THE USE OF THE BUILDER IN FACILITATING CONSTRUCTION. ALL DIMENSIONS INDICATED ARE APPROXIMATE AND MAY VARY DUE TO ADJUSTMENTS REQUIRED IN THE FIELD. OPTIONAL FEATURES, FINISHES, ELECTRICAL AND H.V.A.C. EQUIPMENT MAY OR MAY NOT BE INDICATED ON PLANS.

EXISTING & PROPOSED SIDE ELEVATION (SOUTH)
1/4"=1'-0"



A005

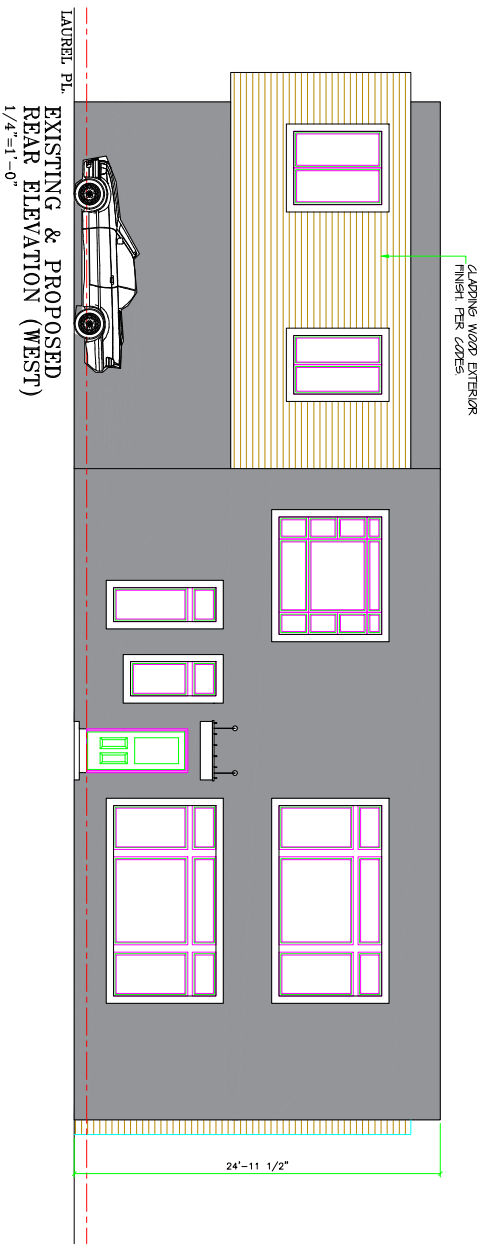
PROPOSED NEW ELEVATIONS

656 SHORE RD.
SEVERNA PARK MD.
21146
BUILDING ADDITION

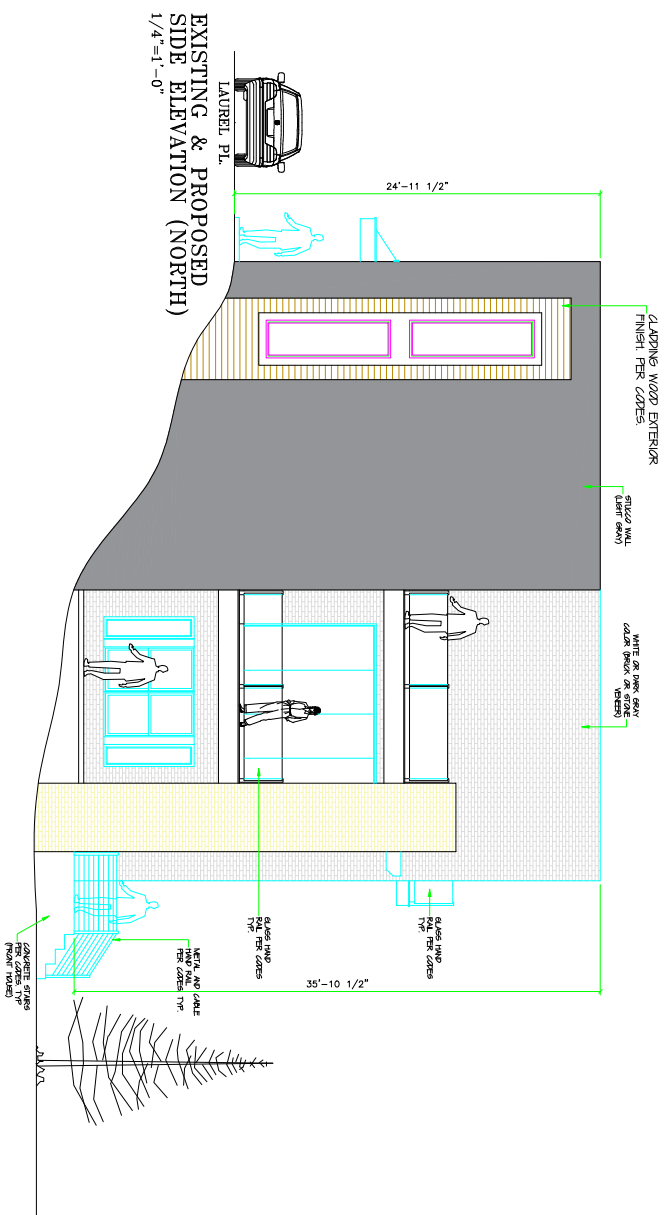
OWNER:
MR. JOSE
BUILDER:
OWNER
DESIGN BY:
DAMAT SERVICES INC.
JORGE VALVERDE
240.535.0223

DATE:
JANUARY 3 2024

DRAWING BY: DAMAT Services Inc.
Jorge Valverde



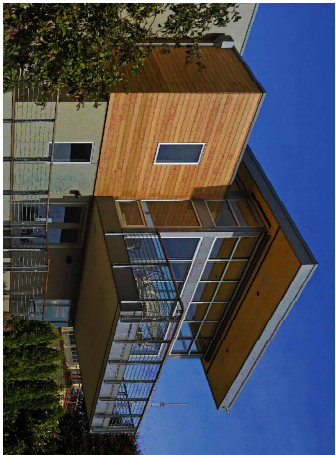
LAUREL PL. EXISTING & PROPOSED REAR ELEVATION (WEST)
1/4"=1'-0"



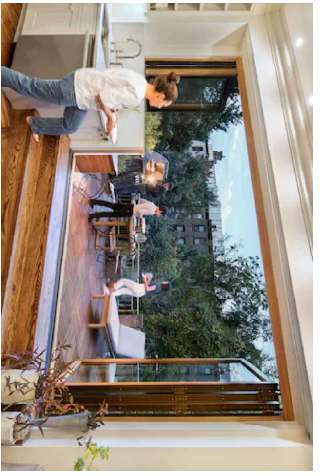
LAUREL PL. EXISTING & PROPOSED SIDE ELEVATION (NORTH)
1/4"=1'-0"

NOTE: ALL BRACING WALLS ON 1/2" SHEATHING CONTINUOUS WOOD BOARDS
METHOD: CWSPS "CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING."

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ELEVATION EXAMPLE STUCCO WITH CLADDING WOOD FINISH



NANA WALL EXAMPLE

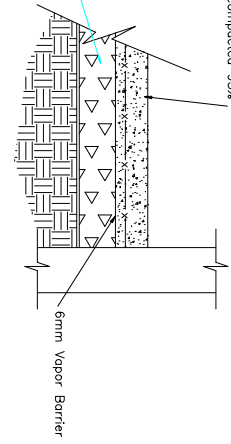
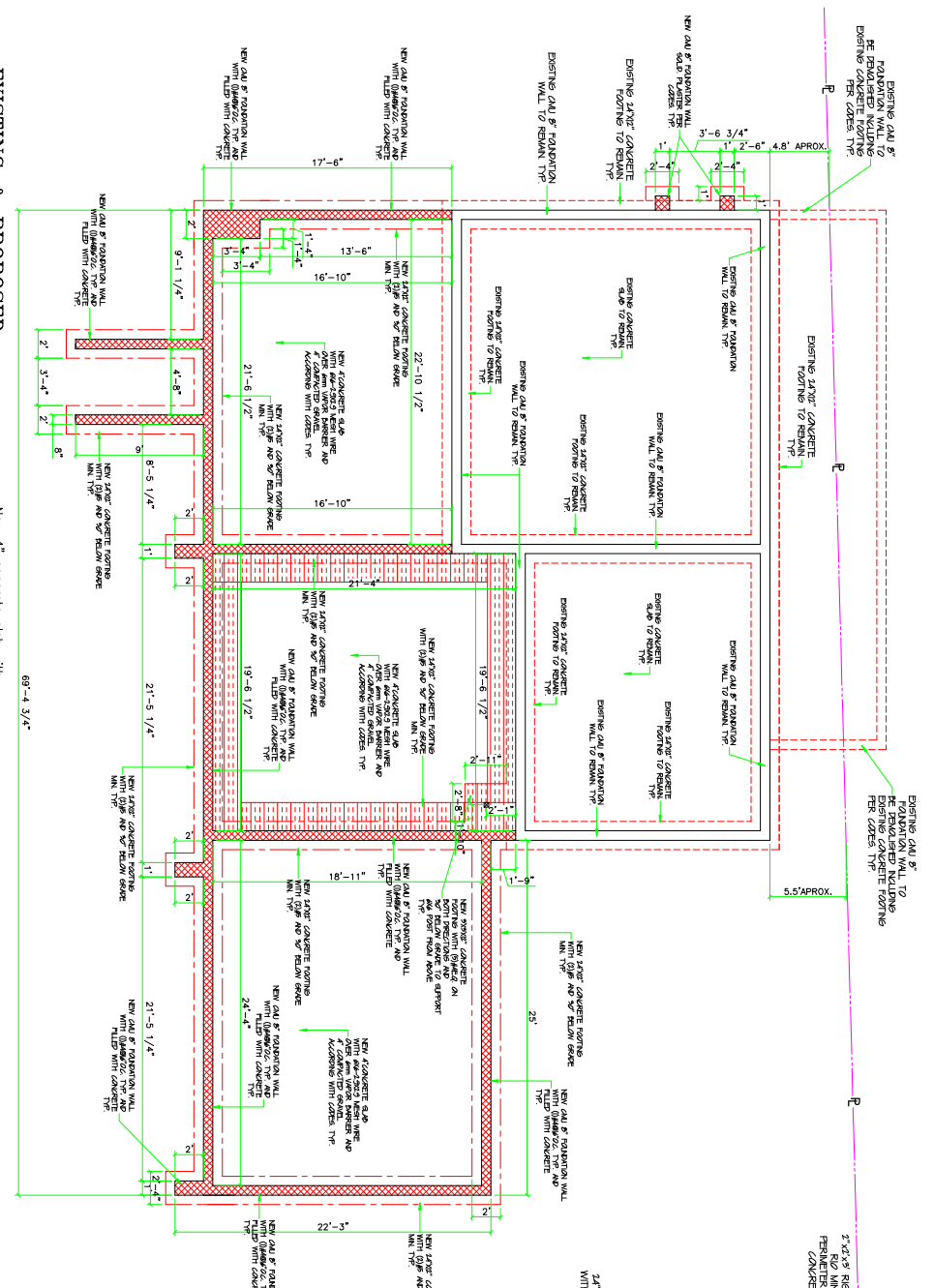


SHORE RD.

A006	PROPOSED NEW ELEVATIONS	656 SHORE RD. SEVERNA PARK MD. 21146 BUILDING ADDITION	OWNER: MR. JOSE	DATE: JANUARY 3 2024
			BUILDER: OWNER	
			DESIGN BY: DAMAT SERVICES INC. JORGE VALVERDE 240.535.0223	DRAWING BY: DAMAT Services Inc. Jorge Valverde

NOTE: THESE PLANS ARE FOR THE USE OF THE BUILDER IN FACILITATING CONSTRUCTION. DIMENSIONS INDICATED ARE APPROXIMATE AND MAY VARY DUE TO ADJUSTMENTS REQUIRED DURING THE FIELD. ELECTRICAL AND H.V.A.C. EQUIPMENT MAY OR MAY NOT BE INDICATED ON PLANS.

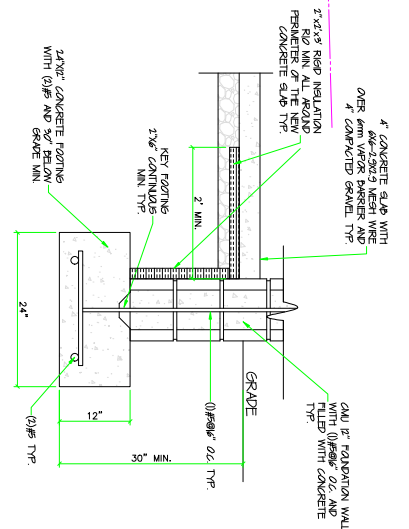
EXISTING & PROPOSED FOUNDATION FLOOR PLAN
1/4"=1'-0"



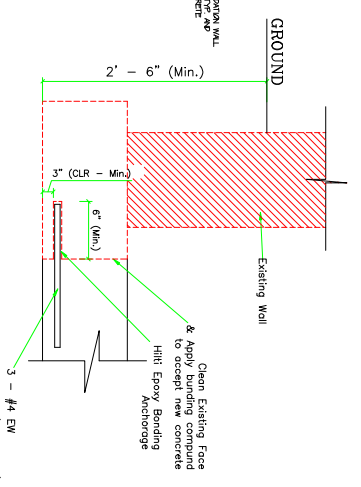
CONCRETE SECTION TYP.
Scale = N.T.S.

NOTE: ALL BRACING WALLS ON 1/2" SHEATHING CONTINUOUS WOOD BOARDS METHOD: CWSPS "CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING."

FOOTING & CMU CONNECTION DETAIL
1/4"=1'-0"



FOOTING ATTACH SECTION (TYP)
Scale = N.T.S.



A007

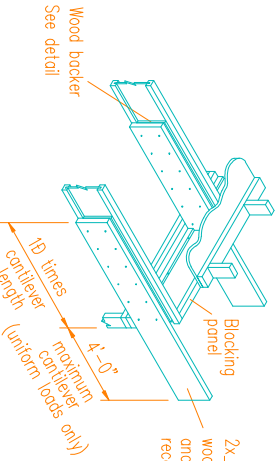
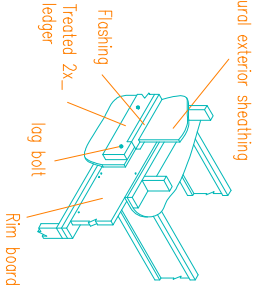
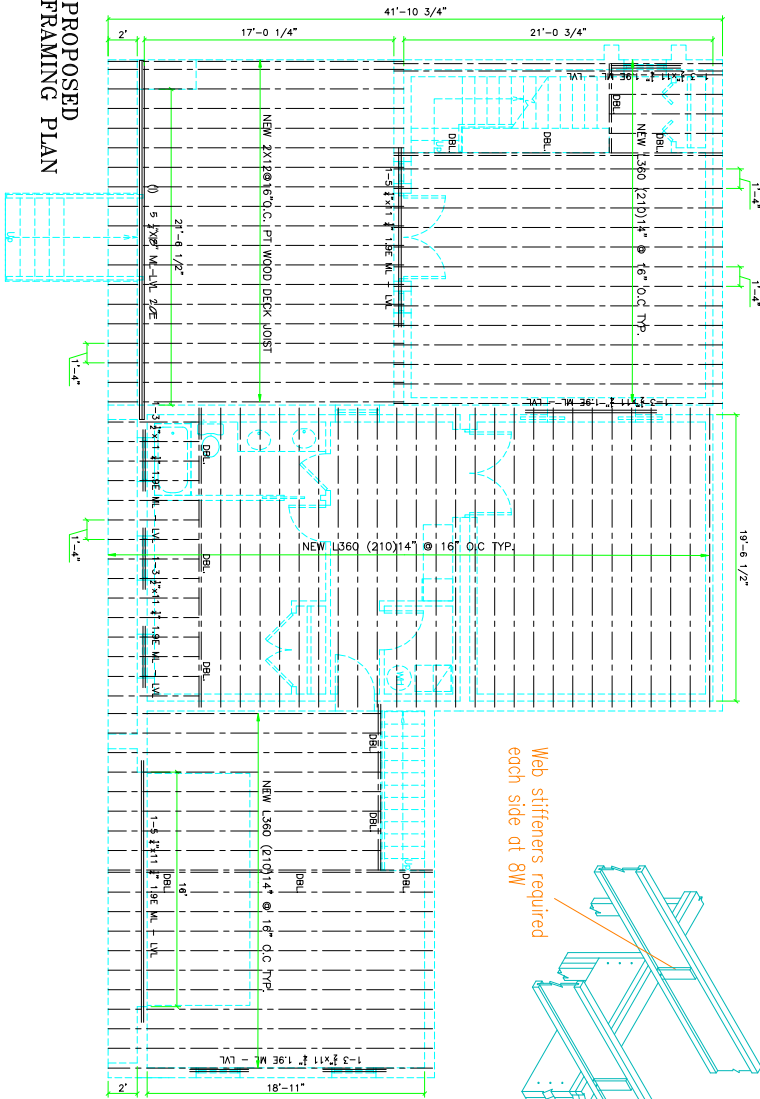
EXISTING & PROPOSED FOUNDATION FLOOR PLAN CONSTRUCTION DETAILS

656 SHORE RD.
SEVERNA PARK MD.
21146
BUILDING ADDITION

OWNER: MR. JOSE
BUILDER: OWNER
DESIGN BY: DAMAT SERVICES INC. | JORGE VALVERDE | 240.535.0223

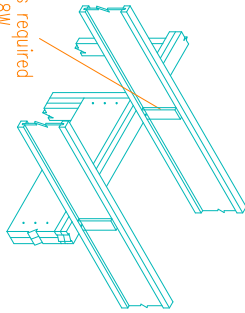
DATE: JANUARY 3 2024
DRAWING BY: DAMAT Services Inc. Jorge Valverde

**EXISTING & PROPOSED
1ST. FLOOR FRAMING PLAN
1/4"=1'-0"**

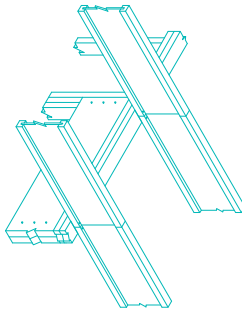


2x4 nailed to the side of the L-joist with wood blocker. Nail through the L-joist web and blocker according to manufacturer's recommendations.

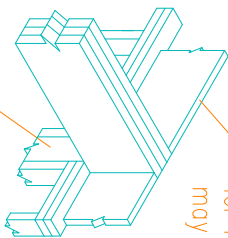
Web stiffeners required each side at 8W



TJI's FLOOR JOIST SUPPORT DETAIL



Rim board or blocking for lateral support. Strap may also be required.



Column

NOTE: ALL BRACING WALLS ON 1/2" SHEATHING CONTINUOUS WOOD BOARDS METHOD: CWSPS "CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING."

NOTE: THESE PLANS ARE FOR THE USE OF THE BUILDER IN FACILITATING CONSTRUCTION. ALL DIMENSIONS INDICATED ARE APPROXIMATE AND MAY VARY DUE TO ADJUSTMENTS REQUIRED IN THE FIELD. OPTIONAL FEATURES, FINISHES, ELECTRICAL AND H.V.A.C. EQUIPMENT MAY OR MAY NOT BE INDICATED ON PLANS.

Connection details, flashing, and capacities to be specified by designer or record.

A008

EXISTING & PROPOSED
1ST. FLOOR FRAMING PLAN
CONSTRUCTION DETAILS

656 SHORE RD.
SEVERNA PARK MD.
21146
BUILDING ADDITION

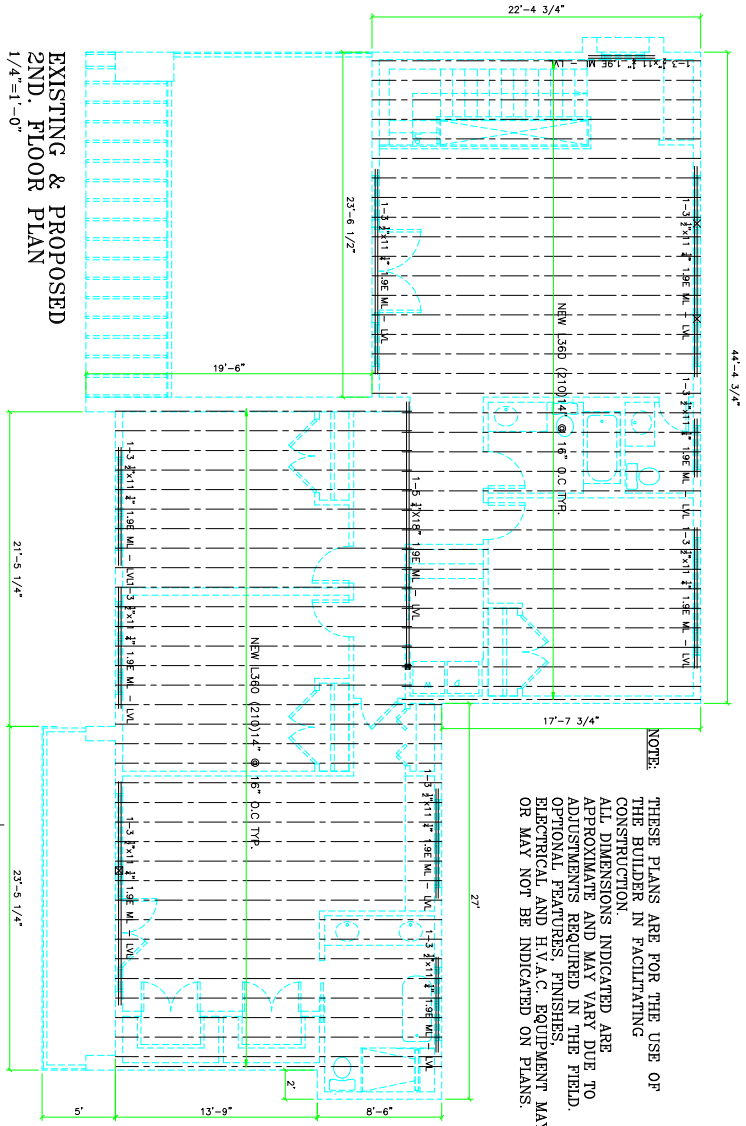
OWNER:
MR. JOSE

BUILDER:
OWNER

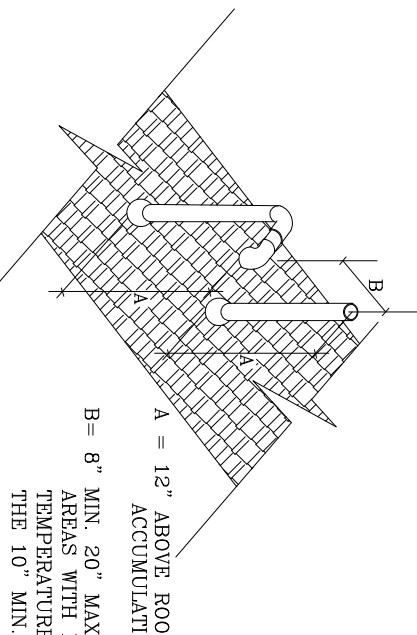
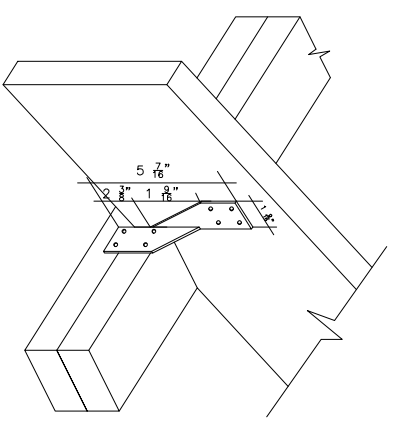
DESIGN BY:
DAMAT SERVICES INC.
JORGE VALVERDE
240.535.0223

DATE:
JANUARY 3 2024

DRAWING BY: DAMAT Services Inc.
Jorge Valverde

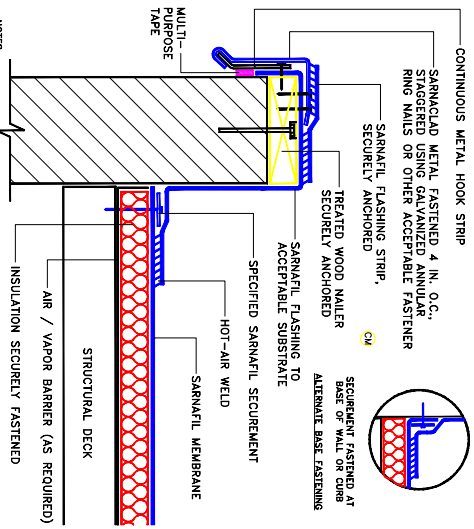


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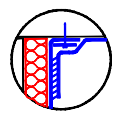


NOTE: ALL BRACING WALLS ON 1/2" SHEATHING CONTINUOUS WOOD BOARDS METHOD: CWSPS "CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING."

PARAPET WALL WITH SARNACLAD METAL



NOTES:
1) NAILS SHALL BE SECURELY ANCHORED TO THE DECK TO RESIST A MINIMUM FORCE OF 100 LBS.
2) VAPOR BARRIER SHALL BE SEALED AT EDGES.
3) APPROVED FOR SIKAPLAN AND SIKAPLAN NDL VARIANTS.



A010

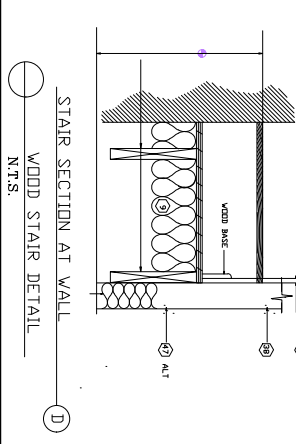
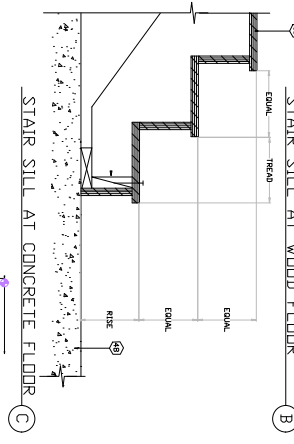
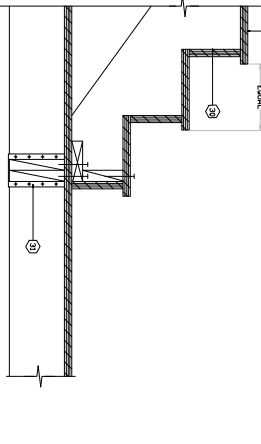
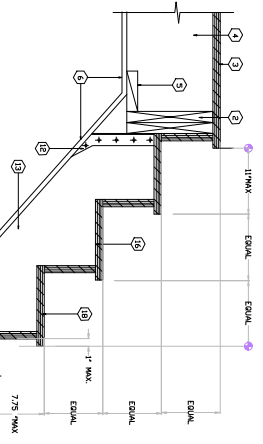
EXISTING & PROPOSED
2ND. FLOOR FRAMING PLAN
CONSTRUCTION DETAILS

656 SHORE RD.
SEVERNA PARK MD.
21146
BUILDING ADDITION

OWNER:
MR. JOSE
BUILDER:
OWNER
DESIGN BY:
DAMAT SERVICES INC.
JORGE VALVERDE
240.535.0223

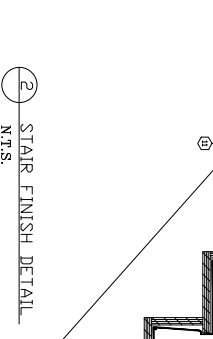
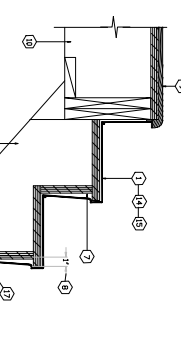
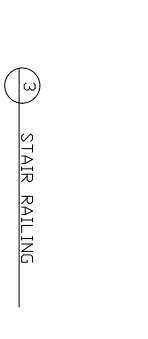
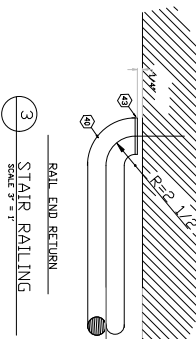
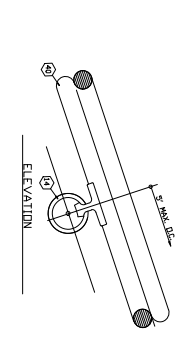
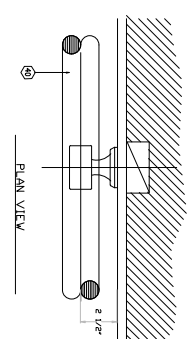
DATE:
JANUARY 3 2024

DRAWING BY: DAMAT Services Inc.
Jorge Valverde

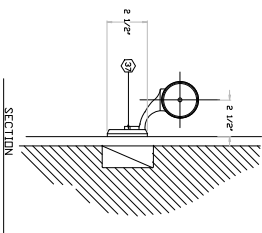


LEGEND

1. 1/2" CONC. REIN. AT CONTROL JOINT
2. 1/2" CONC. REIN. AT STAIR DIMENSION 2' 0" FROM JOINTS
3. 1/2" CONC. REIN. AT STAIR DIMENSION 2' 0" FROM JOINTS
4. FLOOR ADJUST
5. 2" X 6 BALKING
6. INTERIOR CONC. QUAD WATER FINISH
7. 1/2" CONC. REIN. NOT SHOWN FOR CLARITY. REIN. DIMENSIONS NOT TO SCALE
8. 1" UP WALKING
9. 1/2" CONC. QUAD WATER FINISH
10. 2" X 4 FLOOR ADJUST SEE FINISHING PLAN
11. 2" X 4 STAIR STRINGERS SEE PLAN
12. 2" X 4 STAIR STRINGERS AT 16" O.C. W/ 3/4" DIA. STEEL BRACKET
13. 2" X 4 STAIR STRINGERS AT 16" O.C. W/ 3/4" DIA. STEEL BRACKET
14. 2" X 4 STAIR STRINGERS AT 16" O.C. W/ 3/4" DIA. STEEL BRACKET
15. 2" X 4 STAIR STRINGERS AT 16" O.C. W/ 3/4" DIA. STEEL BRACKET
16. 2" X 4 STAIR STRINGERS AT 16" O.C. W/ 3/4" DIA. STEEL BRACKET
17. 2" X 4 STAIR STRINGERS AT 16" O.C. W/ 3/4" DIA. STEEL BRACKET
18. 2" X 4 STAIR STRINGERS AT 16" O.C. W/ 3/4" DIA. STEEL BRACKET
19. 2" X 4 STAIR STRINGERS AT 16" O.C. W/ 3/4" DIA. STEEL BRACKET



NOTE: THESE PLANS ARE FOR THE USE OF THE BUILDER IN FACILITATING CONSTRUCTION. ALL DIMENSIONS INDICATED ARE APPROXIMATE AND MAY VARY DUE TO ADJUSTMENTS REQUIRED IN THE FIELD. OPTIONAL FEATURES, FINISHES, ELECTRICAL, AND H.V.A.C. EQUIPMENT MAY OR MAY NOT BE INDICATED ON PLANS.



STAIR NOTES

1. HANDRAILS
 - A. PROVIDE HANDRAIL - MINIMUM ONE SIZE ABOVE FINISH FLOOR FINISH
 - B. PROVIDE HANDRAILS AT MINIMUM 36" HIGH FROM FINISH FLOOR
 - C. EXTERIOR HANDRAILS TO BE FINISHED TO MATCH EXTERIOR FINISH
 - D. THE BOTTOM RISES MUST BE 6" MINIMUM CLEAR TO WALL OR FENCE
 - E. PROVIDE 1 1/2" CLEAR BETWEEN HANDRAILS
 - F. CROSS-SECTIONAL DIMENSION HANDRAIL PORTION OF HANDRAILS 1 1/2" MINIMUM
2. TREADS
 - A. ALL EXPOSED EDGES OF TREADS ARE TO BE FINISHED TO MATCH EXTERIOR FINISH
 - B. PROVIDE 1/2" CLEAR BETWEEN TREADS
 - C. PROVIDE 1/2" CLEAR BETWEEN TREADS
 - D. PROVIDE 1/2" CLEAR BETWEEN TREADS
 - E. PROVIDE 1/2" CLEAR BETWEEN TREADS
3. NOSTING
 - A. NOSTING PROJECTION MUST BE ON RISER
 - B. NOSTING PROJECTION MUST BE ON RISER
 - C. NOSTING PROJECTION MUST BE ON RISER
 - D. NOSTING PROJECTION MUST BE ON RISER
4. RISERS
 - A. RISERS TO BE 7 1/2" MAXIMUM
 - B. RISERS TO BE 7 1/2" MAXIMUM
 - C. RISERS TO BE 7 1/2" MAXIMUM
5. DIMENSIONS
 - A. DIMENSIONS TO BE AS SHOWN UNLESS OTHERWISE NOTED
 - B. DIMENSIONS TO BE AS SHOWN UNLESS OTHERWISE NOTED
 - C. DIMENSIONS TO BE AS SHOWN UNLESS OTHERWISE NOTED
6. MAXIMUM VARIATION IN HEIGHT OF RISERS OR WIDTH OF TREADS IN ANY GIVEN FLIGHT: 1/4"
7. MINIMUM HEADROOM CLEARANCE
 - A. MINIMUM HEADROOM CLEARANCE SHALL BE 6' 8" MINIMUM
 - B. MINIMUM HEADROOM CLEARANCE SHALL BE 6' 8" MINIMUM
 - C. MINIMUM HEADROOM CLEARANCE SHALL BE 6' 8" MINIMUM
8. MAXIMUM VERTICAL DISTANCE BETWEEN STAIRWAY LANDINGS: 12'-0"
9. STAIR LANDINGS
 - A. STAIR LANDINGS SHALL BE THE SAME WIDTH AND DEPTH AS THE STAIRS THEY SERVE WITH MINIMUM DIMENSIONS OF 3'-0" BY 3'-0"
 - B. PROVIDE HANDRAIL AT STAIRS AND ON HIGH GAMB RAILINGS WITH MINIMUM CLEARANCE BETWEEN BALUSTERS AND HORIZONTAL TOP RAIL OF 3'-0"
 - C. PROVIDE HANDRAIL AT STAIRS AND ON HIGH GAMB RAILINGS WITH MINIMUM CLEARANCE BETWEEN BALUSTERS AND HORIZONTAL TOP RAIL OF 3'-0"
10. SEE FINISHING SCHEDULE
11. HANDICAPPED COMPLIANCE
 - A. HANDICAPPED COMPLIANCE SHALL BE AS SHOWN UNLESS OTHERWISE NOTED
 - B. HANDICAPPED COMPLIANCE SHALL BE AS SHOWN UNLESS OTHERWISE NOTED
 - C. HANDICAPPED COMPLIANCE SHALL BE AS SHOWN UNLESS OTHERWISE NOTED
12. ENCLOSED USABLE SPACE UNDER STAIRS:
 - A. SHALL BE PROTECTED WITH ONE-GRADE FIRE RESISTIVE PROTECTION

A011

STAIRS PLANS AND CONSTRUCTION DETAILS

656 SHORE RD.
SEVERNA PARK MD.
21146
BUILDING ADDITION

OWNER: MR. JOSE
BUILDER: OWNER
DESIGN BY: DAMAT SERVICES INC. | JORGE VALVERDE
240.535.0223

DATE: JANUARY 3 2024
DRAWING BY: DAMAT Services Inc. Jorge Valverde

July 10,2024

Letter of Explanation

We are going to proceed with the remodeling of the existing house on this property and make a side addition and a 2nd. additional floor. A substantial area of the house that is invading public roads will be demolished.

A contemporary design addition will be made with deck areas on 2 levels and open space concept. The garage area will be moved to be able to expand the house in the area lost due to the demolition of the area under non-regulation of the original house.

CRITICAL AREA REPORT WORKSHEET TO ACCOMPANY THE SITE PLAN

Permit Number _____

Total Site Area 10403 Square Feet (1 Acre = 43,560 Square Feet)

Total Wooded Area 250 Square Feet- 'Wooded' MEANS A BIOLOGICAL COMMUNITY DOMINATED BY TREES AND OTHER WOODY PLANTS (SHRUBS AND UNDERGROWTH), INCLUDING FORESTS THAT HAVE BEEN CUT BUT NOT CLEARED.

* Please Indicate Square Footage of Woodland Removed for the following:

- | | |
|---------------------------------------|--|
| 1. House <u>1886</u> Sq. Ft. | 5. Accessory Structure <u>NA</u> Sq. Ft. |
| 2. Septic or sewer <u>100</u> Sq. Ft. | 6. Additions <u>NA</u> Sq. Ft. |
| 3. Well <u>NA</u> Sq. Ft. | 7. Storm Water Management <u>NA</u> Sq. Ft. |
| 4. Driveway <u>384</u> Sq. Ft. | 8. Other Clearing: work area; access; stockpiles, etc. <u>NA</u> Sq. Ft. |

* Total Woodland Removed = 50 Sq. Ft.

"Impervious Coverage" IS ANY SURFACE THAT WILL NOT ABSORB LIQUID. THIS INCLUDES ROOFS, SIDEWALKS, DRIVEWAYS, AND ANY TYPE OF PAVEMENT. COMPACTED GRAVAEL IS CONSIDERED AN IMPERVIOUS SURFACE.

* Please Indicate Square Footage of Impervious Coverage for the following:

- | <u>Existing Impervious</u> | <u>Proposed Impervious</u> |
|--|--|
| 1. House (roof area) <u>1480</u> Sq. Ft. | 1. House (roof area) <u>1886</u> Sq. Ft. |
| 2. Driveway + Sidewalks <u>384</u> Sq. Ft. | 2. Driveway + Sidewalks <u>384</u> Sq. Ft. |
| 3. Accessory Structures <u>NA</u> Sq. Ft. | 3. Accessory Structures <u>NA</u> Sq. Ft. |
| | 4. Additions <u>NA</u> Sq. Ft. |

* Total Existing and Proposed Impervious Coverage 2270 Sq. Ft.

⊗ PLEASE INCLUDE ALL EXISTING AND PROPOSED SQUARE FOOTAGE.

I COLIN J. WITHERS, _____, (property owner and contract purchaser, if applicable) hereby certify that the above critical area worksheet is true and correct based upon personal knowledge. I further declare that a copy of the foregoing document will be transferred to any purchaser of this property from me (or corporation, if applicable) at the time of settlement. I hereby understand that these computations shall be a binding part of issuance of a building permit for lot # 1,2,3,4, block # 2 of Subdivision 170.

I hereby certify that I have seen and read the record plat (if approved after 1986 and subject to Critical Area requirements) and have indicated on the attached site plan any easements, buffers, or other restrictions declared on said plat.

COLIN J. WITHERS (Signature)  (Date)

(Title)

(Signature) _____ (Date)

(Title)

- A. Existing propose of the residence for Residential use (single family)
- B. Predominant trees natives' trees from Chesapeake Bay area.
We do not remove major of the trees on this project, we affect only 440 sf. Of land without any vegetation (grass only).
- C. We will minimize impact on water quality with silt fence all around construction areas.
- D. The impervious surface area will be:
 - 1. House area = 1860 sf
 - 2. Driveway = 384 sf.Total of imperious area = 2,244 SF.
- E. None habitat protection areas on this project.




J. Howard Beard Health Services Building
3 Harry S. Truman Parkway
Annapolis, Maryland 21401
Phone: 410-222-7095 Fax: 410-222-7294
Maryland Relay (TTY): 711
www.aahealth.org

Tonii Gedin, RN, DNP
Health Officer

MEMORANDUM

TO: Sadé Medina, Zoning Applications
Planning and Zoning Department, MS-6301

FROM: Brian Chew, Program Manager 
Bureau of Environmental Health

DATE: July 19, 2024

RE: Colin J. Withers
656 Shore Road
Severna Park, MD 21146

NUMBER: 2024-0135-V

SUBJECT: Variance/Special Exception/Rezoning

The Health Department has reviewed the above referenced variance to allow a dwelling addition (second floor) with less setbacks than required.

The Health Department has reviewed the above-referenced request. The property is served by public water and sewer facilities. The Health Department has no objection to the above-referenced request.

If you have further questions or comments, please contact Brian Chew at 410-222-7413.

cc: Sterling Seay

100 ft



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SHORE RD

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LAUREL PL

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