

LETTER OF EXPLANATION FOR VARIANCE REQUEST

July 31, 2024

Ref: Sarah King

1199 Highview Dr Annapolis, Md 21409

Bldg. permit # B02428622 Tax Acct. # 316501071055

To whom it may concern,

The request of this variance is based on the fact that the proposed addition is positioned on the current existing house property location that was constructed prior to current zoning regulations. Secondly, zoning code changes over the years is why this variance is being required. The owner did request that the proposed addition construction plans be grand fathered in to avoid the need for this variance application, but my understanding is that the request has been declined, and that this variance process is a formality.

Respectfully submitted,

Percy Lee Sanders

Percy Lee Sanders, General Contractor

Advantage Contracting Enterprises, LLC

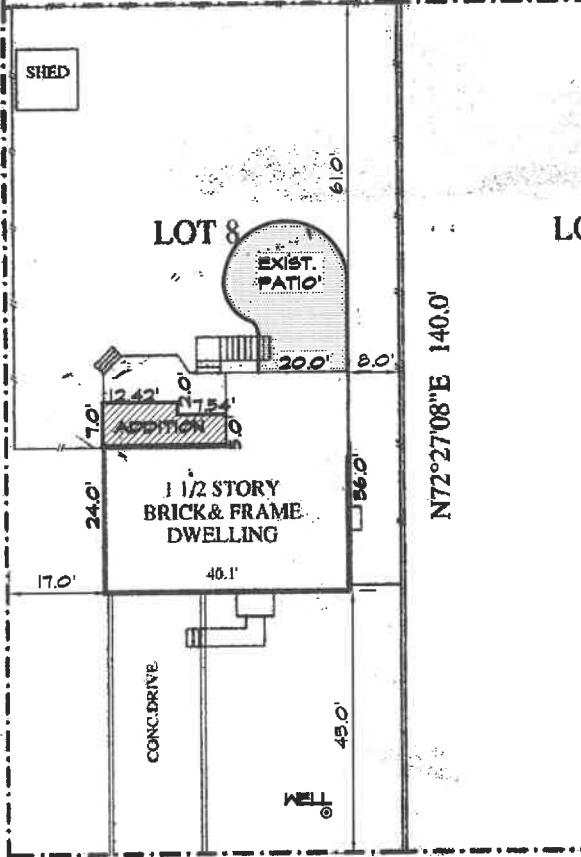
301-275-2457

Ace4lee1@gmail.com

SKYVIEW DRIVE

S17°32'52"W 65.0'

S72°27'08"W 140.0'



LOT 9

N72°27'08"E 140.0'

N17°32'52"E 65.0'

HIGHVIEW DRIVE

ADDITION DATA
PROPOSED ADDITION HGT.
ABOVE AV. FIN. GRADE =
17.25' +/-

PROPERTY LINE DISTANCE
FROM THE BLDG. STRUCTURE
TO FRONT, REAR AND
SIDEYARDS DULY NOTED ON
SITE PLAN.



PROPERTY LINE SURVEY IS RECOMMENDED

LOCATION DRAWING FOR: 1199 HIGHVIEW DRIVE

1. This plat is of benefit to the customer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing, or refinancing.
2. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for transfer of title, securing financing, or refinancing.
4. A property line survey is necessary to determine the exact location of improvements and encroachments, if any.
5. Distances to property lines are accurate to within 2-feet, unless otherwise shown.
6. All fences shown herein are approximately located.
7. No title report furnished.

LIBER 31963 FOLIO 232
 LOT 8 BLOCK 00
 SECT. _____ PLAT 3
 SUBD. CAPE ST CLAIRE
 PLAT BOOK 21 FOLIO 45
 COUNTY ANNE ARUNDEL CO.
 SCALE 1"=30' CASE NO. 20-9809LM
 DATE 09-25-20 JOB NO. HDL20-043

CERTIFICATION:

I, the undersigned, and survey work reflected in it, is in compliance with the provisions of the laws of the State of Maryland, and the improvements as shown are correct to the best of my knowledge.

Gerald A. Placet

Gerald A. Placet, L.S. No. 21259, Exp. Date: 5/13/2021

CRITICAL AREA COMMISSION
 CHESAPEAKE AND ATLANTIC COASTAL BAYS
 1804 WEST STREET, SUITE 100
 ANNAPOLIS, MD 21401

PROJECT NOTIFICATION APPLICATION

GENERAL PROJECT INFORMATION

Jurisdiction: Anne Arundel County

Date:

Tax Map #	Parcel #	Block #	Lot #	Section
0040	155352	00	8	-

Tax ID: 316501071055

FOR RESUBMITTAL ONLY	
Corrections	<input type="checkbox"/>
Redesign	<input type="checkbox"/>
No Change	<input type="checkbox"/>
Non-Critical Area	<input type="checkbox"/>

*Complete Only Page 1
General Project Information

Project Name (site name, subdivision name, or other)	CAPE ST CLAIR		
Project location/Address	1199 HIGHVIEW DR		
City	ANNAPOLIS	Zip	21409
Local case number			
Applicant: Last name	CANDERS	First name	PERCY LEE
Company	Advantage Contracting Enterprises LLC		

Application Type (check all that apply):

- | | | | |
|---------------------------|--------------------------|-------------------|-------------------------------------|
| Building Permit | <input type="checkbox"/> | Variance | <input checked="" type="checkbox"/> |
| Buffer Management Plan | <input type="checkbox"/> | Rezoning | <input type="checkbox"/> |
| Conditional Use | <input type="checkbox"/> | Site Plan | <input type="checkbox"/> |
| Consistency Report | <input type="checkbox"/> | Special Exception | <input type="checkbox"/> |
| Disturbance > 5,000 sq ft | <input type="checkbox"/> | Subdivision | <input type="checkbox"/> |
| Grading Permit | <input type="checkbox"/> | Other | <input type="checkbox"/> |

Local Jurisdiction Contact Information:

Last name AACo Zoning Administration Section First name _____
 Phone # 410-222-7437 Response from Commission Required By TBD
 Fax # _____ Hearing date TBD

SPECIFIC PROJECT INFORMATION

Describe Proposed use of project site:

Small residential addition ≈ 140 SF

Intra-Family Transfer	<input type="checkbox"/>	Yes	Growth Allocation	<input type="checkbox"/>	Yes
Grandfathered Lot	<input type="checkbox"/>		Buffer Exemption Area	<input type="checkbox"/>	

Project Type (check all that apply)

Commercial	<input type="checkbox"/>	Recreational	<input checked="" type="checkbox"/>
Consistency Report	<input type="checkbox"/>	Redevelopment	<input type="checkbox"/>
Industrial	<input type="checkbox"/>	Residential	<input type="checkbox"/>
Institutional	<input type="checkbox"/>	Shore Erosion Control	<input type="checkbox"/>
Mixed Use	<input type="checkbox"/>	Water-Dependent Facility	<input type="checkbox"/>
Other	<input type="checkbox"/>		

SITE INVENTORY (Enter acres or square feet)

	Acres	Sq Ft	Total Disturbed Area	Acres	Sq Ft
IDA Area					
LDA Area		9,100			140
RCA Area			# of Lots Created		
Total Area		9,100			

	Acres	Sq Ft		Acres	Sq Ft
Existing Forest/Woodland/Trees			Existing Lot Coverage		1,356
Created Forest/Woodland/Trees			New Lot Coverage		140
Removed Forest/Woodland/Trees			Removed Lot Coverage		
			Total Lot Coverage		1,496

VARIANCE INFORMATION (Check all that apply)

	Acres	Sq Ft		Acres	Sq Ft
Buffer Disturbance			Buffer Forest Clearing		
Non-Buffer Disturbance			Mitigation		

Variance Type

Buffer	<input type="checkbox"/>
Forest Clearing	<input type="checkbox"/>
HPA Impact	<input type="checkbox"/>
Lot Coverage	<input type="checkbox"/>
Expanded Buffer	<input type="checkbox"/>
Nontidal Wetlands	<input type="checkbox"/>
Setback	<input type="checkbox"/>
Steep Slopes	<input type="checkbox"/>
Other	<input type="checkbox"/>

Structure

Acc. Structure Addition	<input type="checkbox"/>
Barn	<input type="checkbox"/>
Deck	<input type="checkbox"/>
Dwelling	<input type="checkbox"/>
Dwelling Addition	<input type="checkbox"/>
Garage	<input type="checkbox"/>
Gazebo	<input type="checkbox"/>
Patio	<input type="checkbox"/>
Pool	<input type="checkbox"/>
Shed	<input type="checkbox"/>
Other	<input type="checkbox"/>

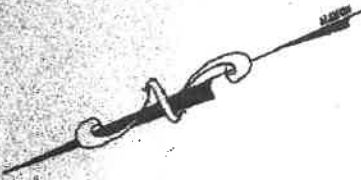
September 10, 2024

Ref: Critical Area Narrative

The owner has planted a crepe Myrtle and a Colorado blue spruce in the front yard. The owner also planted a Fuji apple tree in the right front side yard. There is another tree there that existed previously, it is believed to be a dogwood.

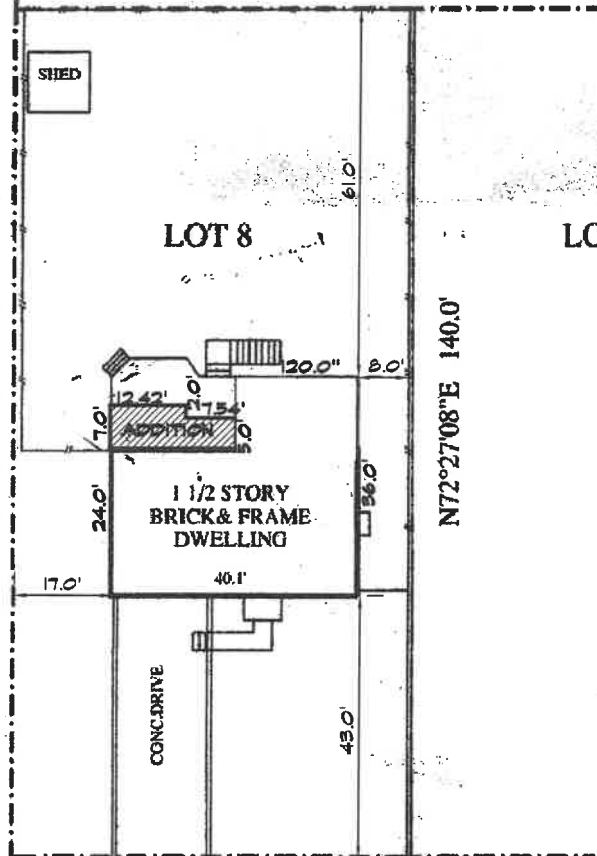
The owner planted about 7 thuja green trees in the back along the fence. There are about five additional shrubs in the back including a rose bush. The owner will be planting two additional rose bushes in the front. There is also an oak like tree along the road at the back of the property and two additional small flowering trees. Generally speaking, less than seven hundred square feet of the property is covered by scrubs and trees. None of these plants will be disturbed by the construction project. This construction project is an above ground raised addition consisting of about 140 square feet. The only existing ground surface area that will be disturbed are the three holes that will be dug to place support columns.

This property generally has proper slopping for rainwater to run off away from the existing house. The overall slope of the rear of the property in the area of the new construction has a slope of about 11% more or less. We will install a silt fence to manage stormwater and sediment control. This fence will be positioned around the area of the new construction addition. This document is submitted by the general contractor Percy Lee Sanders dba Advantage Contracting Enterprises LLC, with consultation from the owner Sarah A. King.



SKYVIEW DRIVE

S17°32'52"W 65.0'



N17°32'52"E 65.0'

HIGHVIEW DRIVE



PROPERTY LINE SURVEY IS RECOMMENDED

LOCATION DRAWING FOR: 1199 HIGHVIEW DRIVE

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6. All fences shown herein are approximately located.
7. No title report furnished.

LIBER	31963	FOLIO	232
LOT	8	BLOCK	00
SECT.		PLAT	3
SUBD.	CAPE ST CLAIRE		
PLAT BOOK	21	FOLIO	45
COUNTY	ANNE ARUNDEL CO.		
SCALE	1"=30'	CASE NO.	20-9809LM
DATE	09-25-20	JOB NO.	HDL20-043

CERTIFICATION
 I, the undersigned, after reviewing and survey work reflected in it, is in compliance with the provisions of the Surveying and Mapping Act of 1996 and the improvements as shown are correct to the best of my knowledge.

Gerald A. Placet
 GERALD A. PLACET, No. 21259 Exp. Date: 6/13/2021

ADDITION to the KING RESIDENCE

1199 HIGHVIEW DRIVE ANNAPOLIS, MD 21049

DATE: 7/9/2024	SCALE: AS NOTED
DRAWN BY: CW	CHECKED BY: MJ
REVISED:	NO. DATE: _____

CONTRACTOR NOTES:

1. UNLESS OTHERWISE NOTED, ALL REFERENCES BELOW TO THE CONTRACTOR APPLY TO THE GENERAL CONTRACTOR AND TO ALL SUBCONTRACTORS.
2. THIS PROJECT IS SUBJECT TO SITE VISITS BY THE ARCHITECT WHEN REQUESTED BY THE ARCHITECT'S CLIENT.
3. THE CONTRACTOR SHALL COMPLY WITH ANY EXISTING MARYLAND STATE REGULATIONS AND LEGISLATION REGARDING THE CONTROL OF POLLUTION AS IT APPLIES TO THE WORK.
4. CONTRACTOR TO PROVIDE OWNER/CLIENT WITH LIEN RELEASE FROM EACH SUBCONTRACTOR.

CODES:

1. ALL MATERIALS, CONSTRUCTION TECHNIQUES AND PRACTICES IN ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL WORK SHALL CONFORM TO THE APPLICABLE INTERNATIONAL BUILDING CODES AND THE REGULATIONS OF THE STATE AND IT'S LOCAL JURISDICTION AS WELL AS ALL APPLICABLE INDUSTRY STANDARDS.

PERMITS AND TESTS:

1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND TESTS IN CONJUNCTION WITH THE PROJECT, UNLESS OTHERWISE DIRECTED BY THE OWNER.

INSURANCE:

1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR INSURANCE COVERAGE FOR THE PROTECTION OF LIFE AND PROPERTY.
2. THE CONTRACTOR SHALL PROVIDE A CERTIFICATE OF INSURANCE RENDERING OWNER ADDITIONALLY INSURED FOR THE DURATION OF THE PROJECT

CONTRACTOR RESPONSIBILITIES:

1. IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS, OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THAT PART OF THE PROJECT WORK.
2. BEFORE SUBMITTING TO BID, THE CONTRACTOR SHALL VISIT THE PREMISES AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND THE EXTENT OF WORK REQUIRED TO COMPLETE THE PROJECT.

3. THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL ADJACENT AREAS AND PROPERTIES.
4. THE CONTRACTOR SHALL SUBMIT SAMPLES OF THE FINISH MATERIALS FOR THE CLIENT'S APPROVAL.
5. CONTRACTOR, SUBCONTRACTORS AND MATERIAL SUPPLIERS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE.
6. THE WORK PRESENTED IN THIS SET OF PLANS REPRESENTS AN ADDITION TO THE EXISTING RESIDENCE.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL BUILDING PERMITS RELATED TO THIS PROJECT.

8. THE CONTRACTOR SHALL PERFORM ALL WORK AS SHOWN ON THE DRAWINGS AND SHALL BE RESPONSIBLE FOR ALL WORK.
9. ALL WORK SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE, 2021, AND ANNE ARUNDEL COUNTY AMMENDMENTS.
10. ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE LIFE SAFETY CODE (NFPA #101), LOCAL AND STATE FIRE CODES.
11. DEMOLITION AND REMOVAL AS REQUIRED SHALL BE DONE BY THE CONTRACTOR.
12. CONTRACTOR SHALL REMOVE DEBRIS, MATERIALS, ETC. TO ALLOW ADEQUATE ACCESS TO OTHER SUBCONTRACTORS.
13. CONTRACTOR SHALL PROPERLY DISPOSE OF ALL DEBRIS IN ACCORDANCE WITH LOCAL ORDINANCES & REGULATIONS.

DRAWING LIST

- SP SITE PLAN
- CS PROJECT DATA, CONTRACTOR NOTES, DRAWING LIST, GRAVITY LOADS, GLAZED OPENINGS ENERGY DATA.
- D-1 DEMOLITION.
- A-1 PROPOSED ROOF/FLOOR PLANS.
- A-2 BUILDING ELEVATIONS.
- A-3 BUILDING CROSS SECTIONS.
- S-1 FOOTING PLAN, FLOOR/ROOF FRAMING.
- S-2 WALL BRACING

DESIGN GRAVITY LOADS

ADDITION FLOOR	40 PSF
ROOF	30 PSF

SNOW LOADING

GROUND SNOW LOAD	50 PSF
FROST LINE	30"

WIND LOADS

BASIC WIND SPEED	115
WIND EXPOSURE CATEGORY	B

SEISMIC LOADS

SEISMIC USE GROUP	II
SEISMIC DESIGN CATEGORY	B

WINDOWS/DOORS ENERGY DATA:

ALL WINDOWS & PATIO DOORS TO BE DBL. INSUL. GL., LOW "E", U-FACTOR = 0.29 BY ANDERSEN OR EQ.

PROJECT INFORMATION:

1. LOT AREA = 9100 s.f.
2. LOT COVERAGE = 1199 s.f.
3. ADDITION GROSS FLOOR AREA: 129 s.f.
4. ONE-STORY ADDITIO
5. WOOD FRAME CONSTRUCTION
6. CONTINUOUSLY SHEATHED EXTERIOR WALL CONSTRUCTION W/1/2" OSB/4 STRUCTURAL GRADE SHEATHING PER IRC 2021, R602.10.6.4.



VICINITY MAP

APPLICABLE BUILDING CODES

- 2021 INTERNATIONAL BUILDING CODE
- 2021 INTERNATIONAL RESIDENTIAL CODE
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE
- 2021 INTERNATIONAL MECHANICAL CODE
- 2020 NATIONAL ELECTRICAL CODE
- 2021 INTERNATIONAL PLUMBING CODE
- 2021 INTERNATIONAL FUEL GAS CODE CHAPTERS 16 & 17 OF THE AA COUNTY PLUMBING CODE, 1993 ANNE ARUNDEL COUNTY
- 2021 INTERNATIONAL EXISTING BUILDING CODE
- 2018 NFPA 1
- 2018 NFPA 101
- 2016 NFPA 13
- 2016 NFPA 13D
- 2016 NFPA 72 NATIONAL FIRE ALARM CODE

CW ARCHITECTS, INC.

3208 CASTLEBROUGH ROAD
BELTSVILLE, MD 20705
PHONE: 410-489-7794
E-MAIL: CWALCOTT@CWARCHING.COM



Sheet Title:
PROJECT DATA,
CONTRACTOR NOTES,
DRAWING LIST,
DOOR/WINDOW ENERGY
DATA, PROJECT
INFORMATION

Project Title:
ADDITION to PERSONAL
RESIDENCE
1199 Highview Drive
Annapolis, MD 21049
Lec Sanders

SHEET NO.

CS

REMOVE WINDOW AND
FRAME OPS. CLOSED

REMOVE WINDOW AND
PORTION OF EXIST. REAR
WALL, SEE SHT A-1.



REMOVE EXIST. ROOFING -
INCLUDING SHEATHING - PRIOR
TO INSTALLING NEW ROOF

REMOVE ALL SIDING AT EXIST.
REAR WALL & PORTION OF REAR
WALL FRAMING, REFER TO SHT. A-1.

DISMANTLE EXIST. DECK PRIOR TO
COMMENCEMENT OF CONSTRUCTION
& SAVE MATERIAL PER OWNER'S
INSTRUCTION.

EXISTING REAR VIEW

DATE: 7/5/2024
SCALE: AS NOTED
DRAWN BY: CW
CHECKED BY: MJ

NO.	DATE	REVISIONS:

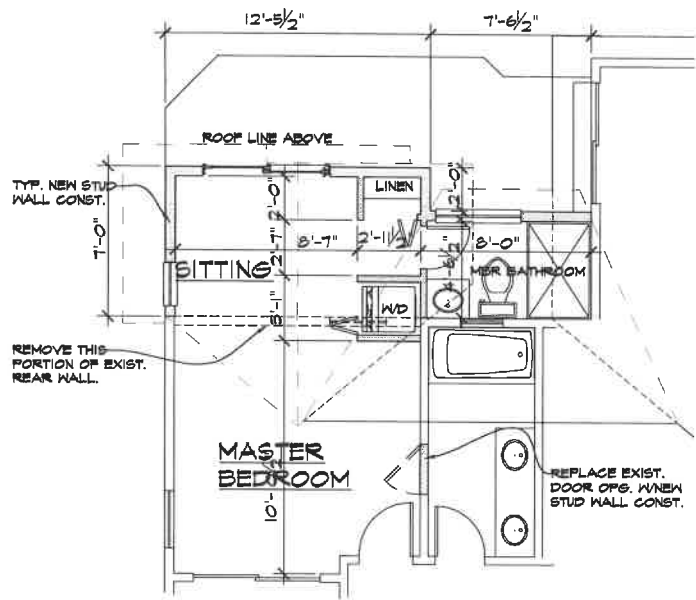
CW ARCHITECTS, INC.
3208 CASTLEBRIAR ROAD
BELTSVILLE, MD 20705
PHONE: 410-499-7734
E-MAIL: CWCOTT@CWARCHINC.COM



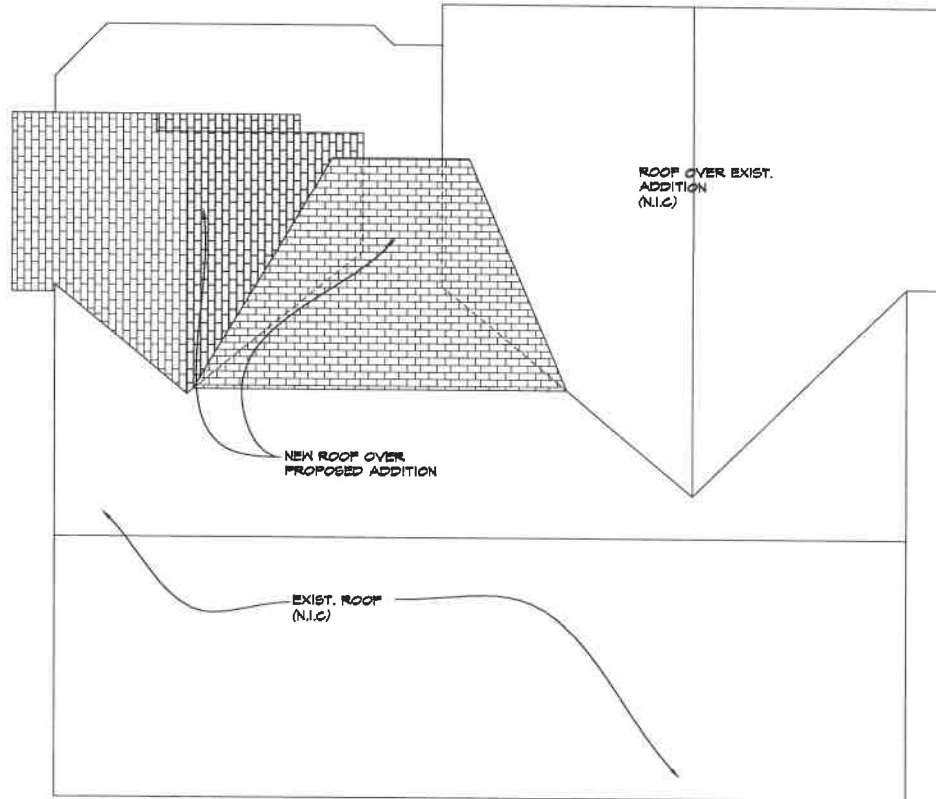
Sheet Title:
DEMOLITION

Project Title:
**ADDITION to PERSONAL
RESIDENCE**
1799 Highview Drive
Annapolis, MD 21099
Joe Saunders

SHEET NO.
D-1

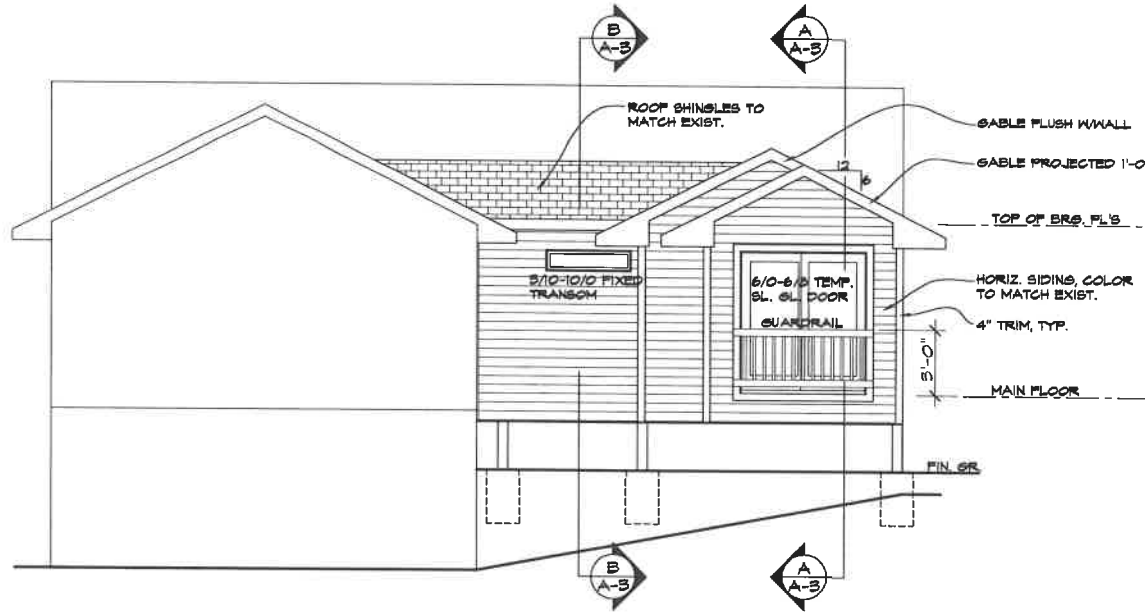


PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

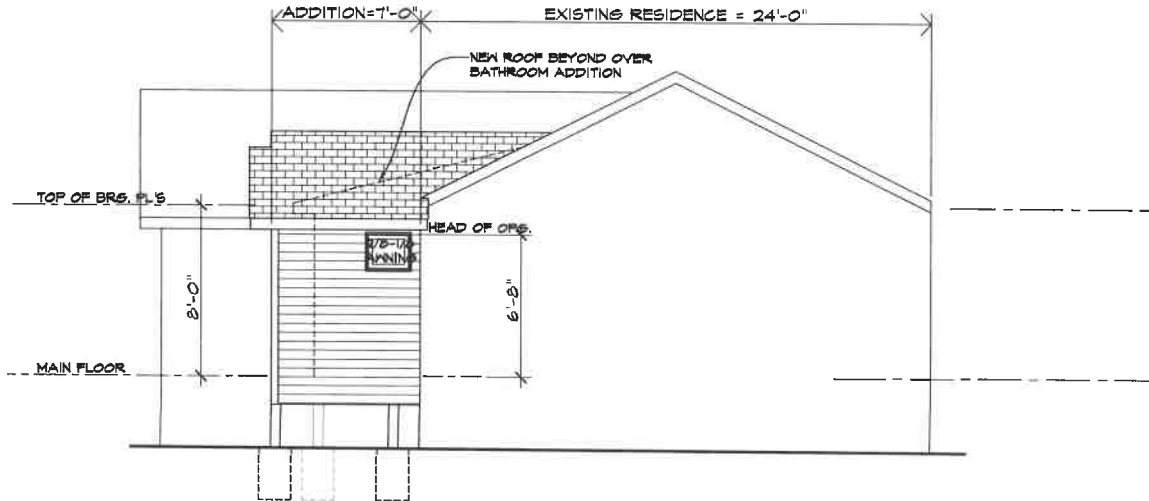


PROPOSED NEW ROOF PLAN
SCALE: 1/4" = 1'-0"

Project Title: ADDITION to PERSONAL RESIDENCE 198 Highview Drive Annapolis, MD 21409 <small>OWNER:</small> Lee Sanders	Sheet Title: FLOOR & ROOF PLANS		CW ARCHITECTS, INC. 3208 CASTLELEIGH ROAD BELTSVILLE, MD 20706 PHONE: 410-499-7734 E-MAIL: CWALCOTT@CWARCHING.COM	REVISIONS:	DATE: 7/5/2024
				NO. DATE:	CHECKED BY:
SHEET NO. <h1>A-1</h1>					



PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

DATE: 7/5/2024
SCALE: AS NOTED
DRAWN BY:
CHECKED BY:

REVISIONS:

NO.	DATE	DESCRIPTION

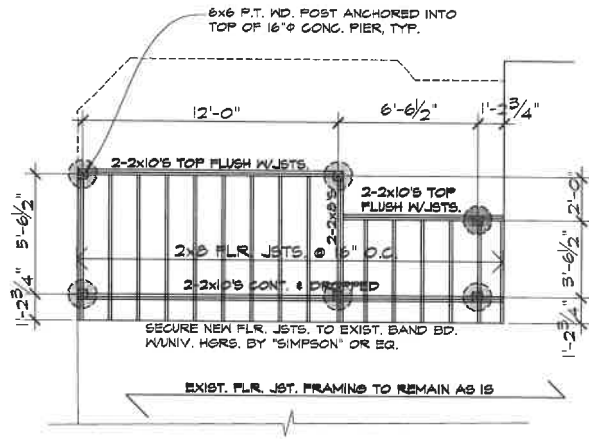
CW ARCHITECTS, INC.
3208 CASTLELEIGH ROAD
BELTSVILLE, MD 20705
PHONE: 410-499-7734
E-MAIL: CWALCOTT@CWARCHINC.COM



Sheet Title:
**ADDITION EXTERIOR
ELEVATIONS**

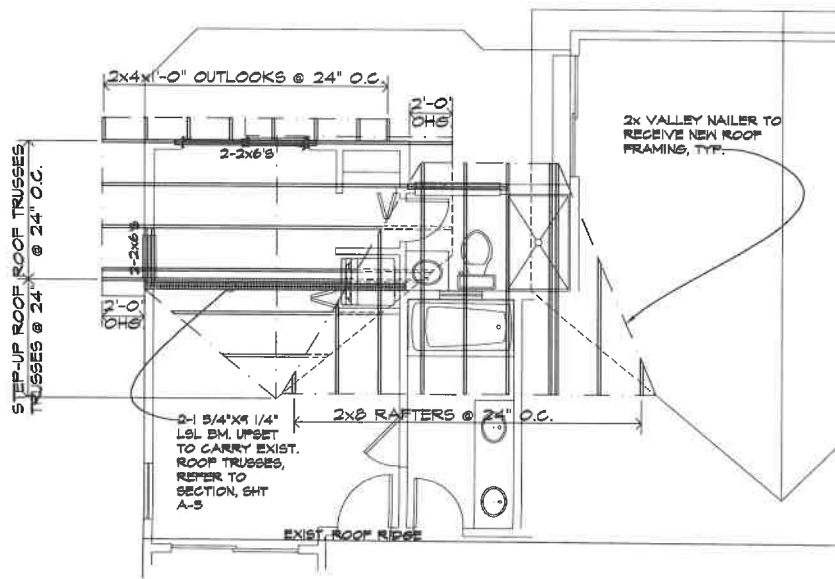
Project Title:
**ADDITION to PERSONAL
RESIDENCE**
1199 Highview Drive
Annapolis, MD 21049
Lee Samblers

SHEET NO.
A-2



ADDITION FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



ADDITION ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

STRUCTURAL NOTES

MAIN FLOOR LIVE LOAD: 40 psf
 ROOF LIVE LOAD: 50 psf
 FLOOR DEAD LOAD: 10 psf
 ROOF DEAD LOAD: 15 psf

PIER FOOTING:

BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE MINIMUM OF 2'-6" BELOW FINISHED GRADE AND SHALL BE EXTENDED AT LEAST 12" INTO UNDISTURBED SOIL. SOIL BEARING CAPACITY = 3000 psf. MIN.

CONCRETE:

ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST A.C.I. CODE B18.

28-DAY CONCRETE STRENGTH SHALL BE AS FOLLOWS:
 $f'_c = 5,000$ psi FOR FOOTINGS

ALLOWABLE SLUMP = 4" - 5"

WOOD FRAMING

ALL LUMBER SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICAN FOREST & PAPER ASSOCIATION'S (APFA) NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION. ALL STRUCTURAL WOOD MEMBERS SHALL BE HEAVY #1 OR BETTER WITH THE FOLLOWING COMBINATIONS OF UNIT STRESSES, UNLESS NOTED OTHERWISE ON THE DRAWINGS:

EXTREME FIBER STRESS IN BENDING = 875 PSI
 COMPRESSION PARALLEL TO GRAIN = 100 PSI
 MODULUS OF ELASTICITY = 400,000 PSI
 SHEAR STRESS = TO PSI

MALL AND ROOF SHEATHING

THE SHEATHING SHALL BE IDENTIFIED WITH THE APA GRADE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT REQUIREMENTS. PANEL GRADE FOR BOTH MALL AND ROOF SHEATHING SHALL BE APA RATED OSB SHEATHING PANELS WITH MINIMUM THICKNESS INDICATED AND SHALL BE OSB PANELS.

ROOF SHEATHING SHALL HAVE A MINIMUM SPAN RATINGS OF 40/20 AND SHALL BE CAPABLE OF SUPPORTING A LIVE LOAD OF 80PSF AND A TOTAL LOAD OF 40PSF WITH SUPPORTS SPACED AT 24" O.C. EDGES OF ROOF PANELS SHALL BE SUPPORTED WITH CLIPS AS INDICATED ON THE ARCHITECTURAL DRAWINGS.

EXTERIOR WALLS SHALL BE CONTINUOUSLY AND COMPLETELY SHEATHED WITH APA RATED OSB SHEATHING WITH THE MINIMUM THICKNESS INDICATED. WALL SHEATHING SHALL BE ATTACHED TO WOOD FRAMING MEMBERS USING MINIMUM #10 COMMON NAILS AT A MAXIMUM SPACING OF 4" O.C. AT ALL PANEL EDGES AND 12" O.C. AT INTERIOR PANEL SUPPORTS.

ROOF TRUSSES:

THESE ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER FOR THE SPAN, CONFIGURATION AND LOADING CONDITIONS INDICATED ON THE DRAWINGS. DESIGN AND DETAIL OF ALL TRUSSES SHALL MEET THE REQUIREMENTS OF ALL APPLICABLE BUILDING CODES AND SHALL BE IN ACCORDANCE WITH THE NATIONAL SPECIFICATION FOR STRESS GRADE LUMBER AND ITS FASTENINGS. COMPLETE TRUSS LAYOUT, SHOP DETAILS, STRESS DIAGRAMS AND BEARING DETAILS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION OF TRUSSES. IN LIEU OF STRESS DIAGRAMS MANUFACTURER'S TEST DATA MAY BE SUBMITTED SHOWING THE ALLOWABLE CAPACITY OF THE MEMBERS. TRUSSES SHALL BE FABRICATED WITH HYDRAULICALLY PRESSED, 16 GAUGE TOOTHED METAL PLATES OR 20 GAUGE STEEL SUBSET NAILING PLATES. CONNECTIONS SHALL BE CAPABLE OF TRANSMITTING THE STRESSES PLUS ALL ECCENTRICITIES.

DATE: 7/5/2024

SCALE: AS NOTED

DRAWN BY:

CHECKED BY:

REVISIONS:

CW ARCHITECTS, INC.

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 BELTSVILLE, MD 20706
 PHONE: 410-499-7734
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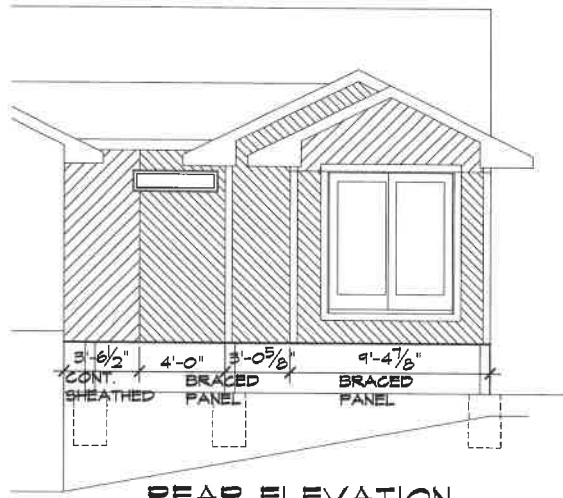
Sheet Title:
 FLOOR & ROOF FRAMING PLANS,
 NOTES

Project Title:
 ADDITION TO PERSONAL
 RESIDENCE
 19999 Highview Drive
 Annapolis, MD 21049

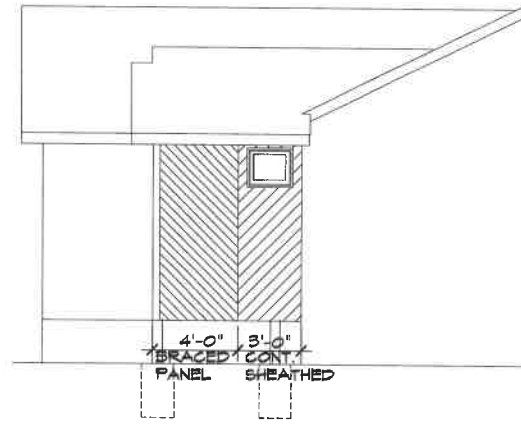
Lee Smidars

SHEET NO.

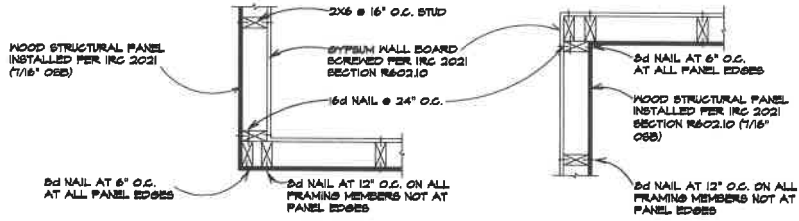
S-1



REAR ELEVATION
SCALE: 1'-0"



LEFT SIDE ELEVATION
SCALE: 1'-0"



FRAMING DETAIL AT OUTSIDE CORNER

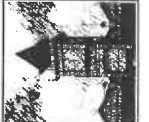
FRAMING DETAIL AT INSIDE CORNER

METHOD OF BRACING IS WITH CONTINUOUS WALL SHEATHING WITH 1/16" STRUCTURAL OSB

WIND BRACED PANEL DETAILS
BRACED PANEL DETAIL PER 2021 IRC CODE SECTION R602.10

REVISIONS:	
NO.	DATE

CW ARCHITECTS, INC.
3208 CASTLEBROUGH ROAD
BELTSVILLE, MD 20705
PHONE: 410-498-7734
E-MAIL: CWALCOTT@CWARCHINC.COM



Sheet Title:
WALL BRACING

Project Title:
ADDITION to PERSONAL RESIDENCE
1199 Highview Drive
Annapolis, MD 21409
Joe Sanders

SHEET NO.
S-2

DATE: 7/5/2024

SCALE: AS NOTED

DRAWN BY:

CHECKED BY:

1199 Highview topo map



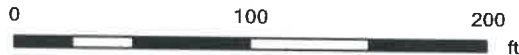
Legend

- Foundation
- Addressing
- Parcels
- Structure
- County Structure
- Elevation
 - Topo 2020
 - Index
 - Intermediate



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

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OpenStreetMap, Microsoft, Esri,
TomTom, Garmin, SafeGraph,
GeoTechnologies, Inc, METI/NASA,



THIS MAP IS NOT TO BE
USED FOR NAVIGATION

Notes 1"=100'