

July 2, 2024

Ms. Sterling Seay, Administrator
Office of Planning and Zoning
Zoning Division
2664 Riva Rd. 3rd Floor
Annapolis, MD 21401

Re: Lot 23 – 224 Drum Ave. N
G02019636

Dear Ms. Seay:

We are hereby requesting a Variance to Article 18, Subtitle 2, Section 18-4-202(b) and (c). We have included a history of the circumstances and note the following:

Lot Description:

1. The Lot is shown as Number 23, PB 31, Pg 98, Plat No. 1673. SDAT has Lot as 18,160 SF. The Plat was approved by Planning and Zoning in 1962. (See attached.) At the time of the Approval, the Lot met the Minimum Area and Dimensional Requirements (18-4-202b) of the applicable Code.
2. In Article 18-4-202(c) there is an exception to the General Prohibition, if the Lot was owned by the same family in 1987 (Webster). The family owned Lots; 22, 23, 25, 32, 33 and 34. All Lots except 22 and 23 exceeded the Minimum Area Requirement. Lot 22 being the smallest lot at 16,886 SF per SDAT. An earlier version of the Code 28-2-101c also required merger if the Lot was substandard.) This Bill had been in effect since 1986.
3. The Webster family acquired the Lots on October 31, 1984, from the State Highway Administration. (L3843/F183)
4. In April of 1989, the Websters sold Lot 22 to the Saubles as recorded in L4835/F743 but maintained ownership of Lot 23.
5. In August of 1997, the Websters sold Lot 23 to an S.J.G. Corp. as recorded in L8083/F485. They then flipped the Lot to the Girdanos as recorded in L8429/F540. The Lot was then sold to the Zimmermans in September of 1999, as recorded in L9342/F428. The Zimmermans are the family currently pursuing the Permit and subsequent Variance.
6. In June of 2000 a house was built on Lot 22 with the Permit being issued by the County. Since, Lots 22 and 23 were under separate ownership, it does not appear that a Merger was requested or processed. The property with the house was sold to the Twombly family in October of 2000 as recorded in L10029/F86.

At this point, the chain of the title of Lots 22 and 23 have been under separate ownership since 1997, which is now 27 years.

As noted above, Lot 23 was transferred in 1989 and Lot 23 in 1997. Because the County did not require a merger in 2000, Lot 23 has stood on its own.

Current Disposition:

- A. Lot 22 and its improvements have been owned by the Twombly's since 2000.
- B. Lot 23 has been owned by the Zimmerman's since 1999.
- C. The Zimmermans would like to build a new house on the vacant lot for their daughter and family.
- D. The lot size per SDAT is 18,186 SF, per Plat dimensions the Lot is 18,786 SF. Both areas are just short of the 20,000 SF required by Code.

E. The Lots have been under separate ownership for over 27 years.

With the above facts being considered, we are requesting the County grant relief and allow Lot 23 to be developed with a lot size that is approximately 1,314 SF below the Required Minimum Lot Area but can meet the 80 ft. minimum width at the BRL including relief to merge the adjacent Lot 22 (fully developed and under separate ownership).

We believe the proposed Plan and supporting documentation support this Request.

If you have questions or comments or need any additional information, please do not hesitate to contact our office at (410) 266-1160.

Sincerely,
TERRAIN



Roy C. Little, P.E.
Director of Engineering
RCL/II.3112



STANDARD RESPONSIBILITY NOTES

- I (WE) CERTIFY THAT:
 - ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THIS SEDIMENT AND EROSION CONTROL PLAN, AND FURTHER, AUTHORIZE THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY THE ANNE ARUNDEL SOIL CONSERVATION DISTRICT (AASCD) BOARD OF SUPERVISORS OR THEIR AUTHORIZED AGENTS.
 - ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE FROM THE MARYLAND DEPARTMENT OF THE ENVIRONMENT'S APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.
- RESPONSIBLE PERSONNEL ON SITE: _____
- IF APPLICABLE, THE APPROPRIATE ENCLOSURE WILL BE CONSTRUCTED AND MAINTAINED ON SEDIMENT BASIN(S) INCLUDED IN THIS PLAN. SUCH STRUCTURE(S) WILL BE IN COMPLIANCE WITH THE ANNE ARUNDEL COUNTY CODE.
- THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHT, AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORM WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THE PLAN.
- FOR INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT AND/OR TEMPORARY STABILIZATION PER THE AASCD VEGETATIVE ESTABLISHMENT SHALL BE COMPLETED WITHIN THREE CALENDAR DAYS FOR THE SURFACE OF ALL CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- THE GRADING AND SEDIMENT CONTROL APPROVAL ON THIS PLAN EXTENDS ONLY TO THOSE AREAS WITHIN THE LIMITS OF DISTURBANCE.
- THE APPROVAL OF THIS PLAN FOR SEDIMENT AND EROSION CONTROL DOES NOT RELIEVE THE DEVELOPER/CONSULTANT FROM COMPLYING WITH FEDERAL, STATE OR COUNTY REQUIREMENTS PERTAINING TO ENVIRONMENTAL ISSUES.
- THE DEVELOPER MUST REQUEST THAT THE SEDIMENT AND EROSION CONTROL INSPECTOR APPROVE WORK COMPLETED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN, THE GRADING OR BUILDING PERMIT, AND THE ORDINANCE.
- ALL MATERIAL SHALL BE TAKEN TO A SITE WITH AN APPROVED SEDIMENT AND EROSION CONTROL PLAN.
- FIRST PHASE INSPECTION AND APPROVAL OF THE SEDIMENT AND EROSION CONTROL INSPECTOR SHALL BE REQUIRED UPON COMPLETION OF THE INSTALLATION OF EROSION AND SEDIMENT CONTROLS PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THE INITIAL APPROVAL BY THE SEDIMENT AND EROSION CONTROL INSPECTOR IS GIVEN. INSPECTION AND PERMITS MAY ALSO REQUIRE THAT AN INSPECTION AND CERTIFICATION OF THE INSTALLATION OF SEDIMENT CONTROL ALSO BE PERFORMED BY A DESIGN PROFESSIONAL PRIOR TO CONSTRUCTION COMMENCING.
- APPROVAL FROM THE INSPECTOR MUST BE REQUESTED ON FINAL STABILIZATION OF ALL SITES PRIOR TO REMOVAL OF SEDIMENT AND EROSION CONTROLS.
- EXISTING TOPOGRAPHY MUST BE FIELD VERIFIED BY RESPONSIBLE PERSONNEL TO THE SATISFACTION OF THE SEDIMENT CONTROL INSPECTOR PRIOR TO COMMENCING WORK.

SIGNATURE OF DEVELOPER/OWNER: David Zimmerman DATE: 6-21-2024

PRINT: NAME: DAVID R. ZIMMERMAN TITLE: OWNER

AFFILIATION: ---

ADDRESS: 309 CHRISTY ROAD PASADENA, MD 21122

TELEPHONE NUMBER: (443)-618-2738 EMAIL ADDRESS: FANCORAL11@AOL.COM

CONSULTANT'S CERTIFICATION

THE DEVELOPER'S PLAN TO CONTROL SILT AND EROSION IS ADEQUATE TO CONTAIN THE SILT AND EROSION ON THE PROPERTY COVERED BY THE PLAN. I CERTIFY THAT THIS PLAN OF EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THIS SITE, AND WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AASCD PLAN SUBMITTAL GUIDELINES AND HE CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. I HAVE REVIEWED THIS EROSION AND SEDIMENT CONTROL PLAN WITH THE OWNER/DEVELOPER.

SIGNATURE: Roy C. Little MD. P.E. LICENSE # 13354 DATE 6-21-2024

MD. LAND SURVEYOR LICENSE # _____ DATE _____

NAME (PRINT) ROY C. LITTLE, P.E. FIRM NAME TERRAIN, INC.

ADDRESS 53 OLD SOLOMONS ISLAND RD. SUITE "I" ANNAPOLIS, MD. 21401

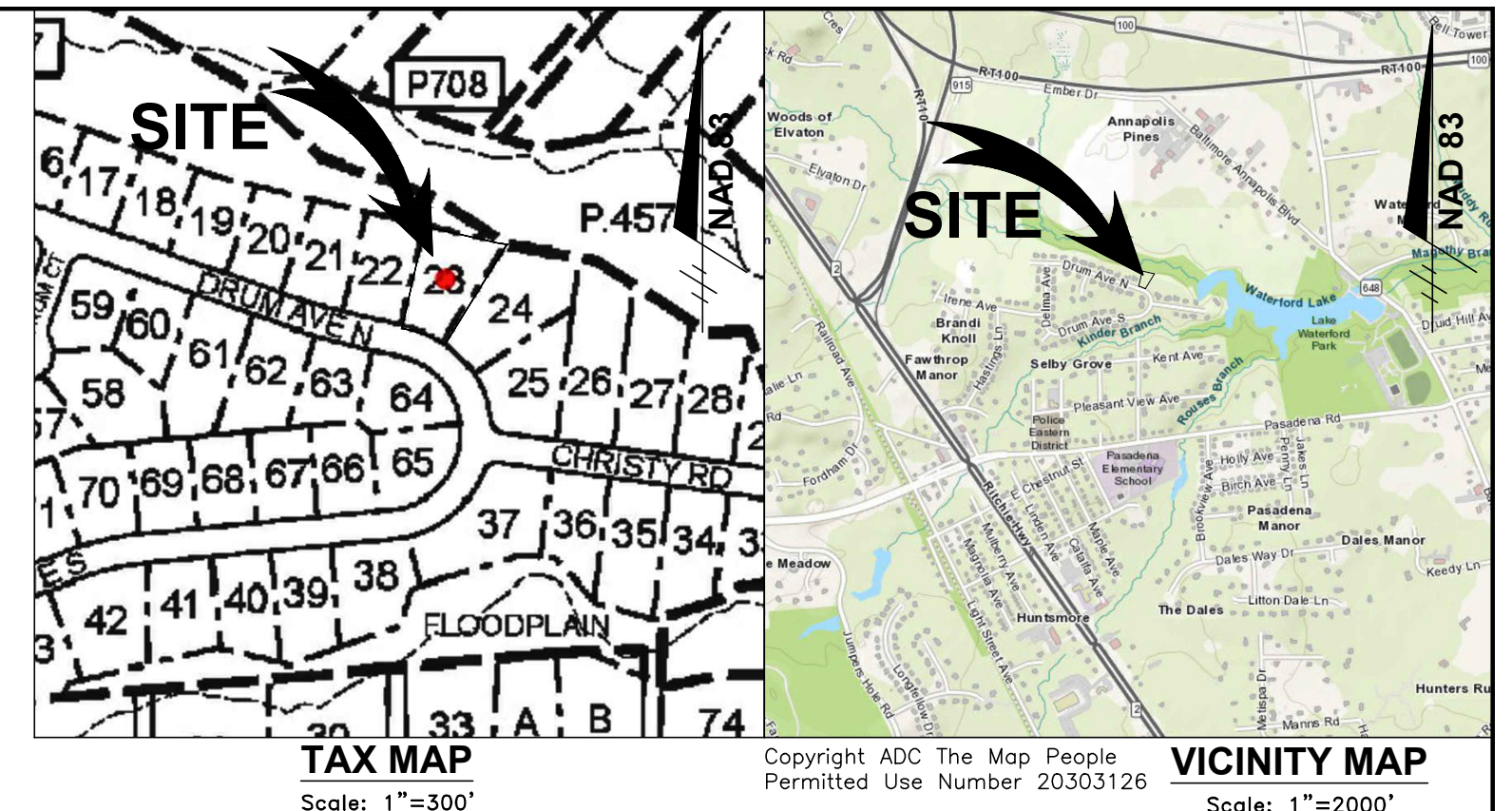
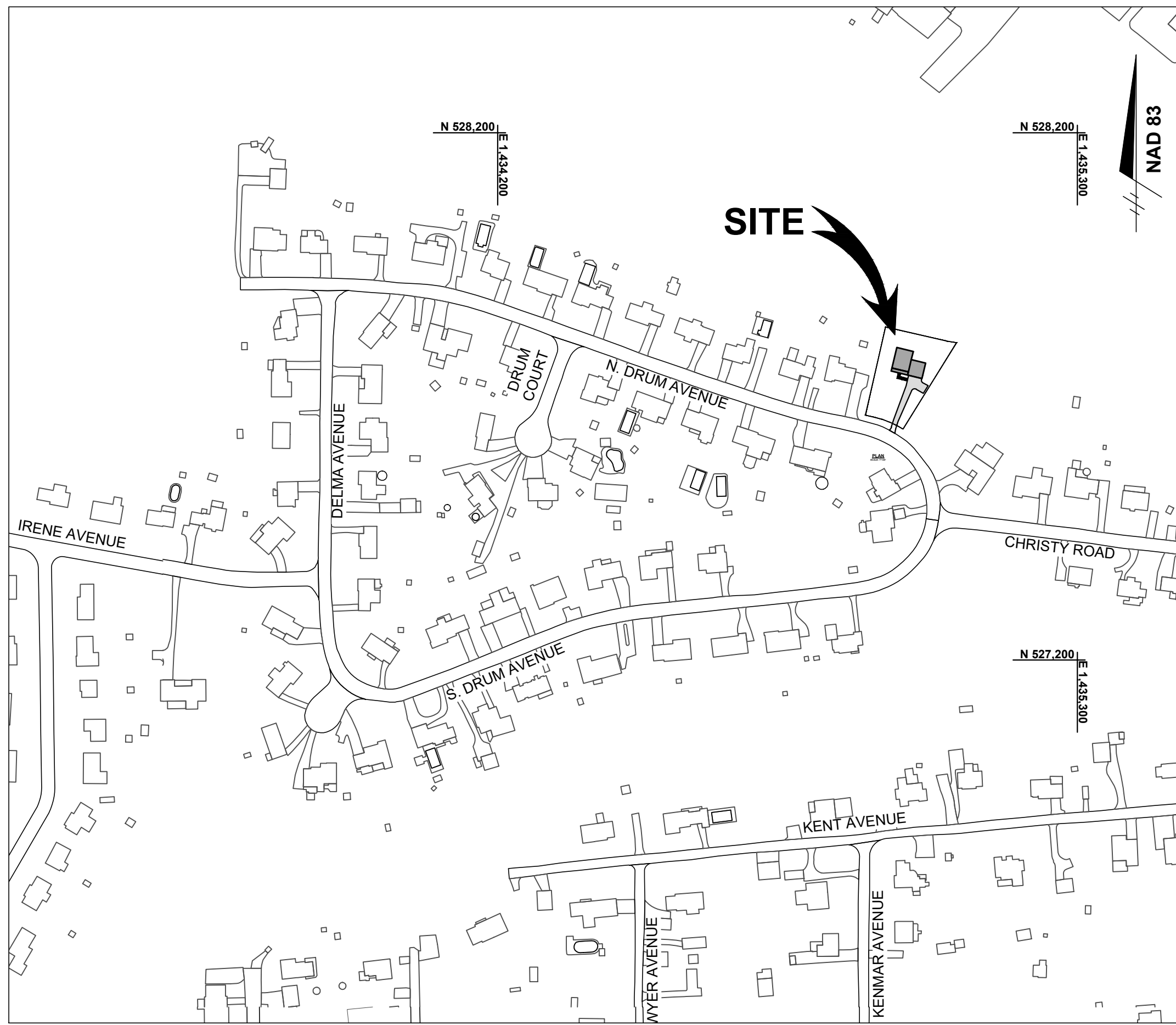


SITE DEVELOPMENT AND GRADING PLAN FOR LOT 23 224 N. DRUM AVENUE

STORMWATER MANAGEMENT RECORD DRAWING CERTIFICATION

THIS CERTIFIES TO THE BEST OF MY PROFESSIONAL BELIEF AND KNOWLEDGE, THE APPROVED S.W.M. SYSTEM(S) AS SHOWN HEREON HAVE BEEN CONSTRUCTED IN SUCH A MANNER THAT WOULD BE CONSISTENT WITH THE APPROVED PLANS. ANY CHANGES/MODIFICATIONS ARE SHOWN IN RED.

ROY C. LITTLE, P.E. #13354 (EXP. 02/28/25)



SITE ANALYSIS (EARTHWORKS/DISTURBANCE)

- CUT 350 ± CUBIC YARDS
- FILL 300 ± CUBIC YARDS 50 ± CUBIC YARDS SPOIL/BORROW
- PREDOMINANT SOIL TYPE: PgB-'A' & SME-'C'
- TOTAL AREA STRUCTURALLY STABILIZED 0.09 AC.± 4,070 SQ. FT.±
- TOTAL AREA VEGETATIVELY STABILIZED 0.18 AC.± 7,987 SQ. FT.±
- TOTAL AREA OF DISTURBANCE IS 0.27 AC.± 12,057 SQ. FT.±

STRUCTURE/ PARKING ANALYSIS

ZONING R2

- MAXIMUM HEIGHT FOR PRINCIPLE STRUCTURE= 45 FT. (ALLOWED) = 40 FT. (PROVIDED)
- MAXIMUM COVERAGE(30 % OF GROSS AREA)= 5,636 SQ. FT. (ALLOWED) (12.3 % OF GROSS AREA)= 2,312 SQ. FT. (PROVIDED)
- FLOOR AREA PRINCIPLE STRUCTURE= 4,624 SQ. FT. (TL. FLOORS)
- PARKING PROVIDED= 2 ON-SITE PARKING MIN (*3 ON-SITE WHEN OFF STREET PARKING IS PROHIBITED)

- SEQUENCE OF CONSTRUCTION FOR SINGLE FAMILY DWELLING**
- OBTAIN ALL NECESSARY PERMITS. CONDUCT A PRE-CONSTRUCTION MEETING. CONTRACTOR TO NOTIFY THE ANNE ARUNDEL COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS AT (410) 222-7780 AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. WORK MAY NOT COMMENCE UNTIL THE PERMITEE, OR THE RESPONSIBLE PERSONNEL HAVE MET ON-SITE WITH THE SEDIMENT AND EROSION CONTROL INSPECTOR TO REVIEW THE APPROVED PLANS. NOTE: THE PERMITEE OR CONTRACTOR SHALL NOT COMMENCE WITH CLEARING OR ANY EARTH DISTURBANCE ACTIVITIES ON THE SITE DURING OR BEFORE WET WEATHER EVENTS. ONCE THE SITE WORK BEGINS, CLEARING AND GRUBBING ACTIVITIES SHALL BE FOR THE INSTALLATION AND STABILIZATION OF THE PERIMETER EROSION CONTROL MEASURES ONLY. (1 DAY)
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE AND ALL SEDIMENT CONTROLS AS SHOWN ON PLAN. NO CLEARING OR GRADING IS TO BE DONE EXCEPT WHERE NECESSARY FOR THE INSTALLATION OF SEDIMENT CONTROLS. (1 DAY)
 - CONTACT THE INSPECTOR FOR APPROVAL OF SEDIMENT CONTROL INSTALLATION. INSPECTIONS AND PERMITS MAY REQUIRE THAT AN INSPECTION AND CERTIFICATION OF THE INSTALLATION OF SEDIMENT CONTROLS ALSO BE PERFORMED BY A DESIGN PROFESSIONAL PRIOR TO CONSTRUCTION COMMENCING. (1 DAY)
 - CLEAR, GRUB AND ROUGH GRADE SITE ONLY AS SHOWN WITHIN THE LIMITS OF DISTURBANCE. HAUL ALL DEBRIS TO AN APPROVED SITE. *INSTALL DRIVEWAY BASE COURSE PRIOR TO ANY HOUSE CONSTRUCTION. (1 WEEK)
 - INSTALL PRIVATE SEPTIC, WHC, OR OTHER UTILITIES AT THIS TIME IF THE ACCESS WILL BE BLOCKED BY BUILDING CONSTRUCTION. ANY SEDIMENT CONTROLS DAMAGED MUST BE REPLACED BY THE END OF THE WORKDAY. (2 WEEKS)
 - CONSTRUCT PROPOSED FOUNDATION AND ASSOCIATED IMPROVEMENTS. CONSTRUCTION OF THE FIRST FLOOR WALLS OF ANY BUILDING OR STRUCTURE MAY NOT PROCEED UNTIL THE FOUNDATION HAS BEEN BACKFILLED AND ALL DISTURBED AREAS WITHIN THE LIMITS OF DISTURBANCE HAVE BEEN PERMANENTLY OR TEMPORARILY STABILIZED. A CERTIFICATE IS TO BE PROVIDED BY THE ENGINEER TO THE INSPECTOR VERIFYING THE GRADES AND DRAINAGE PATTERNS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN OBTAINED. (2 WEEKS)
 - ONCE THE SITE IS STABILIZED, WITH THE GRADING INSPECTOR'S APPROVAL, FRAMING MAY COMMENCE ABOVE THE GROUND FLOOR. DURING BUILDING CONSTRUCTION BEYOND THE GROUND FLOOR, ALL DISTURBED AREAS MUST BE STABILIZED AT THE END OF EACH BUSINESS DAY. ALL AREAS ARE TO BE VEGETATIVELY STABILIZED PER THE ANNE ARUNDEL SOIL CONSERVATION DISTRICT'S DETAILS AND SPECIFICATIONS FOR VEGETATIVE ESTABLISHMENT. (120 DAYS)
 - ONCE UPSTREAM AREAS ARE 95% STABILIZED, INSTALL SWM SYSTEMS AND DEVICES AND/OR PLANTINGS. (SEDMINT IS TO BE PREVENTED FROM ENTERING SWM SYSTEMS DURING CONSTRUCTION; INFLOW PIPES TO BE CONNECTED AFTER CONTRIBUTING DRAINAGE AREAS ARE ALSO STABILIZED). THE ENGINEER MUST CERTIFY SWM INSTALLATION. (1 WEEK)
 - FINE GRADE AND STABILIZE ALL DISTURBED AND AFFECTED AREAS. INSTALL DRIVEWAY TO FINAL SURFACE AND STABILIZE ACCESS WITH CR-6 GRAVEL OR PAVEMENT FROM ACCESS ROAD OR RIGHT-OF-WAY TO THE STRUCTURE. (2 DAYS)
 - WITH GRADING INSPECTOR'S APPROVAL, REMOVE REMAINING SEDIMENT CONTROLS. (1 DAY)
 - MAINTENANCE. (ONGOING)

- GENERAL NOTES**
- TOTAL AREA OF SITE IS 0.4312 AC.± = 18,786 SQUARE FEET.
 - TOTAL ZONING IS: R2 SETBACKS: FRONT-30FT REAR-25FT SIDE-7FT
 - EXISTING USE OF THE SITE IS VACANT WOODED
 - PROPOSED USE OF THE SITE IS SINGLE FAMILY DWELLING
 - SITE IS KNOWN AS 224 N. DRUM AVENUE LOT 23
 - PUBLIC WATER AND PRIVATE SEPTIC TO BE INSTALLED AND UTILIZED. MASTER PLAN CATEGORIES; SEWER-S5 (FUTURE SERVICE) BROADNECK WATER-W5 (EXISTING SERVICE) GLEN BURNIE LOW
 - F.E.M.A. #24003C0155E ZONE X/A ELEV. -
 - **SPECIAL FLOOD HAZARD AREA (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD
 - SITE IS NOT IN A CRITICAL AREA ZONE.
 - THIS SITE IS LOCATED WITHIN THE MAGOTHY RIVER WATERSHED.
 - THE SITE IS NOT IN A BOG PROTECTION AREA
 - N. DRUM AVENUE IS NOT A SCENIC OR A HISTORIC ROAD. N. DRUM AVENUE IS CLASSIFIED AS A LOCAL COUNTY ROAD.
 - CONTOURS SHOWN ON THIS PLAN ARE TAKEN FROM A.A.CO. TOPO AND UTILITY OPERATIONS MAPS FOR ON-SITE & OFF-SITE AREAS. BOUNDARY SHOWN ON THIS PLAN DERIVED FROM A FIELD SURVEY BY TERRAIN INC. THE CONTRACTOR SHALL VERIFY THE ELEVATIONS TO HIS OWN SATISFACTION PRIOR TO STARTING WORK, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEERS ATTENTION IMMEDIATELY.
 - CUT AND FILL QUANTITIES PROVIDED UNDER SITE ANALYSIS DO NOT REPRESENT BID QUANTITIES. THESE QUANTITIES DO NOT DISTINGUISH BETWEEN TOPSOIL, STRUCTURAL FILL OR EMBANKMENT MATERIAL, NOR DO THEY REFLECT CONSIDERATION OF UNDERCUTTING OR REMOVAL OF UNSUITABLE MATERIAL. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS WHICH MAY AFFECT THE WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND REPLACING ANY EXISTING FENCES, DRIVEWAYS ETC. DAMAGED OR REMOVED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL NOTIFY MISS UTILITY 1-800-257-7777, 48 HOURS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
 - THIS PLAN IS INTENDED TO PROVIDE SEDIMENT CONTROL DURING THE GRADING OF THE ROADS AND LOT(S) AND THE CONSTRUCTION OF HOUSE MEASURES HAVE BEEN TAKEN TO PREVENT SEDIMENT FROM LEAVING THE SITE.
 - TERRAIN INC. HAS NOT FIELD VERIFIED EXISTING UTILITY INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT AND OBTAIN ALL RECORDS, INFORMATION AND LOCATION PRIOR TO COMMENCEMENT OF GRADING OPERATIONS, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEERS ATTENTION IMMEDIATELY.
 - ANY PERTINENT INFORMATION WITHIN 100' OF PROPERTY LINE IS SHOWN.
 - THIS GRADING PERMIT#G02019636 WAS REVIEWED UNDER THE 2010 REGULATIONS FOR STORMWATER MANAGEMENT. STORMWATER MANAGEMENT PRACTICES WILL BE PROVIDED FOR THIS SITE IN ACCORDANCE WITH ARTICLE 16, SECTION 4 AND THE FINAL PLAN ON FILE WITH THE OFFICE OF PLANNING AND ZONING. ESD TO THE MEP WAS ACHIEVED THROUGH: TWO RAIN GARDENS.
 - BENCHMARKS: BM#1:TRAV 902/MAG-NAIL, EL=60.54, NAD88

STORMWATER MANAGEMENT DATA FORM v1.1/2020

Project Table for Each Drainage Area									
Permit Number	G020196360								
Project Number	#3112								
Project Name	224 N. Drum Avenue								
Structure Address	224 N. Drum Avenue								
Structure City	Pasadena								
State	MD								
Structure Zip	21122								
Total Drainage Area (Acres)	0.43 ac								
RCN - Pre Construction	42								
RCN - Post Construction	60								
RCN - Woods	60								
Total Number of BMPs	2								
PE Required (see Note 1)	1.48"								
PE Addressed (see Note 2)	1.48"								
MD 8-Digit HUC (see Note 4)	02-13-10-01								
USGS 12-Digit HUC									

SHEET INDEX

NO.	DESCRIPTION
1	COVER SHEET
2	EX/DEV. DRAINAGE AREA MAPS
3	RESOURCE MAP
4	20 SCALE PLAN
5	NOTES AND DETAILS SHEET
6	SWM NOTES AND DETAILS SHEET
7	MODIFICATION SHEET

AS-BUILT NOTE

ALL GRADING, DRAINAGE, STRUCTURES AND EROSION AND SEDIMENT CONTROL PRACTICES INCLUDING FACILITIES AND VEGETATIVE MEASURES HAVE BEEN COMPLETED IN CONFORMANCE WITH THE APPROVED PLANS.

(OWNER)

LICENSE#13354 ROY C. LITTLE, PE (ENGINEER)

STORM_ID	STRU_NAME	MDE BMP CLASS	MDE BMP TYPE	CONSTRUCTION PURPOSE	ON or OFF SITE	LAND USE	DEVICE DRAINAGE AREA (SF)	IMPERVIOUS AREA (Square Feet)	IMPERVIOUS ACRES (Square Feet)	MD NORTH COORD (NAD83 - FT)	MD EAST COORD (NAD83 - FT)	WQ _v (ft3) (See Note 5)	Maintenance Responsibility	New
Rain Garden#1		E	MIRNG	NEWSD	ON	RES	1,562 SF	1.562 SF	N-52778.54	E-143490.77	314 CF	Individual Homeowner		
Rain Garden#2		E	MIRNG	NEWSD	ON	RES	1,472 SF	1.472 SF	N-52778.39	E-143490.20	314 CF	Individual Homeowner		

STORMWATER MANAGEMENT SUMMARY TABLE

MINIMUM SIZING CRITERIA	SYMBOL	VOLUME REQUIRED (CUBIC-FEET)	SWM PRACTICE	NOTES
WATER QUALITY VOLUME	(WQv)	77 CF	ESD METHODS	TWO RAIN GARDENS
RECHARGE VOLUME	(Rev)	170 CF	ESD METHODS	TWO RAIN GARDENS
CHANNEL PROTECTION STORAGE VOLUME	(CPv)	567 CF	ESD METHODS	TWO RAIN GARDENS
OVERBANK FLOOD PROTECTION	(Qp10)	N/A	N/A	DRAINAGE TO EXISTING OFF-SITE STREAM (MAGOTHY BRANCH)
EXTREME FLOOD	(Qf)	N/A	N/A	

OUTFALL STATEMENT

A FIELD INVESTIGATION OF THE SITE OUTFALL WAS PERFORMED BY TERRAIN INC. IN DECEMBER, 2022. THE SITE IS AN UNDEVELOPED RESIDENTIAL 0.43 AC LOT IN PASADENA, MARYLAND. THE PROPOSED DEVELOPMENT IS CONSTRUCTION OF A HOUSE, GARAGE, FRONT PORCH, WALKWAY, DRIVEWAY, SEPTIC SYSTEM, WHC, AND SWM. THE SITE DRAINS FROM THE FRONT OF THE LOT NORTH TOWARDS THE BACK OF THE LOT, THEN CONTINUES DOWN TOWARDS AN EXISTING STREAM (MAGOTHY BRANCH), WITH THE ULTIMATE OUTFALL BEING WATERFORD LAKE. ALL AREAS ARE WELL VEGETATED AND STABLE. THE OUTFALL CONFIGURATION, SOIL TYPE, AND VEGETATIVE COVERS ARE SUCH THAT EROSION OR SEDIMENTATION SHALL NOT OCCUR AS A RESULT OF THE PROPOSED DEVELOPMENT. IF ALL CONSTRUCTION IS IN ACCORDANCE WITH THESE PLANS AND THE A.A.CO. DESIGN CRITERIA UTILIZING THE DETAILS AND SPECIFICATION STANDARDS.

SWM CONCEPT

SWM SHALL BE PROVIDED FOR THIS NON CRITICAL AREA DEVELOPMENT BY ESD METHODS TO PROVIDE WATER QUALITY, RECHARGE AND CHANNEL PROTECTION. THE ESD METHODS USED WAS TWO RAIN GARDENS. OP IS NOT REQUIRED DUE TO SITE OUTFALL FLOWING TO AN OFF-SITE STREAM (MAGOTHY BRANCH).

MODIFICATION NOTE

THIS DEVELOPMENT IS SUBJECT TO THE APPROVED MODIFICATIONS MODIFICATION #17390
 *(STEEP SLOPE + BUFFER DISTURBANCE SEE SHEET 7 OF 7)

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REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE #, 13354, EXPIRATION DATE: 2/28/25. (CORPORATE LICENSE #48856, EXPIRATION DATE: 2/28/2026)

OWNER
 DAVID R. ZIMMERMAN
 309 CHRISTY ROAD
 PASADENA, MD 21122
 TEL:(443)-618-2738
 EMAIL:FANCORAL11@AOL.COM

TERRAIN
 ENGINEERING · SURVEYING · ENVIRONMENTAL

53 OLD SOLOMONS ISLAND ROAD, SUITE I
 ANNAPOLIS, MARYLAND 21401
 410-266-1160
 EMAIL: TERRAIN@COMCAST.NET

COVER SHEET

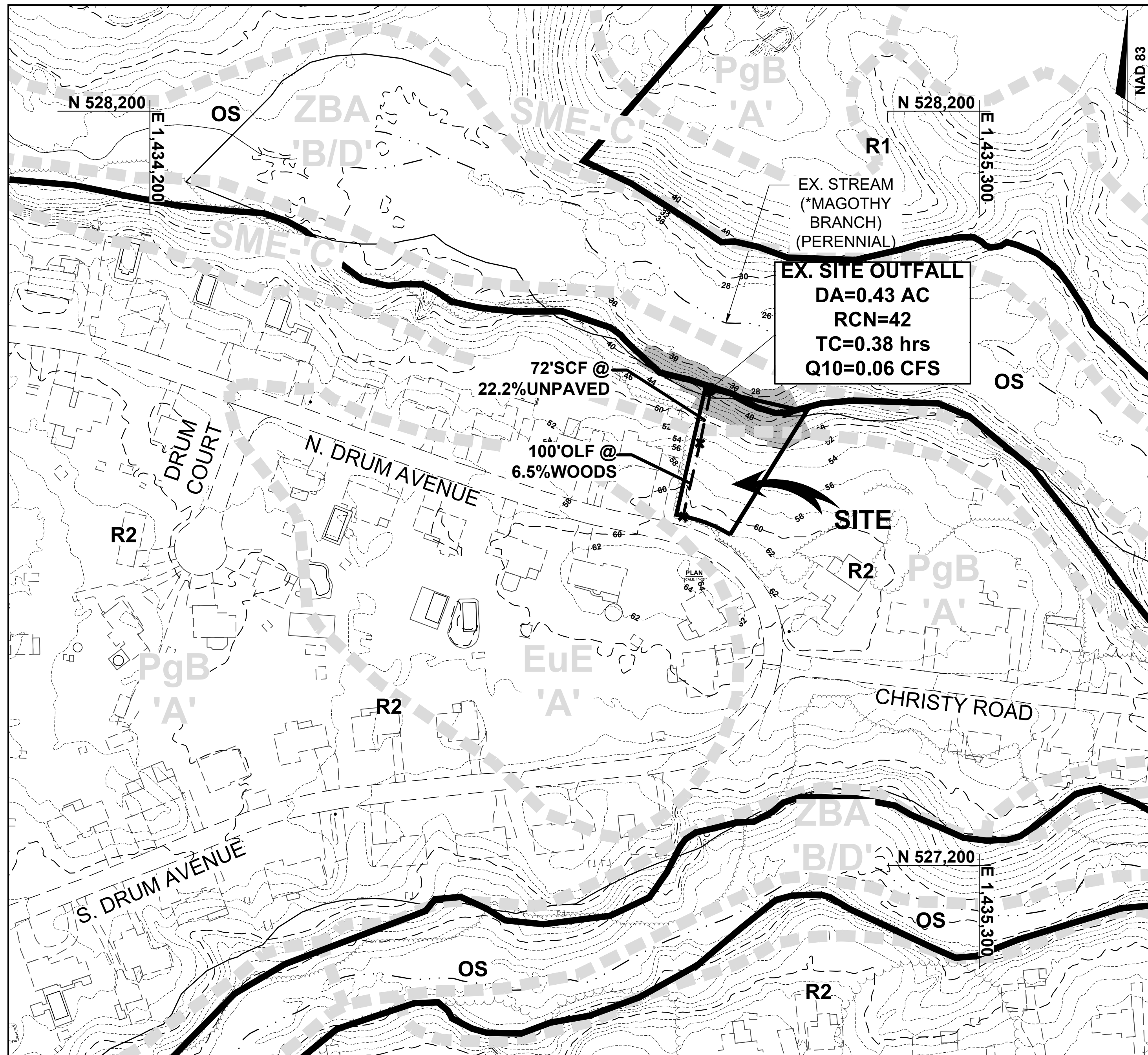
GRADING, EROSION AND SEDIMENT CONTROL PLAN

SELBY GROVE
 LOT 23 SECTION 2 PLAT 2
 PB. 31, PG. 98, PLAT NO. 1673
 224 N. DRUM AVENUE
 PASADENA, MD 21122

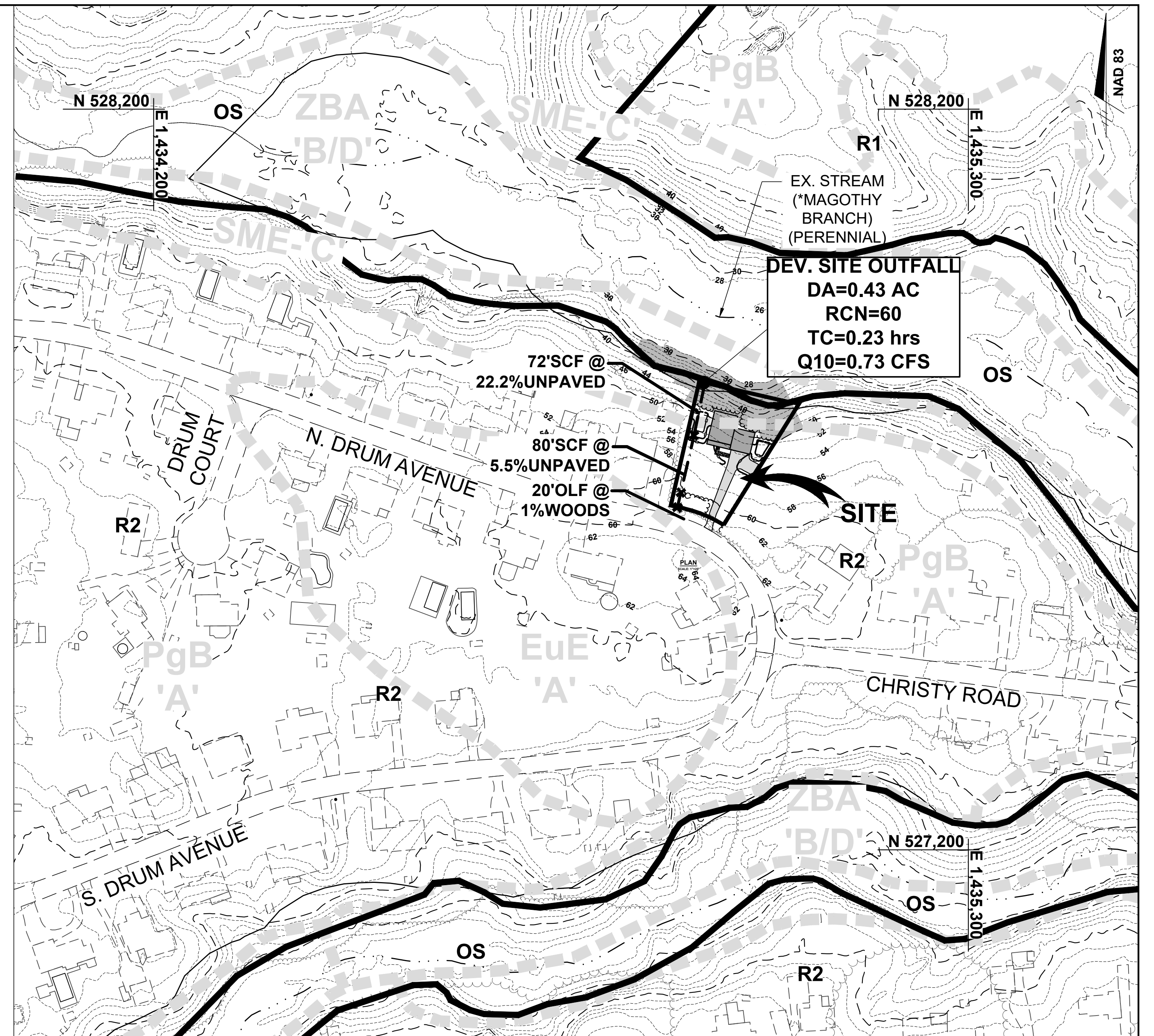
TAX MAP 23, GRID 5, PARCEL 147 TAX ACCT#03-722-90046471 ZONING:R2
 SECOND TAX DISTRICT ANNE ARUNDEL COUNTY, MARYLAND

DATE: JUNE, 2024 DRAWN BY: D.J.B.
 SCALE: AS SHOWN CHECKED BY: R.C.L.
 SHEET: 1 OF 7 TERRAIN JOB NO. 3112

G.P. NO. G02019636

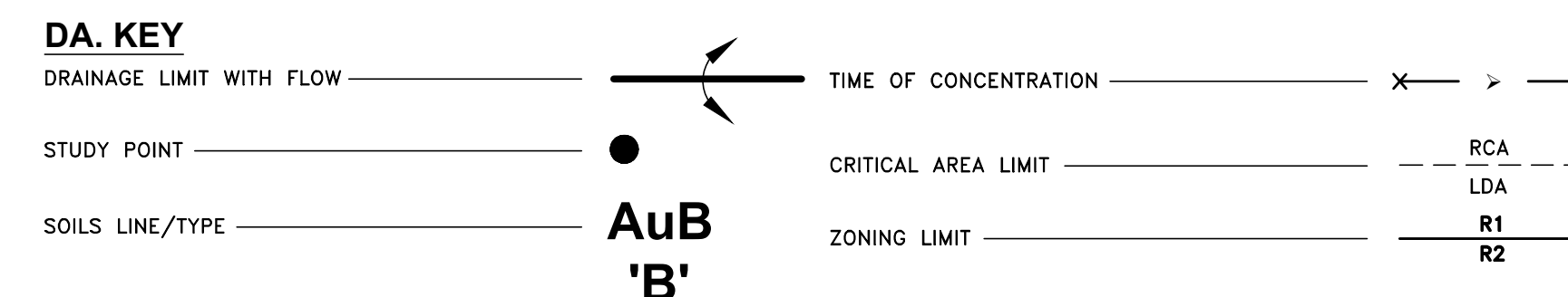


THIS SITE LOCATED WITHIN THE MAGOTHY RIVER WATERSHED. **EX. DRAINAGE AREA MAP**
Scale: 1"=100'



THIS SITE LOCATED WITHIN THE MAGOTHY RIVER WATERSHED. **DEV. DRAINAGE AREA MAP**
Scale: 1"=100'

ZONING: R2	ERODIBILITY FACTOR
SOILS- PgB-PATAPSCO-'A'	.02
-SME-SASSAFRAS-'C'	.15



G.P. NO. G02019636

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DAVID R. ZIMMERMAN
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EX/DEV. DRAINAGE AREA MAPS

GRADING, EROSION AND SEDIMENT CONTROL PLAN

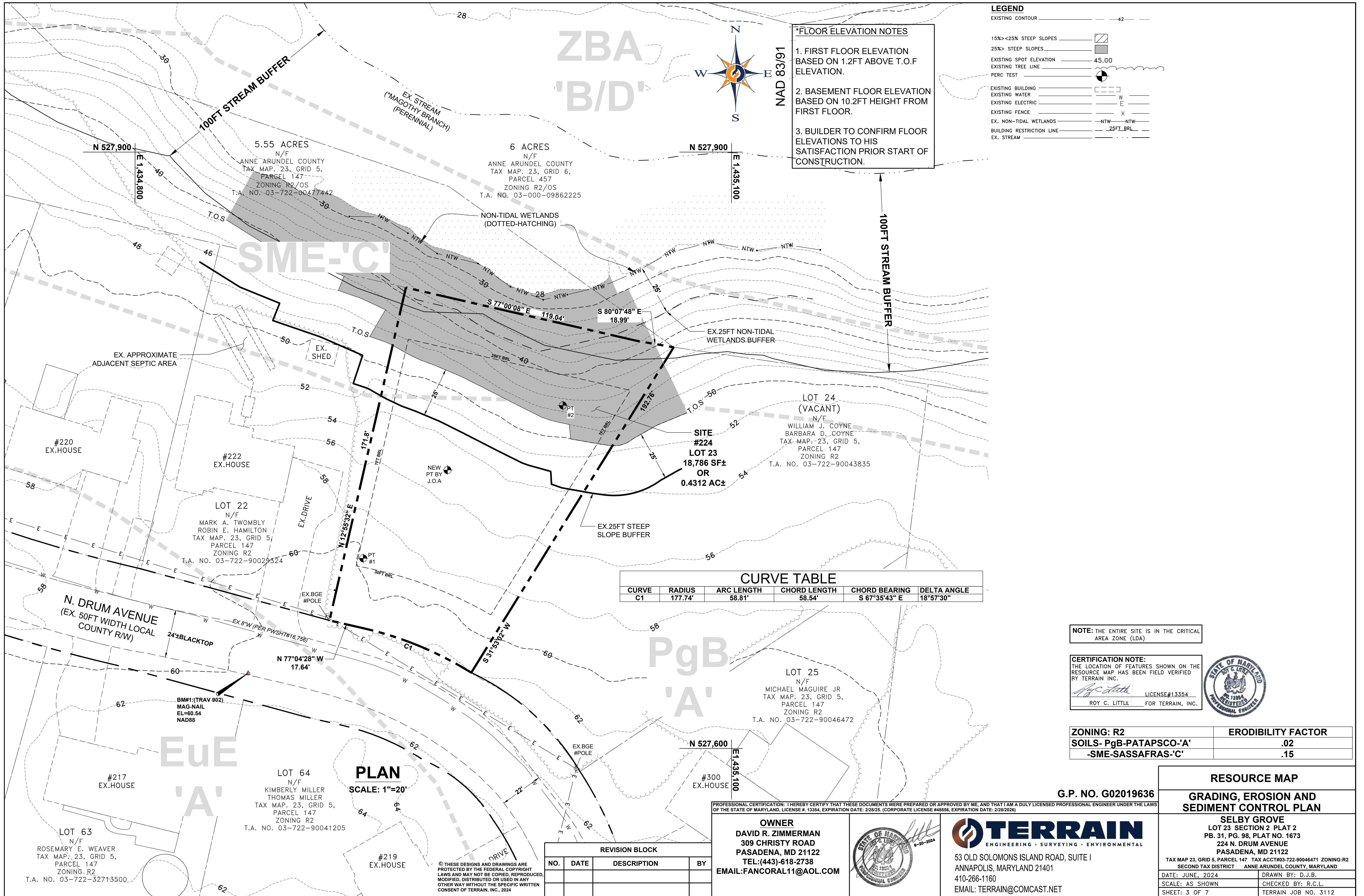
SELBY GROVE
LOT 23 SECTION 2 PLAT 2
PB. 31, PG. 98, PLAT NO. 1673
224 N. DRUM AVENUE
PASADENA, MD 21122

TAX MAP 23, GRID 5, PARCEL 147 TAX ACCT#03-722-90046471 ZONING:R2
SECOND TAX DISTRICT ANNE ARUNDEL COUNTY, MARYLAND

DATE: JUNE, 2024 DRAWN BY: D.J.B.
SCALE: AS SHOWN CHECKED BY: R.C.L.
SHEET: 2 OF 7 TERRAIN JOB NO. 3112

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REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY



***FLOOR ELEVATION NOTES**

1. FIRST FLOOR ELEVATION BASED ON 1.2FT ABOVE T.O.F ELEVATION.
2. BASEMENT FLOOR ELEVATION BASED ON 10.2FT HEIGHT FROM FIRST FLOOR.
3. BUILDER TO CONFIRM FLOOR ELEVATIONS TO HIS SATISFACTION PRIOR START OF CONSTRUCTION.

LEGEND

EXISTING CONTOUR	42
15% < 25% STEEP SLOPES	[Symbol]
25% > STEEP SLOPES	[Symbol]
EXISTING SPOT ELEVATION	45.00
EXISTING TREE LINE	[Symbol]
PERC TEST	[Symbol]
EXISTING BUILDING	[Symbol]
EXISTING WATER	[Symbol]
EXISTING ELECTRIC	[Symbol]
EXISTING FENCE	[Symbol]
EX. NON-TIDAL WETLANDS	NTW
BUILDING RESTRICTION LINE	25FT_BRL
EX. STREAM	[Symbol]

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	177.74'	58.81'	58.54'	S 67°35'43" E	18°57'30"

NOTE: THE ENTIRE SITE IS IN THE CRITICAL AREA ZONE (LDA)

CERTIFICATION NOTE: THE LOCATION OF FEATURES SHOWN ON THE RESOURCE MAP HAS BEEN FIELD VERIFIED BY TERRAIN, INC.

Roy C. Little
 LICENSE #13354
 ROY C. LITTLE FOR TERRAIN, INC.



ZONING: R2	ERODIBILITY FACTOR
SOILS- PgB-PATAPSCO-'A'	.02
-SME-SASSAFRAS-'C'	.15

G.P. NO. G02019636

RESOURCE MAP
GRADING, EROSION AND SEDIMENT CONTROL PLAN

SELBY GROVE
 LOT 23 SECTION 2 PLAT 2
 PB. 31, PG. 98, PLAT NO. 1673
 224 N. DRUM AVENUE
 PASADENA, MD 21122

TAX MAP 23, GRID 5, PARCEL 147 TAX ACCT#03-722-90046471 ZONING:R2
 SECOND TAX DISTRICT ANNE ARUNDEL COUNTY, MARYLAND

DATE: JUNE, 2024 DRAWN BY: D.J.B.
 SCALE: AS SHOWN CHECKED BY: R.C.L.
 SHEET: 3 OF 7 TERRAIN JOB NO. 3112

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE #. 13354, EXPIRATION DATE: 2/28/25. (CORPORATE LICENSE #48856, EXPIRATION DATE: 2/28/2026)

OWNER
 DAVID R. ZIMMERMAN
 309 CHRISTY ROAD
 PASADENA, MD 21122
 TEL: (443)-618-2738
 EMAIL: FANCORAL11@AOL.COM

TERRAIN
 ENGINEERING · SURVEYING · ENVIRONMENTAL

53 OLD SOLOMONS ISLAND ROAD, SUITE I
 ANNAPOLIS, MARYLAND 21401
 410-266-1160
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REVISION BLOCK

NO.	DATE	DESCRIPTION	BY

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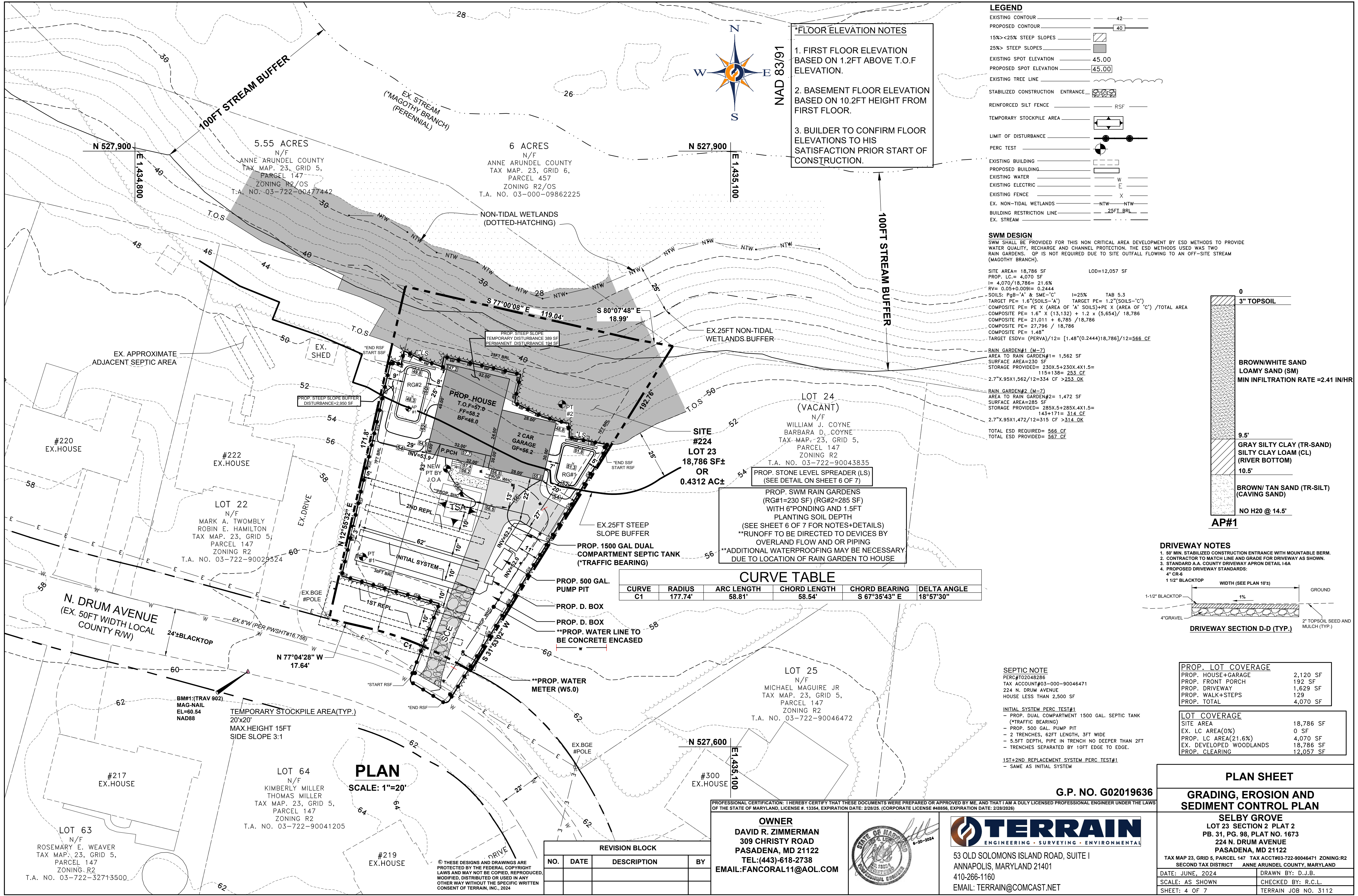
PLAN
 SCALE: 1"=20'

EuE
'A'

PgB
'A'

ZBA
'B/D'

SME-'C'



***FLOOR ELEVATION NOTES**

1. FIRST FLOOR ELEVATION BASED ON 1.2FT ABOVE T.O.F ELEVATION.
2. BASEMENT FLOOR ELEVATION BASED ON 10.2FT HEIGHT FROM FIRST FLOOR.
3. BUILDER TO CONFIRM FLOOR ELEVATIONS TO HIS SATISFACTION PRIOR START OF CONSTRUCTION.

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- 15% < 25% STEEP SLOPES
- 25% > STEEP SLOPES
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING TREE LINE
- STABILIZED CONSTRUCTION ENTRANCE
- REINFORCED SILT FENCE
- TEMPORARY STOCKPILE AREA
- LIMIT OF DISTURBANCE
- PERC TEST
- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING WATER
- EXISTING ELECTRIC
- EXISTING FENCE
- EX. NON-TIDAL WETLANDS
- BUILDING RESTRICTION LINE
- EX. STREAM

SWM DESIGN

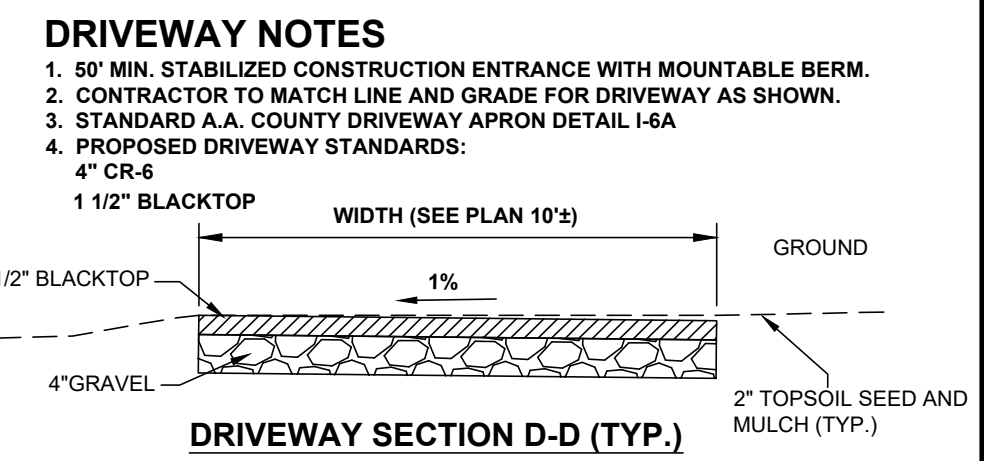
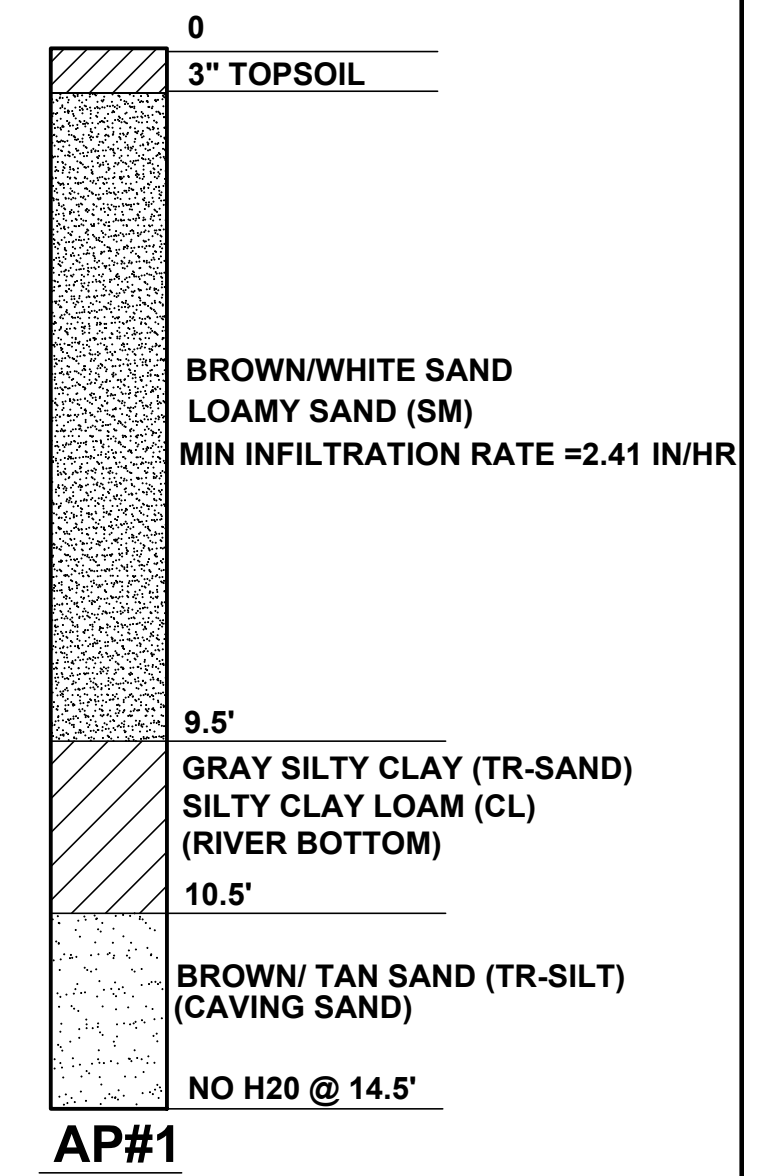
SWM SHALL BE PROVIDED FOR THIS NON CRITICAL AREA DEVELOPMENT BY ESD METHODS TO PROVIDE WATER QUALITY, RECHARGE AND CHANNEL PROTECTION. THE ESD METHODS USED WAS TWO RAIN GARDENS. OP IS NOT REQUIRED DUE TO SITE OUTFALL FLOWING TO AN OFF-SITE STREAM (MAGOTHY BRANCH).

SITE AREA= 18,786 SF
 PROP. LC= 4,070 SF
 I= 4.070/18,786= 21.6%
 RV= 0.05+0.009I= 0.2444
 SOILS: P₂B-'A' & SME-'C' I=25% TAB 5.3
 TARGET PE= 1.6"(SOILS-'A') TARGET PE= 1.2"(SOILS-'C')
 COMPOSITE PE= PE X (AREA OF 'A' SOILS)+PE X (AREA OF 'C') / TOTAL AREA
 COMPOSITE PE= 1.6" X (13,132) + 1.2 X (5,654) / 18,786
 COMPOSITE PE= 21,011 + 6,785 / 18,786
 COMPOSITE PE= 27,796 / 18,786
 COMPOSITE PE= 1.48"
 TARGET ESDV= (PERVA)/I2= [1.48"(0.2444)/18,786]/12=566 CF

RAIN GARDEN#1 (M-7)
 AREA TO RAIN GARDEN#1= 1,562 SF
 SURFACE AREA=230 SF
 STORAGE PROVIDED= 230X.5+230X.4X1.5= 115+138= 253 CF
 2.7"X.95X1,562/12=334 CF >253 OK

RAIN GARDEN#2 (M-7)
 AREA TO RAIN GARDEN#2= 1,472 SF
 SURFACE AREA=285 SF
 STORAGE PROVIDED= 285X.5+285X.4X1.5= 143+171= 314 CF
 2.7"X.95X1,472/12=315 CF >314 OK

TOTAL ESD REQUIRED= 566 CF
 TOTAL ESD PROVIDED= 567 CF



SITE #224 LOT 23
 18,786 SF±
 OR
 0.4312 AC±

PROP. SWM RAIN GARDENS (RG#1=230 SF) (RG#2=285 SF) WITH 6" PONDING AND 1.5FT PLANTING SOIL DEPTH (SEE SHEET 6 OF 7 FOR NOTES+DETAILS)
 **RUNOFF TO BE DIRECTED TO DEVICES BY OVERLAND FLOW AND OR PIPING
 **ADDITIONAL WATERPROOFING MAY BE NECESSARY DUE TO LOCATION OF RAIN GARDEN TO HOUSE

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	177.74'	58.81'	58.54'	S 67°35'43" E	18°57'30"

- PROP. 500 GAL. PUMP PIT
- PROP. D. BOX
- PROP. D. BOX
- **PROP. WATER LINE TO BE CONCRETE ENCASED
- **PROP. WATER METER (W5.0)

SEPTIC NOTE

PERC#T0204286
 TAX ACCOUNT#03-000-90046471
 224 N. DRUM AVENUE
 HOUSE LESS THAN 2,500 SF

INITIAL SYSTEM PERC TEST#1

- PROP. DUAL COMPARTMENT 1500 GAL. SEPTIC TANK (**TRAFFIC BEARING)
- PROP. 500 GAL. PUMP PIT
- 2 TRENCHES, 62FT LENGTH, 3FT WIDE
- 5.5FT DEPTH, PIPE IN TRENCH NO DEEPER THAN 2FT
- TRENCHES SEPARATED BY 10FT EDGE TO EDGE.

1ST+2ND REPLACEMENT SYSTEM PERC TEST#1

- SAME AS INITIAL SYSTEM

PROP. LOT COVERAGE

PROP. HOUSE+GARAGE	2,120 SF
PROP. FRONT PORCH	192 SF
PROP. DRIVEWAY	1,629 SF
PROP. WALK+STEPS	129 SF
PROP. TOTAL	4,070 SF

LOT COVERAGE

SITE AREA	18,786 SF
EX. LC AREA(0%)	0 SF
PROP. LC AREA(21.6%)	4,070 SF
EX. DEVELOPED WOODLANDS	18,786 SF
PROP. CLEARING	12,057 SF

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REVISION BLOCK

NO.	DATE	DESCRIPTION	BY

PLAN SHEET

GRADING, EROSION AND SEDIMENT CONTROL PLAN

SELBY GROVE
 LOT 23 SECTION 2 PLAT 2
 PB. 31, PG. 98, PLAT NO. 1673
 224 N. DRUM AVENUE
 PASADENA, MD 21122

TAX MAP 23, GRID 5, PARCEL 147 TAX ACCT#03-722-90046471 ZONING:R2
 SECOND TAX DISTRICT ANNE ARUNDEL COUNTY, MARYLAND

DATE: JUNE, 2024	DRAWN BY: D.J.B.
SCALE: AS SHOWN	CHECKED BY: R.C.L.
SHEET: 4 OF 7	TERRAIN JOB NO. 3112

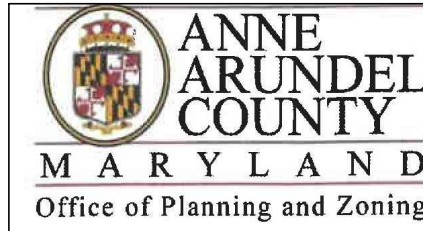
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PLAN
 SCALE: 1"=20'

G.P. NO. G02019636

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MODIFICATION NOTE
 THIS DEVELOPMENT IS SUBJECT TO THE APPROVED MODIFICATIONS
 MODIFICATION #17390 (STEEP SLOPE + BUFFER DISTURBANCE)



2664 Riva Road, P.O. Box 6675
 Annapolis, MD 21401
 410-222-7450

Jenny B. Dempsey
 Planning and Zoning Officer

April 3, 2024

Roy Little
 Terrain
 53 Old Solomons Island Road, Suite 1
 Annapolis, MD, 21401

Re: Modification #17390 (Steep Slopes)
 Selby Grove, Lot 23, Section 2
 Grading permit # G02019636

Dear Mr. Little:

This letter is in response to your Modification request dated December 21, 2023 regarding Article 17-6-404 – Steep Slopes.

Development/Property Description

The site is zone R2 and is located outside of the Critical Area. The site is partially encumbered by steep slopes and their associated buffers, nontidal wetlands and their associated buffers, and a 100' stream buffer. The site will be served by public water and a private sewage system.

Requested modification

The requested modification is to allow disturbance to the steep slope and its associated 25' buffer.

Discussion

As specified in Article 17-2-108(a) of the County Code, modification requests may be approved if the request satisfies each of the five criteria stated therein. This Office has evaluated the application for compliance with the five criteria listed in Article 17-2-108(a)(1-5) and offers the following:

Modification # 17390
 Grading permit # G02019636
 April 3, 2024

1. *Practical difficulties or unnecessary hardship will result from strict application of this article or, for a modification relating to forest conservation, unwarranted hardship will result due to special features of the site or other circumstances.*

The applicant argues that strict application of this Article would prohibit development of the site as the majority of the site is “encumbered by slopes, buffers and septic constraints.”

2. *The purposes of this article, including minimization and mitigation of environmental impacts through the use of clustering or other available design alternatives to preserve the character of the impacted area, will be served by an alternative proposal.*

The applicant states “the house has been designed to minimize slope and buffer disturbance. The house design pulls the garage forward to align with the front porch which eliminates slope disturbance.” The applicant further argues “the house depth of 40’ is not excessive and is critical for interior functions. The original house design considered a 50’ depth but was redesigned to reduce the depth by 10’.”

3. *The modification is not detrimental to the public health, safety, or welfare, is not injurious to other properties, or, if the modification relates to forest conservation, does not adversely affect water quality.*

The applicant argues the modification is not detrimental to the public health, safety, or welfare, and is not injurious to other properties. The applicant argues the construction is providing a new house on a vacant lot within the “neighborhood characteristics and County standards”.

4. *The modification does not have the effect of nullifying the intent and purpose of this article, the General Development Plan, or Article 18 of this Code.*

The applicant states granting this modification request does not have the effect of nullifying the intent and purpose of the County Code and is consistent with the intent of the General Development Plan “due to infill development”.

5. *The applicant has submitted written verification to the Office of Planning and Zoning that:*
 (i) *the requested modification was disclosed and discussed at a community meeting required under this article; or*
 (ii) *all owners of property located within 300 feet of the affected property were mailed a notice explaining the reason for the modification, along with a copy of the request for modification.*

Written verification was received on December 21, 2023 to the Department of Inspections & Permits staff that the requested modification was disclosed and discussed at a community meeting held on November 14, 2023.

Modification # 17390
 Grading permit # G02019636
 April 3, 2024

Summary/Decision

The above Modification has been evaluated by staff for compliance with the five criteria listed in Article 17-2-108 as being the basis for modification approvals. Inspections & Permits and the Development Division staff have determined that the requests satisfy those criteria and are in keeping with the intent and purpose of Article 17, the General Development Plan and Article 18, and I agree with staff findings. Therefore, the above Modification is hereby approved with the following condition:

1. On-site reforestation equal to the disturbance of steep slope and its associated buffer is required.

The date of the decision, the Modification number and a brief note regarding the decision must be placed on the public plans. Should you have any questions regarding this decision, please contact Jennifer Sullivan at ipsull20@aacounty.org or by phone at 410-222-7499.

Sincerely,

Jenny B. Dempsey
 Planning and Zoning Officer

Attachments

- Cc: Lori Allen, OPZ
 Allison Valliant, OPZ
 Judy Motta, I&P
 Raghavenderrao Badami, I&P
 Subhash Dhir, I&P
 Mary Wilkinson, OPZ
 Rick Fisher, OPZ
 Jennifer Sullivan, I&P
 Cindy Riggs, I&P
 FY24/Modifications

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G.P. NO. G02019636

MODIFICATION SHEET

GRADING, EROSION AND SEDIMENT CONTROL PLAN

SELBY GROVE LOT 23 SECTION 2 PLAT 2 PB. 31, PG. 98, PLAT NO. 1673 224 N. DRUM AVENUE PASADENA, MD 21122 <small>TAX MAP 23, GRID 5, PARCEL 147 TAX ACCT#03-722-90046471 ZONING:R2 SECOND TAX DISTRICT ANNE ARUNDEL COUNTY, MARYLAND</small>	
DATE: JUNE, 2024	DRAWN BY: D.J.B.
SCALE: AS SHOWN	CHECKED BY: R.C.L.
SHEET:7 OF 7	TERRAIN JOB NO. 3112



OFFICE OF PLANNING AND ZONING

CONFIRMATION OF PRE-FILE MEETING

DATE OF MEETING July 2024

P&Z STAFF Rob Konowal, Lori Allen, Engineering

APPLICANT/REPRESENTATIVE Terrain EMAIL terrain@comcast.net

SITE LOCATION 224 Drum Ave N (2024-0069-P) LOT SIZE 18,786 sf ZONING R2

CA DESIGNATION n/a BMA__ or BUFFER__ APPLICATION TYPE Use of substandard unimproved lot

18-4-202(c) provides that a dwelling may be constructed on a substandard lot that was contiguous to and under the same ownership as one or more unimproved lots on January 1, 1987 if (1) the lot is served by public water and sewer or (2) the lot is merged with the contiguous unimproved lot or lots to create a lot that complies with or comes as close as possible to complying with the minimum area requirements of the zoning district in which the lot is located.

The subject lot is not served by public sewer facilities and was not merged with the lot to the west, which was contiguous to, unimproved, and under the same ownership on January 1, 1987. Therefore, a variance is required.

COMMENTS

Zoning

Variance requested is correct. Site Plan is complete.

Engineering

1. Stormwater management will be addressed through two rain gardens.
2. A non-tidal stream that is likely a county floodplain is located on this property. Please delineate the drainage area to this system and compute the Q10. If the Q10 is 100 cfs or more, the system is considered a county floodplain based on the County's Manual. If the system is a floodplain, use the simple method in the AACO design manual and compute and delineate the 100-year HGL as the flood boundary.
3. All stormwater conveyance systems shall be designed so that no building or habitable structure, either proposed or existing, is flooded or has water impounded against it during the 100-year storm event.
4. Per 6.1.4 (G) of the County Stormwater Practices and Procedures manual, SWM facilities shall not be located in areas that are off-limits to development, e.g., natural resource areas and their steep slopes and buffers.

5. Please ensure that the rain gardens area is setback/offset from property lines so that if it needs maintenance/reconstruction, easements do not need to be obtained from neighboring properties or impact rights-of-way.

6. Ensure the proposed improvement including runoff, seepage, and slope saturation does not adversely impact the integrity of the slope and potential impact of slope failure.

7. Based on the plan provided, it appears that the property will be served by a private septic and a public water.

8. The above is provided as a courtesy review as information for review and consideration comments at the pre-file.

Cultural Resources

This property is located in a historically active area alongside a tributary of Lake Waterford and has high archaeological potential. In order to complete review of the property under Article 17-6-502, as related to effects on archaeological resources, a site visit by the Cultural Resources Section for any permit applications. Please contact Anastasia Poulos at pzpoul44@aacounty.org to forward plans and to arrange a site visit once the permit application is ready for submission.

INFORMATION FOR THE APPLICANT

Section 18-16-201 (b) Pre-filing meeting required. Before filing an application for a variance, special exception, or to change a zoning district, to change or remove a critical area classification, or for a variance in the critical area or bog protection area, an applicant shall meet with the Office of Planning and Zoning to review a pre-file concept plan or an administrative site plan. For single lot properties, the owner shall prepare a simple site plan as a basis for determining what can be done under the provisions of this Code to avoid the need for a variance.

*** A preliminary plan checklist is required for development impacting environmentally sensitive areas and for all new single-family dwellings. A stormwater management plan that satisfies the requirements of the County Procedures Manual is required for development impacting environmentally sensitive areas OR disturbing 5,000 square feet or more. State mandates require a developer of land provide SWM to control new development runoff from the start of the development process.

Section 18-16-301 (c) Burden of Proof. The applicant has the burden of proof, including the burden of going forward with the production of evidence and the burden of persuasion, on all questions of fact. The burden of persuasion is by a preponderance of the evidence.

A variance to the requirements of the County's Critical Area Program may only be granted if the Administrative Hearing Officer makes affirmative findings that the applicant has addressed all the requirements outlined in Article 18-16-305. Comments made on this form are intended to provide guidance and are not intended to represent support or approval of the variance request.