

Variance Request: Letter of Explanation

3711 5th Avenue
Edgewater, MD 21037
September 23, 2024

To Whom It May Concern;

I, Karina Lee Haley, am applying for a variance to ordinance § 18-4-701. Bulk regulations, so that my fully constructed Residential Accessory Structure (Storage Unit/Game Room/Shed) may remain at a height of 20 feet, 4 feet taller than the principal structure on my property. This height is still under the maximum height restriction of 25 feet for the R5 zoning district. This is not a dwelling unit, but an accessory building for storage, crafts, socialization and office space.

This variance is requested as the accessory unit was fully constructed as of June 30, 2024, and plumbing was completed as of July 30, 2024. This construction includes all insulation, drywall, electric, plumbing and mechanical (See Exhibit 1). The electric, plumbing and mechanical are in full working condition. All inspections have been completed and **approved by the County** except for the final mechanical and final plumbing (See Exhibit 2). The stop work order was requested by the builder himself, on Thursday, August 1, 2024, after full completion of the plumbing installation (See Exhibit 3).

There are no special or unique characteristics to the actual land. When first consulting with the builder, I requested that the structure conform to the approved building application and that the height be kept to the same height of the principle structure. The response from the builder was that “as long as no one complains, there will be no issue in the height proposed by the architect.” The variance request is not based on conditions or circumstances that are the result of actions by the applicant, including the commencement of development before an application for a variance was filed, and does not arise from any condition relating to land or building use on any neighboring property.

As most inspections and all construction of the building itself have been completed, the variance is necessary to avoid practical difficulty in the

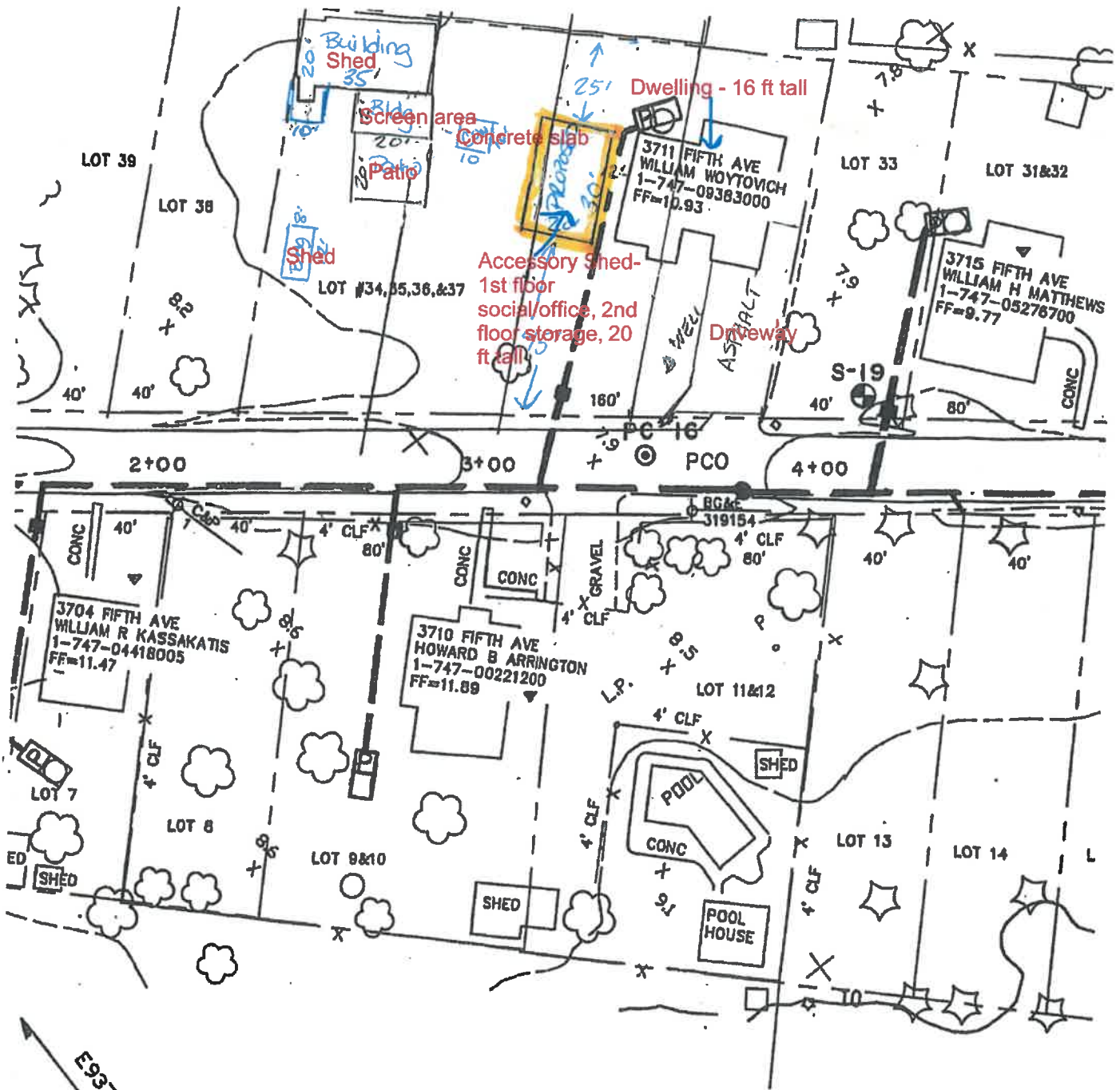
rebuilding of the structure and unnecessary hardship financially and legally. The variance will not alter the character of the neighborhood, interfere with the use or development of adjacent property, or be detrimental to the public welfare (See neighbor approval letter).

The granting of the variance will not adversely affect water quality or adversely impact fish, wildlife or plant habitat within the County's critical area or a bog protection area. No replacement of utilities was necessary

Should you have any questions, please contact me at 410-798-0533.

Respectfully submitted,

Karina L. Haley



E93700
Z

PLAN
SCALE: 1" = 40'

CRITICAL AREA COMMISSION
 CHESAPEAKE AND ATLANTIC COASTAL BAYS
 1804 WEST STREET, SUITE 100
 ANNAPOLIS, MD 21401

PROJECT NOTIFICATION APPLICATION

GENERAL PROJECT INFORMATION

Jurisdiction: Anne Arundel County

Date:

Tax Map #	Parcel #	Block #	Lot #	Section
006	0036	N	34 35 36	

FOR RESUBMITTAL ONLY

- Corrections
- Redesign
- No Change
- Non-Critical Area

*Complete Only Page 1
 General Project Information

Tax ID: 1747-0938-3000

Project Name (site name, subdivision name, or other) Selby on the Bay

Project location/Address 3711 5th Avenue

City Edgewater Zip 21037

Local case number

Applicant: Last name Haley First name Karina

Company

Application Type (check all that apply):

- | | |
|--|--|
| Building Permit <input type="checkbox"/> | Variance <input checked="" type="checkbox"/> |
| Buffer Management Plan <input type="checkbox"/> | Rezoning <input type="checkbox"/> |
| Conditional Use <input type="checkbox"/> | Site Plan <input type="checkbox"/> |
| Consistency Report <input type="checkbox"/> | Special Exception <input type="checkbox"/> |
| Disturbance > 5,000 sq ft <input type="checkbox"/> | Subdivision <input type="checkbox"/> |
| Grading Permit <input type="checkbox"/> | Other <input type="checkbox"/> |

Local Jurisdiction Contact Information:

Last name AACo Zoning Administration Section First name

Phone # 410-222-7437 Response from Commission Required By TBD

Fax # Hearing date TBD

SPECIFIC PROJECT INFORMATION

Describe Proposed use of project site:

Construction of a 600 sq foot accessory unit
--

Yes

Intra-Family Transfer

Grandfathered Lot

Yes

Growth Allocation

Buffer Exemption Area

Project Type (check all that apply)

Commercial

Consistency Report

Industrial

Institutional

Mixed Use

Other

Recreational

Redevelopment

Residential

Shore Erosion Control

Water-Dependent Facility

SITE INVENTORY (Enter acres or square feet)

	Acres	Sq Ft
IDA Area		
LDA Area		
RCA Area		
Total Area		

Total Disturbed Area

Acres	Sq Ft
	600

of Lots Created

	Acres	Sq Ft		Acres	Sq Ft
Existing Forest/Woodland/Trees			Existing Lot Coverage		4085
Created Forest/Woodland/Trees			New Lot Coverage		4685
Removed Forest/Woodland/Trees			Removed Lot Coverage		
			Total Lot Coverage		4685

VARIANCE INFORMATION (Check all that apply)

	Acres	Sq Ft		Acres	Sq Ft
Buffer Disturbance			Buffer Forest Clearing		
Non-Buffer Disturbance			Mitigation		

Variance Type

Buffer

Forest Clearing

HPA Impact

Lot Coverage

Expanded Buffer

Nontidal Wetlands

Setback

Steep Slopes

Other

Structure

Acc. Structure Addition

Barn

Deck

Dwelling

Dwelling Addition

Garage

Gazebo

Patio

Pool

Shed

Other

Variance Request: Critical Area Report

3711 5th Avenue
Edgewater, MD 21037

September 23, 2024

To Whom It May Concern;

The project at the above referenced address will be an accessory unit to the principle residential dwelling.

On the property are a Maple, Pin Oak, Redbud, Crepe Myrtle, Blueberry bushes, Elderberry and Hazelnut bushes. All except for the existing Maple and one existing Pin Oak were planted in accordance with the Forestation Agreement submitted and accepted by the County with building Permit B02421046 (See Exhibit 4). A site plan of the plant placement was also included with that agreement.

A silt fence was placed around the construction site per County guidelines (See Exhibit 5).

Impervious surface before construction was 4085 square feet and after construction the total impervious surface is 4685 square feet. The total site area of the property is 19,063 square feet (See Exhibit 6).

The plantings and their locations were approved by the County on January 6, 2024.

Should you have any questions, please contact me at 410-798-0533.

Respectfully submitted,


Karina L. Haley

Exhibit 1

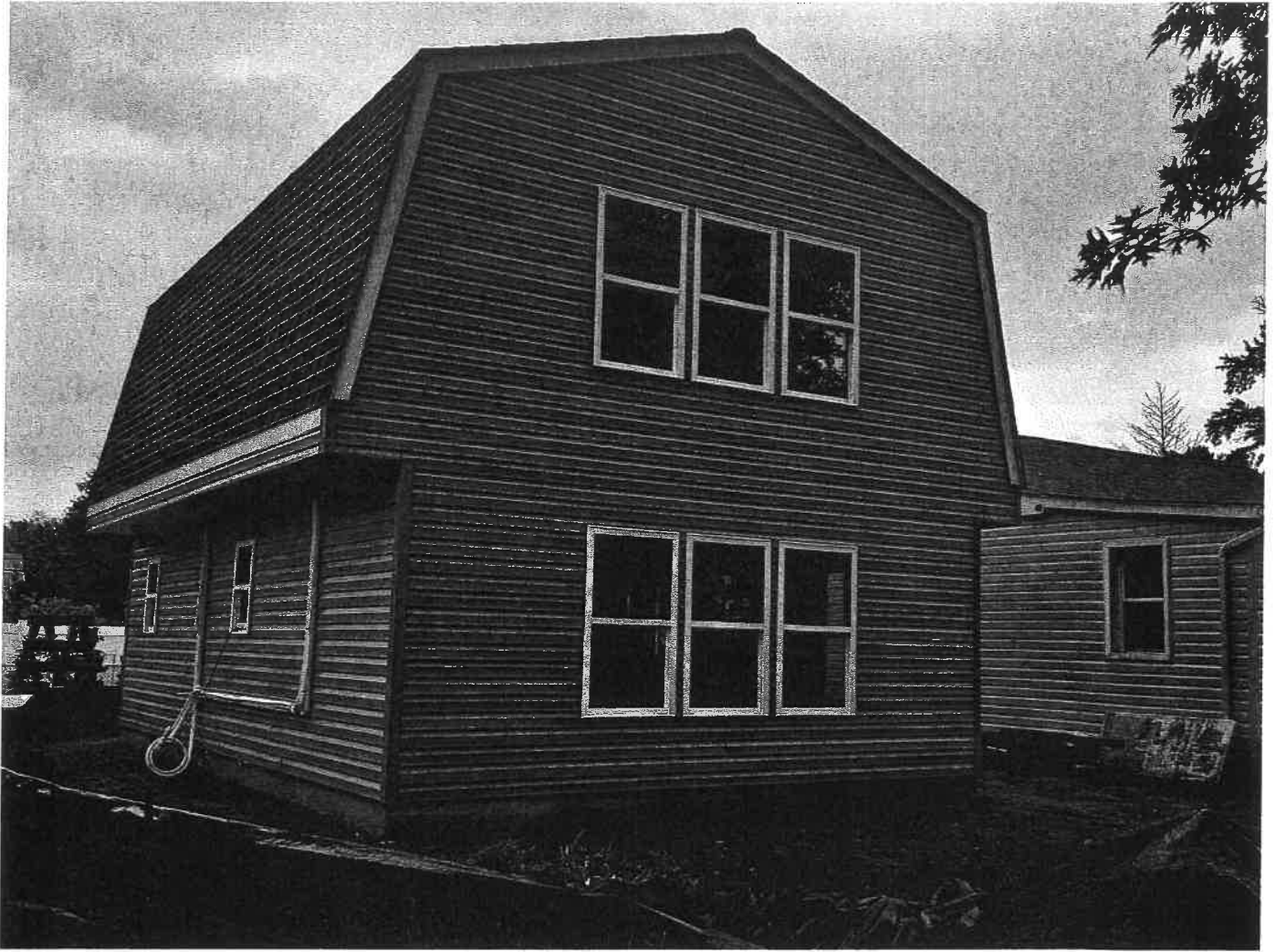


Exhibit 1



Exhibit 1



Exhibit 1



Exhibit 1

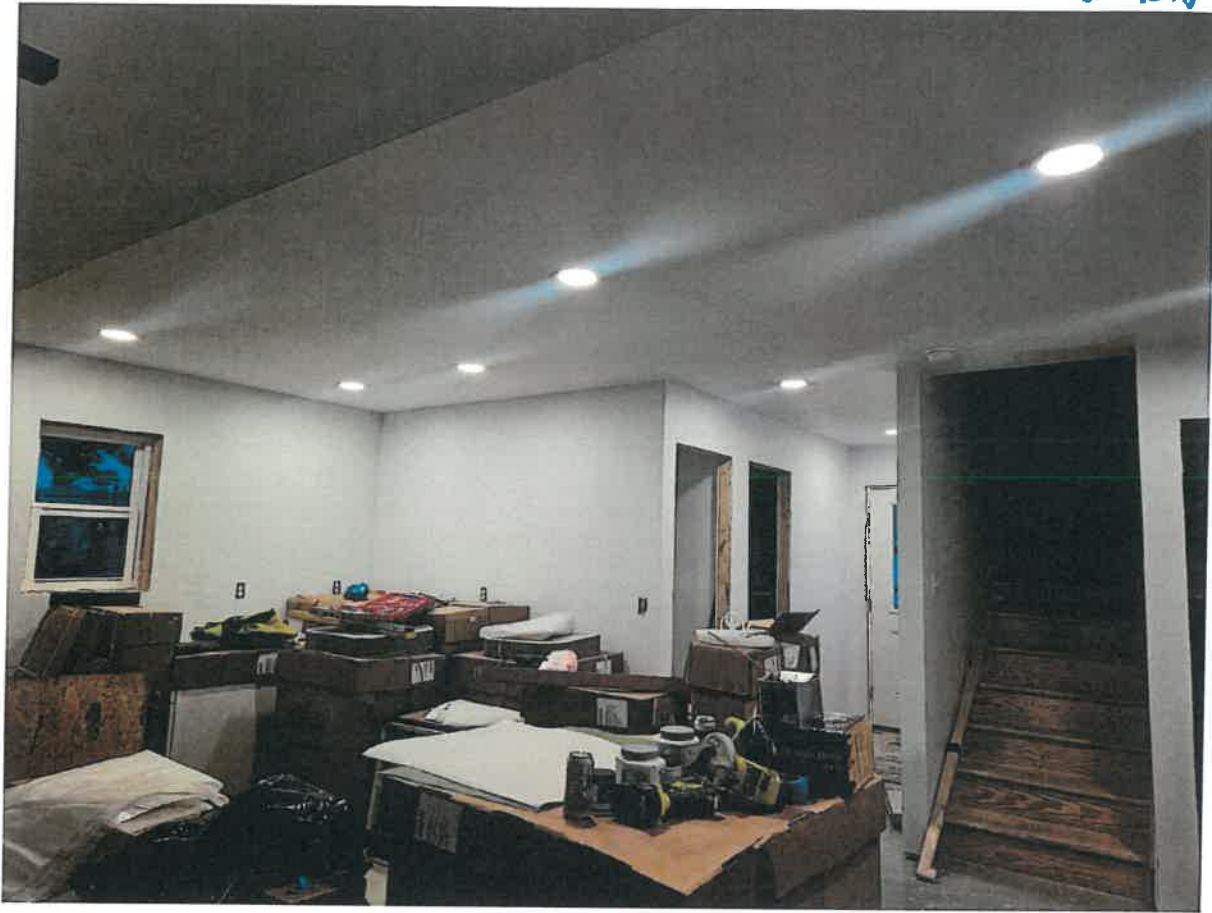
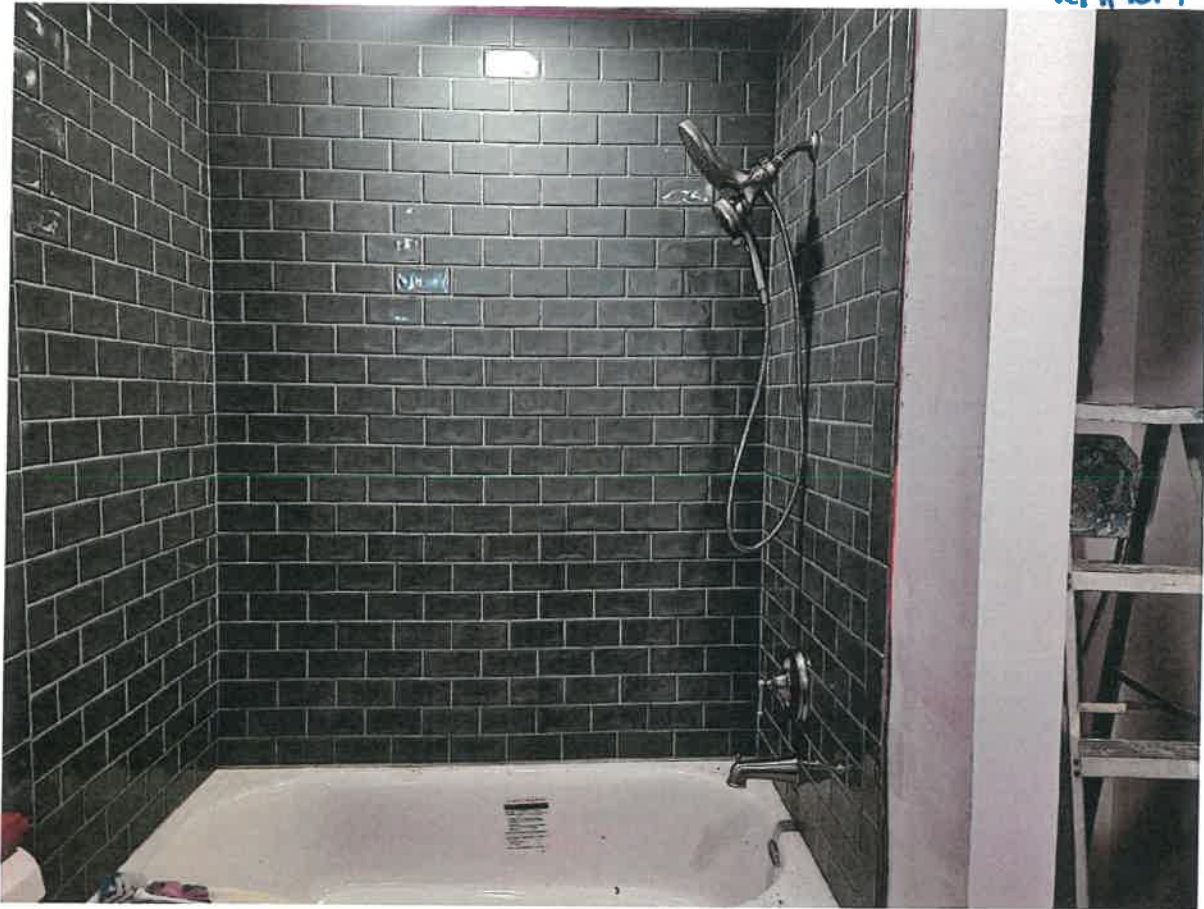


Exhibit 1



Record B02421046:

Residential Accessory Structure

Record Status: Active

Record Info ▾

Payments ▾

Conditions 1



A notice was added to this record on 08/02/2024.
Condition: Administrative Hold - SWO Severity: Notice
Total Conditions: 1 (Notice: 1)

Inspections

Upcoming

[Schedule or Request an Inspection](#)

You have not added any inspections.

Click the link above to schedule or request one.

Completed (10)

Cancelled - 4; Fail - 1; Pass - 5

Pass Footing (3112105)

Result by: Chris Motta on 04/08/2024 at 12:11 PM

[View Details](#)

Pass Slab (3116436)

Result by: Jon Ferguson on 04/16/2024 at 09:28 AM

[View Details](#)

Pass Progress (3119164)

Result by: Chris Motta on 04/19/2024 at 11:01 AM

[View Details](#)

Cancelled Framing (3130536)

Cancelled by: Karina Haley on 05/14/2024 at 01:52 PM

[View Details](#)

Cancelled Final (3140958)

Cancelled by: Karina Haley on 06/03/2024 at 08:53 AM

[View Details](#)

Completed (10)

Cancelled - 4; Fail - 1; Pass - 5

Fail Framing (3140944)

Result by: Chris Motta on 06/04/2024 at 11:46 AM

[View Details](#)

Pass Framing (3147463)

Result by: Chris Motta on 06/11/2024 at 09:44 AM

[View Details](#)

Pass Insulation (3144287)

Result by: Chris Motta on 06/11/2024 at 09:45 AM

[View Details](#)

Cancelled Final (3175389)

Cancelled by: Karina Haley on 07/31/2024 at 08:01 AM

[View Details](#)

Cancelled Final (3175966)

Cancelled by: Karina Haley on 08/02/2024 at 01:01 PM

[View Details](#)

Exhibit 3

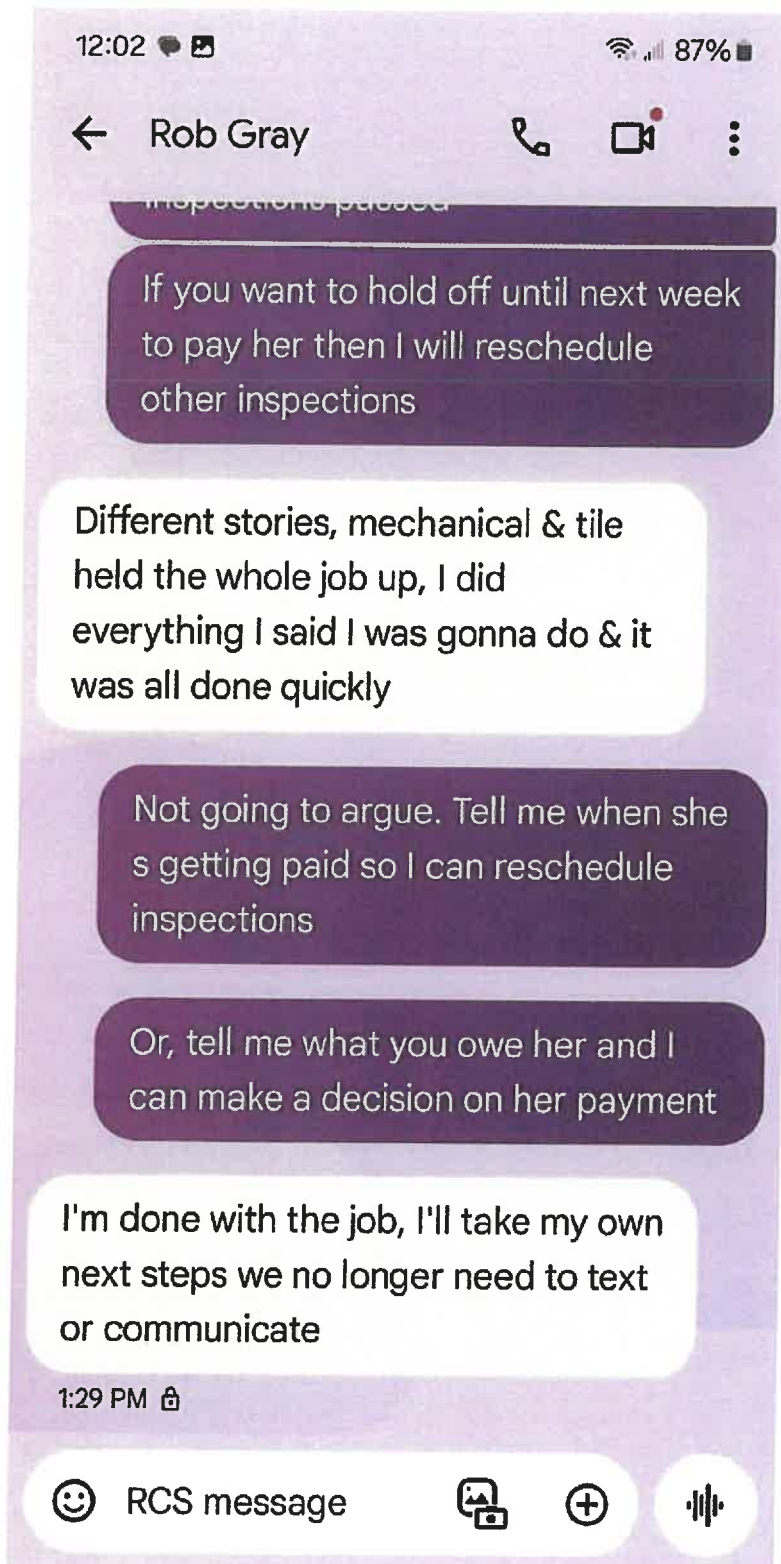
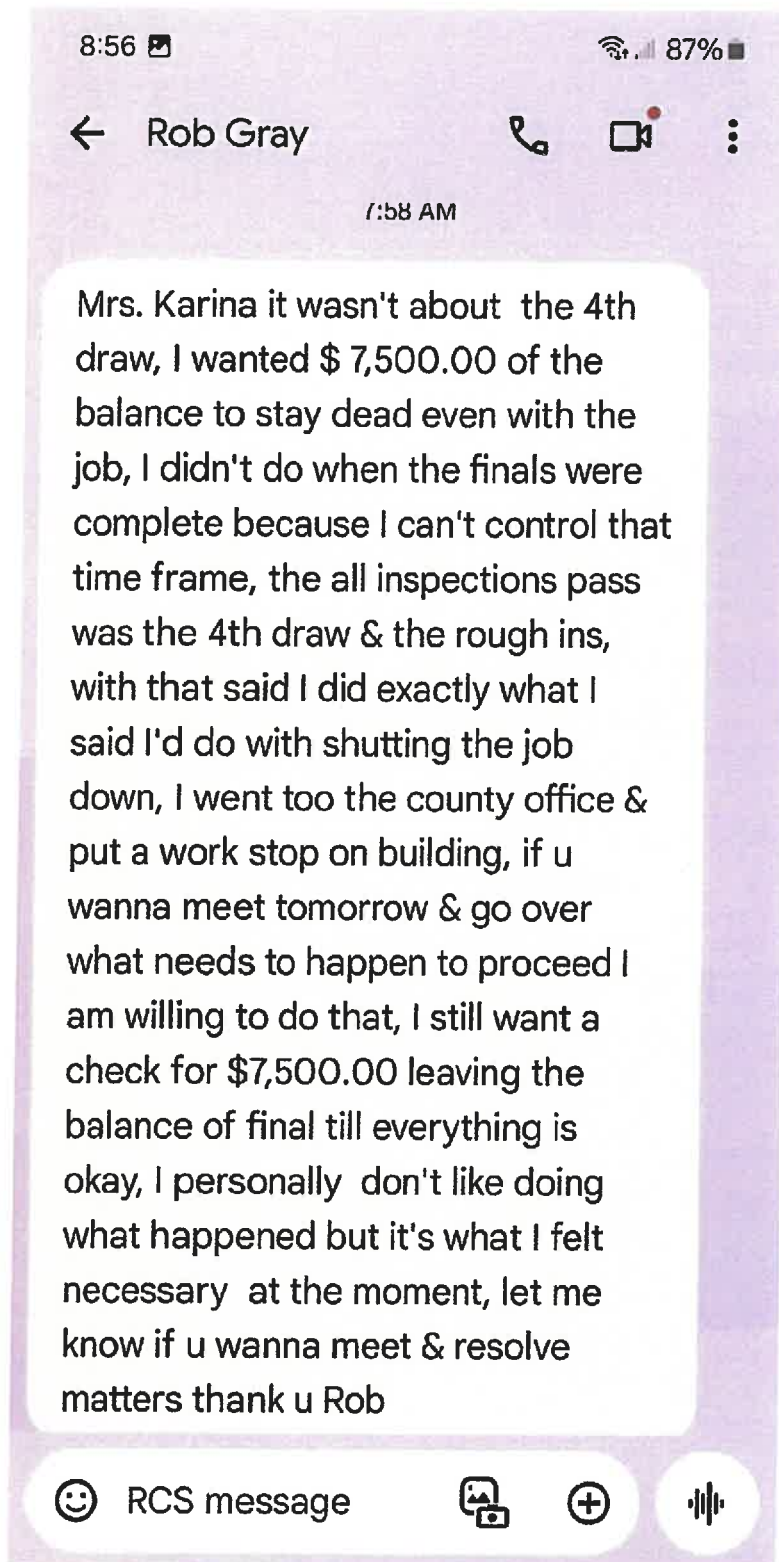


Exhibit 3



DO NOT MAKE CHANGES TO THIS FORM

FORESTATION AGREEMENT

THIS FORESTATION AGREEMENT is entered into this 6 day of January, 2024, by and between Karina L Haley, Owner, and ANNE ARUNDEL COUNTY, MARYLAND, a body corporate and politic of the State of Maryland ("County").

WHEREAS, Owner is the owner of the real property with a street address of 3711 5th Avenue, Edgewater, MD 21037 deed reference 24155/00036 (the "Property"), and Owner has filed or permitted to be filed an application for subdivision or a site development plan with an application for a building or grading permit or a standard grading plan, Permit No. B02421046; and

WHEREAS, the Owner is required by the Anne Arundel County Code ("Code") to enter into a Forestation Agreement.

NOW, THEREFORE, in consideration of the mutual covenants and promises contained in this Agreement, the parties agree as follows:

INSTALLATION AND INSPECTION

1. The Owner or Purchaser has submitted and the County has approved a forest conservation plan, buffer management plan, reforestation plan ("Plan") for the Property, a copy of which is on file at the County Office of Planning and Zoning.
2. The Owner is required to complete reforestation, afforestation, or replanting on the Property in accordance with the Plan and the Code.
3. The Owner shall be responsible for the provision, installation, and maintenance of all plant materials required by the Plan and shall be bound by the terms and conditions of the approved Plan and all applicable law and regulations.
4. The total approved estimated cost of the installed plant materials is \$245.00, and a copy of the approved cost estimate is attached as **Exhibit A**.
5. Within 30 days after installation of all plant materials, the Owner shall notify the County in writing by certified mail, return receipt, that installation has been completed in accordance with the Plan and shall advise the County of any variations from the Plan or differences between the Plan and the final installation. The County will inspect the plant materials. Owner hereby grants to the County a right of entry onto the Property for the purpose

DO NOT MAKE CHANGES TO THIS FORM

of inspecting the approved installation and verifying compliance with the approved Plan.

6. The Owner has paid to the County an inspection fee in the amount of \$ 63.00, which is 7% of the total approved estimated cost of the installed plant materials. The inspection fee will not be decreased even if the actual cost claimed by the Owner is less.

SECURITY

7. All security required by this Agreement shall be in the form of a X cash deposit (including a certified or cashier's check), _____ irrevocable letter of credit, or _____ performance and completion bond; from a surety acceptable to the County.

8. This Agreement is accompanied by performance and completion security if required by the Code . The amount of the security is \$ 900.00, which is equal to \$1.50 per square foot in the Critical Area or, otherwise, equal to the total approved estimated cost of the installed plant materials as set forth in paragraph 4.

9. In addition to the security posted with this Agreement, the Owner agrees to reimburse the County for any and all additional costs incurred to complete, restore, or repair the plantings required by the Plan, including all County administrative costs; independent contractor, consulting engineer, or other expert fees; attorneys' fees; and pre-judgment interest at the rate of 6% per year. The Owner further authorizes the County to recover these additional costs by collection pursuant to § 1-9-101 of the County Code.

10. The County shall retain the security required by this Agreement for a period of two years after installation and acceptance of the plant materials. After the expiration of at least one growing season, the County may reduce by no more than 50% the amount of the security required by this Agreement if the Owner has performed at least 50% of the obligations under this Agreement and the County determines that a partial release will not impair implementation of the Agreement. To request a reduction, the Owner shall file an application with the County; provide justification and any required documentation, including new or additional security if the County so requires; and agree that all other terms and conditions of this Agreement shall remain in full force and effect.

11. If the Owner fails to request in writing a return of the security within 180 days after the expiration of the two-year period that the security is held under the Code and this Agreement, the security shall be forfeited by operation of law to the County's Forest Conservation Fund or to the critical area fund, as determined by the Planning and Zoning

DO NOT MAKE CHANGES TO THIS FORM

Officer.

REMEDIES

12. If the Owner fails to install the required plantings or fails to take appropriate and effective corrective action after written notice by the County or otherwise fails to perform this Agreement in any manner whatsoever, the County may declare the Owner in default and may complete, restore, or repair the plantings required by the Plan, either through its own forces or through a contractor. In addition, the County may take all action and pursue all available remedies, whether legal or equitable, provided for by applicable law, including forfeiture of any security and the recovery of any costs incurred by the County pursuant to the provisions of § 1-9-101 of the County Code.

13. No remedy available to the County is exclusive, all remedies shall be cumulative, and the exercise of one remedy by the County shall not preclude the exercise of other remedies at the same time or at different times.

MISCELLANEOUS PROVISIONS

14. The parties agree that the obligations of this Agreement will run with the land and bind the current owner of the property only, and that upon conveyance of the Property the obligations of this Agreement shall be assumed by the Grantee and the Owner shall be released without further obligation hereunder.

15. The Owner hereby waives all right of appeal on any issue relating to the requirement for the provision, installation, and maintenance of all plant materials required by the Plan and this Agreement.

16. This document and its attachments contain the complete and final Agreement between the parties and representations, whether written or oral, not contained in this Agreement shall not be part of this Agreement.

17. The laws of the State of Maryland shall govern this Agreement.

18. This Agreement shall inure to the benefit of and be binding on the parties and their heirs, personal representatives, legal representatives, successors, and assigns.

19. The parties agree that this Agreement constitutes a contract under seal and that they intend the twelve-year statute of limitations period as set forth in Maryland Courts and Judicial Proceedings Code Annotated §5-102 to apply to this Agreement.

20. If a court of competent jurisdiction determines that any provision of this

DO NOT MAKE CHANGES TO THIS FORM

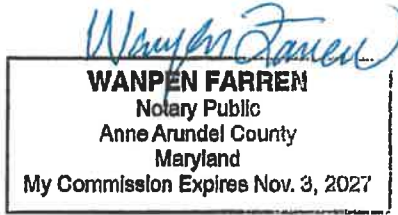
BY: _____ (SEAL)
**JENNY B. JARKOWSKI, PLANNING
AND ZONING OFFICER FOR STEUART
PITTMAN, COUNTY EXECUTIVE**

REVIEWED FOR FORM AND
LEGAL SUFFICIENCY:

DO NOT MAKE CHANGES TO THIS FORM

Agreement is invalid, illegal, or incapable of being enforced, all other conditions and provisions of this Agreement shall nevertheless remain in full force and effect and the rights and obligations of the parties shall be given effect to the fullest extent possible notwithstanding the determination of invalidity, illegality, or unenforceability.

January 6, 2024
Date



Date

Date

OWNER:

Karina L Haley (SEAL)
Karina L Haley
Print Name

OWNER:

(SEAL)

Print Name

OWNER:

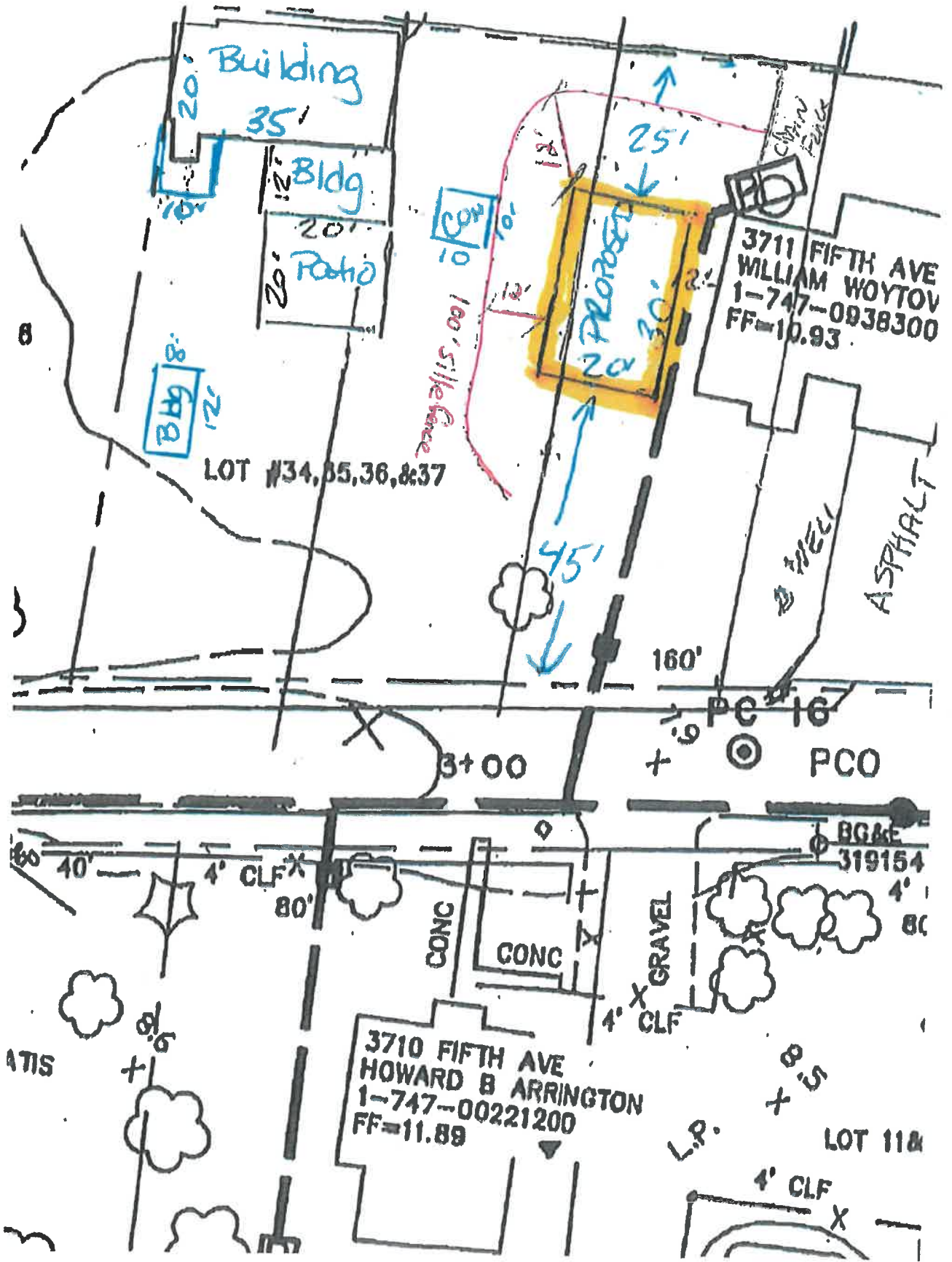
(SEAL)

Print Name

ANNE ARUNDEL COUNTY, MARYLAND

Exhibit 5

Handwritten scribbles



CRITICAL AREA REPORT WORKSHEET TO ACCOMPANY THE SITE PLAN

Permit Number B02421046

Total Site Area 19,063 Square Feet (1 Acre = 43,560 Square Feet)

Total Wooded Area 0 Square Feet- 'Wooded' MEANS A BIOLOGICAL COMMUNITY DOMINATED BY TREES AND OTHER WOODY PLANTS (SHRUBS AND UNDERGROWTH), INCLUDING FORESTS THAT HAVE BEEN CUT BUT NOT CLEARED.

* Please Indicate Square Footage of Woodland Removed for the following:

- 1. House 0 Sq. Ft.
- 2. Septic or sewer 0 Sq. Ft.
- 3. Well 0 Sq. Ft.
- 4. Driveway 0 Sq. Ft.
- 5. Accessory Structure 0 Sq. Ft.
- 6. Additions 0 Sq. Ft.
- 7. Storm Water Management 0 Sq. Ft.
- 8. Other Clearing: work area; access; stockpiles, etc. 0 Sq. Ft.

* Total Woodland Removed = 0 Sq. Ft.

"Impervious Coverage" IS ANY SURFACE THAT WILL NOT ABSORB LIQUID. THIS INCLUDES ROOFS, SIDEWALKS, DRIVEWAYS, AND ANY TYPE OF PAVEMENT. COMPACTED GRAVEL IS CONSIDERED AN IMPERVIOUS SURFACE.

* Please Indicate Square Footage of Impervious Coverage for the following:

- | <u>Existing Impervious</u> | <u>Proposed Impervious</u> |
|---|--|
| 1. House (roof area) <u>1185</u> Sq. Ft. | 1. House (roof area) _____ Sq. Ft. |
| 2. Driveway + Sidewalks <u>1500</u> Sq. Ft. | 2. Driveway + Sidewalks _____ Sq. Ft. |
| 3. Accessory Structures <u>1400</u> Sq. Ft. | 3. Accessory Structures <u>600</u> Sq. Ft. |
| | 4. Additions _____ Sq. Ft. |

* Total Existing and Proposed Impervious Coverage 4685 Sq. Ft.

Ⓢ PLEASE INCLUDE ALL EXISTING AND PROPOSED SQUARE FOOTAGE.

I Karina Haley, _____, (property owner and contract purchaser, if applicable) hereby certify that the above critical area worksheet is true and correct based upon personal knowledge. I further declare that a copy of the foregoing document will be transferred to any purchaser of this property from me (or corporation, if applicable) at the time of settlement. I hereby understand that these computations shall be a binding part of issuance of a building permit for lot # 34 35 36, block # N of Subdivision Selby on the Bay.

I hereby certify that I have seen and read the record plat (if approved after 1986 and subject to Critical Area requirements) and have indicated on the attached site plan any easements, buffers, or other restrictions declared on said plat.

Karina Haley (Signature) 10/2/23 (Date)

(Title)

(Signature) _____ (Date)

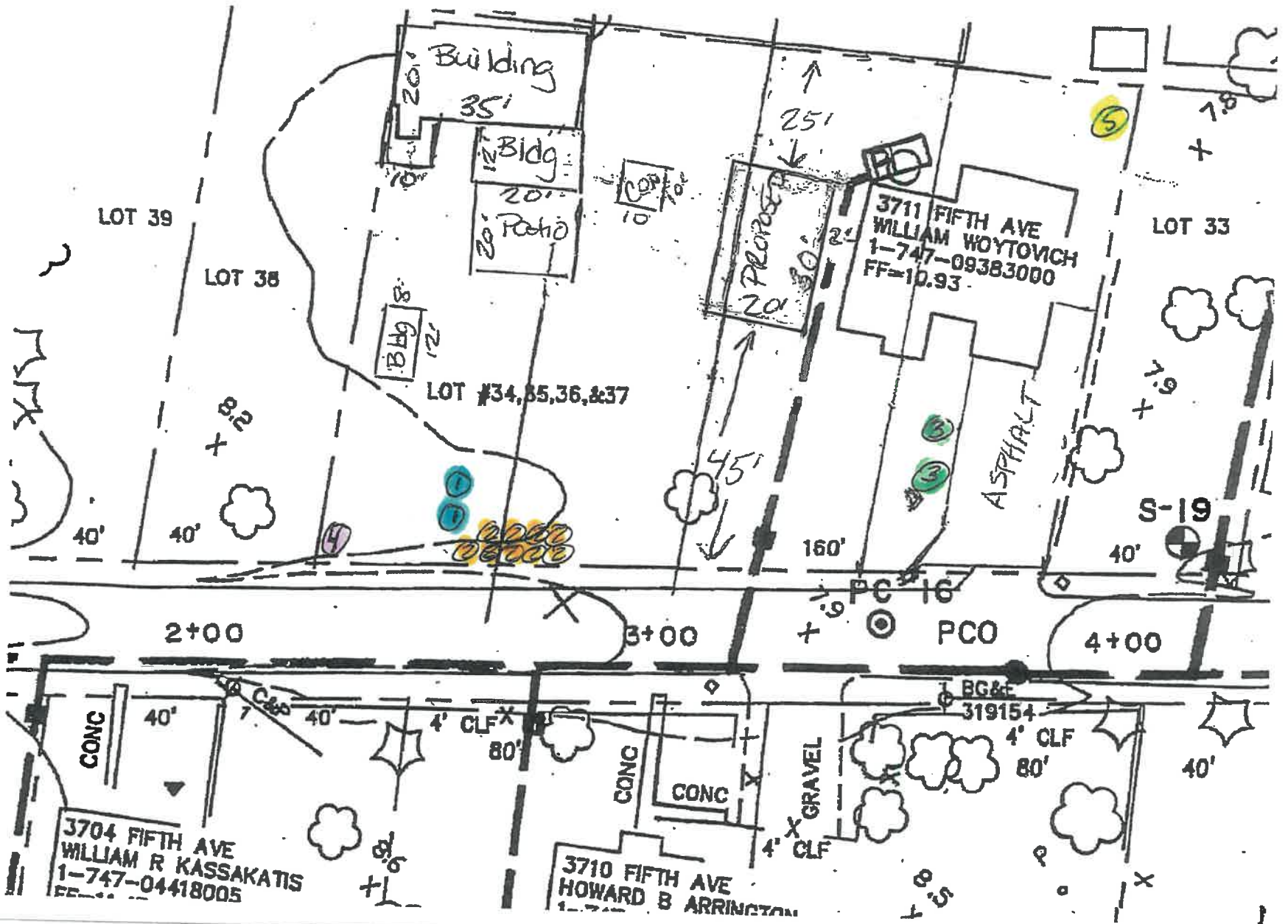
(Title)

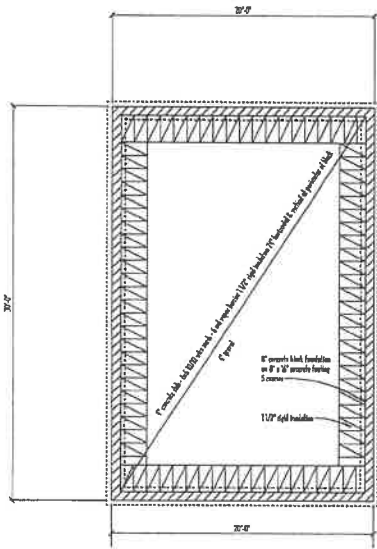
Permit No. B02421046 Exhibit A

Planting	Number of Plantings	Cost Per Plant	TOTAL COST
1 Hazelnut	2	\$12	\$24
2 Blueberry	9	\$15	\$135
3 Common Elderberry	2	\$28	\$56
4 Pin Oak	1	\$15	\$15
5 Red Bud	1	\$15	\$15

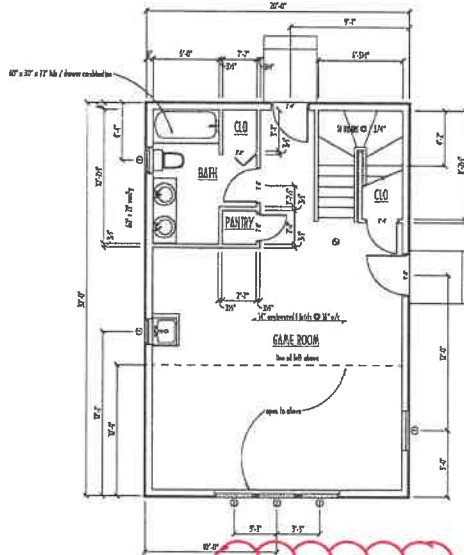
TOTAL COST

\$245



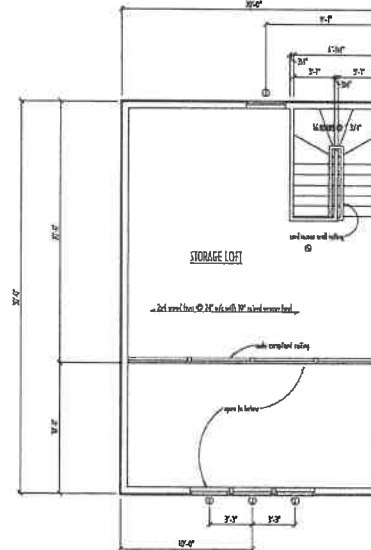


FOUNDATION PLAN



FIRST FLOOR PLAN
7'-11 1/2" CEILING HEIGHT - 10'-0" HIGH FLOOR TO FLOOR

WET BAR ONLY
(NO COOKTOP)



LOFT FLOOR PLAN

GENERAL NOTES

1. All steel members and all bolts to be designed and engineered by manufacturer. See drawings and notes for use of a registered engineer. Steel system shall be designed for a 40 lb. live load and a 15 lb. dead load. L/800 maximum deflection.
2. Steel roof system to be designed and engineered by manufacturer. Shop drawings and notes for use of a registered engineer.
3. Contractor shall be responsible for coordination to be in accordance with the approved final approved building and mechanical codes.
4. All engineering drawings will be provided with manufacturer drawings for dimensions and grading.
5. All dimensions shown take precedence over verbal dimensions. Contractor shall verify all dimensions and existing field conditions.

SYMBOL	DESCRIPTION
1	Foundation wall
2	Foundation top

1. window to be vinyl double hung
2. side door
3. half screen
4. pick to screen the glass

SYMBOLS

□ 6" x 12" joist

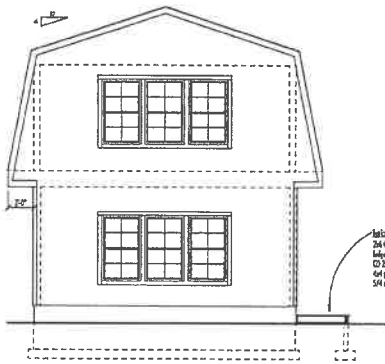
APPROVED



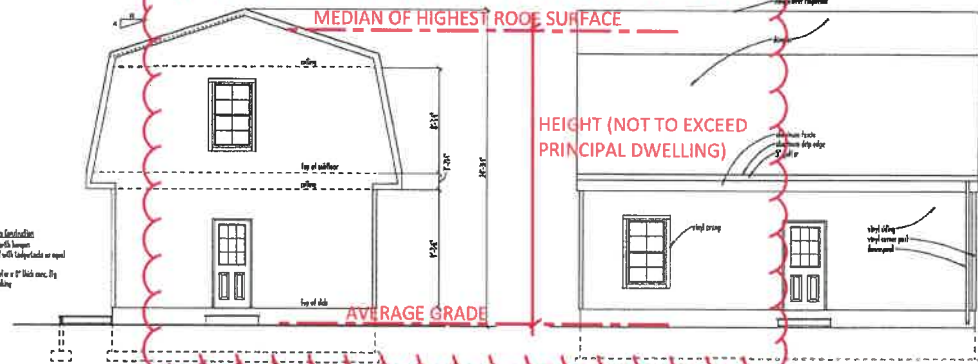
Date: March 6, 2024

Approved subject to applicable codes, comments and final field inspection.

Fire/Building Plans Reviewer
Permit Center



FRONT ELEVATION



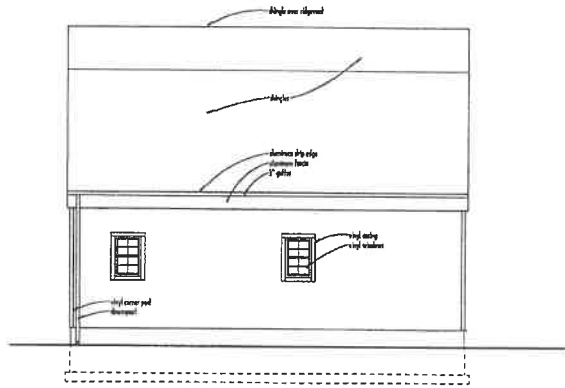
REAR ELEVATION

RIGHT SIDE ELEVATION

REVISIONS:

SCALE: 1/8" = 1'-0"
DATE: 12/2024

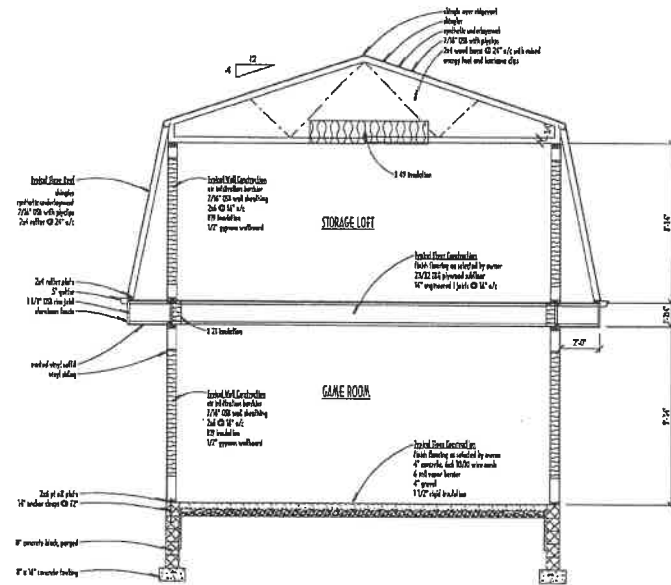
A1



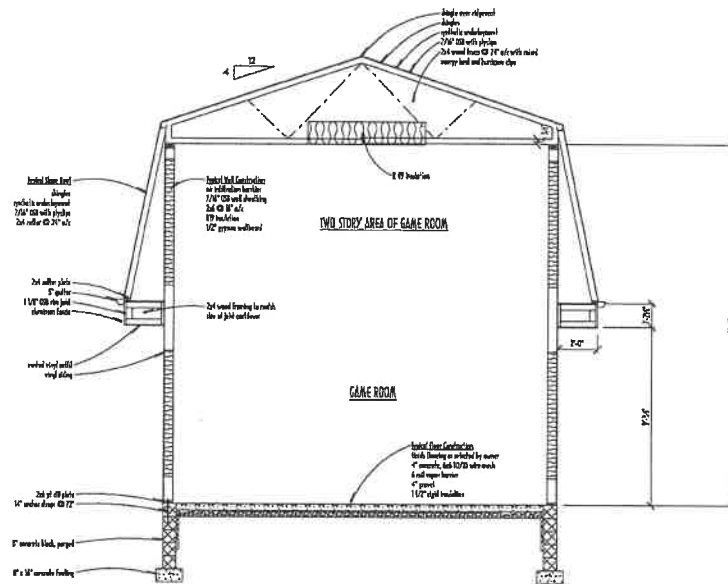
LEFT SIDE ELEVATION

GENERAL NOTES

1. All steel floor joists and (if) beams to be designed and engineered by manufacturer. Shop drawings shall show the steel at a registered engineer. Steel joists shall be designed for a 40 lb. live load and a 15 lb. dead load, U/BSI minimum deflection.
2. Floor roof systems to be designed and engineered by manufacturer. Shop drawings shall show the steel at a registered engineer.
3. Contractor shall be responsible for construction to be in compliance with the normal Ohio Building Code's building and electrical codes.
4. All engineering drawings will take precedence over architectural drawings for dimensions and quality.
5. All dimensions shown take precedence over marked dimensions. Contractor shall verify all dimensions and existing field conditions.



SECTION A A



SECTION B B

HALEY RESIDENCE
3771 5th Avenue
Edgewood, Maryland

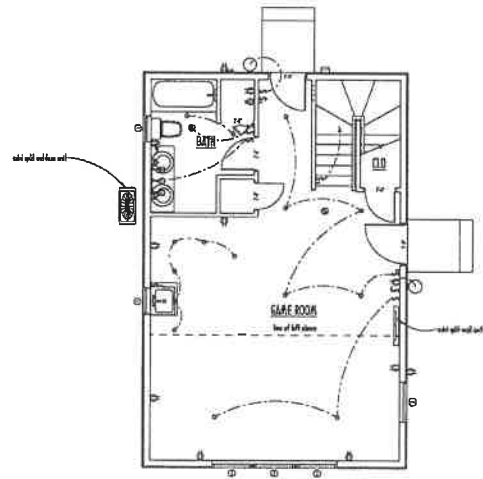
FORMS

SCALE
3/8" = 1'-0"
DATE
2/2/04

A2

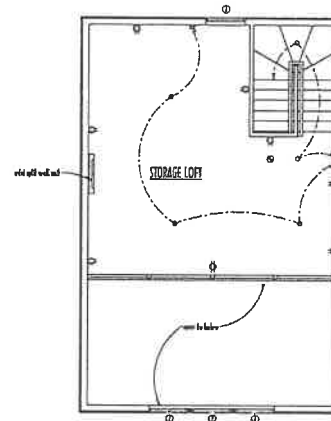
GENERAL NOTES

1. All floor joists and CE joists to be designed and engineered by manufacturer. Shop drawings shall show the use of a engineered joists. Floor joists shall be designed for a 40 lb. live load and a 15 lb. dead load. L/160 maximum deflection.
2. All roof joists to be designed and engineered by manufacturer. Shop drawings shall show the use of a engineered joists.
3. Contractor shall be responsible for verification to be in compliance with the current local codes, building and mechanical codes.
4. All engineering drawings will show provisions for additional framing for structure and grading.
5. All dimensions shown take structure into which dimension. Contractor shall verify all dimensions and adjust field conditions.



FIRST FLOOR PLAN

P-11VF (2024) 16500 - 10'3 7/8" RISE @ 24"OC



LDT FLOOR PLAN

SYMBOLS	
SYMBOL	DESCRIPTION
(Symbol)	WALL
(Symbol)	DOOR
(Symbol)	WINDOW
(Symbol)	STAIR
(Symbol)	CEILING
(Symbol)	FLOOR
(Symbol)	ROOF
(Symbol)	FOUNDATION
(Symbol)	MECHANICAL
(Symbol)	ELECTRICAL
(Symbol)	PLUMBING
(Symbol)	LANDSCAPE
(Symbol)	OTHER

HALEY RESIDENCE
3711 5th Avenue
Edgewater, Maryland

SCALE
1/4" = 1'-0"
DATE
3/2/24

E1

To: Anne Arundel County Planning and Zoning

We, the undersigned, are immediate neighbors of the premises located at 3711 5th Avenue, Edgewater, MD 21037. We have no objections to the Accessory Unit which was built upon that property.

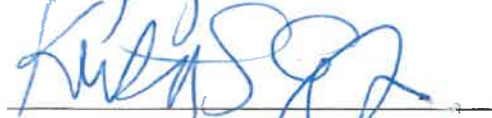
Name and Address

Signature of Owner

Ryan and Kelly Thuillier – 3705 Fifth Ave



Troy and Tina Grenga – 3706 Fifth Ave



Lewis Flowers – 3710 Fifth Ave



Stacey Crow – 3715 Fifth Ave

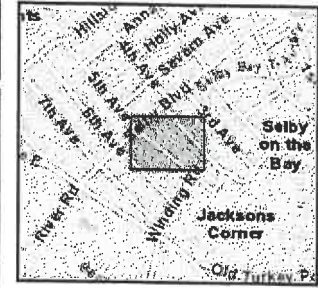
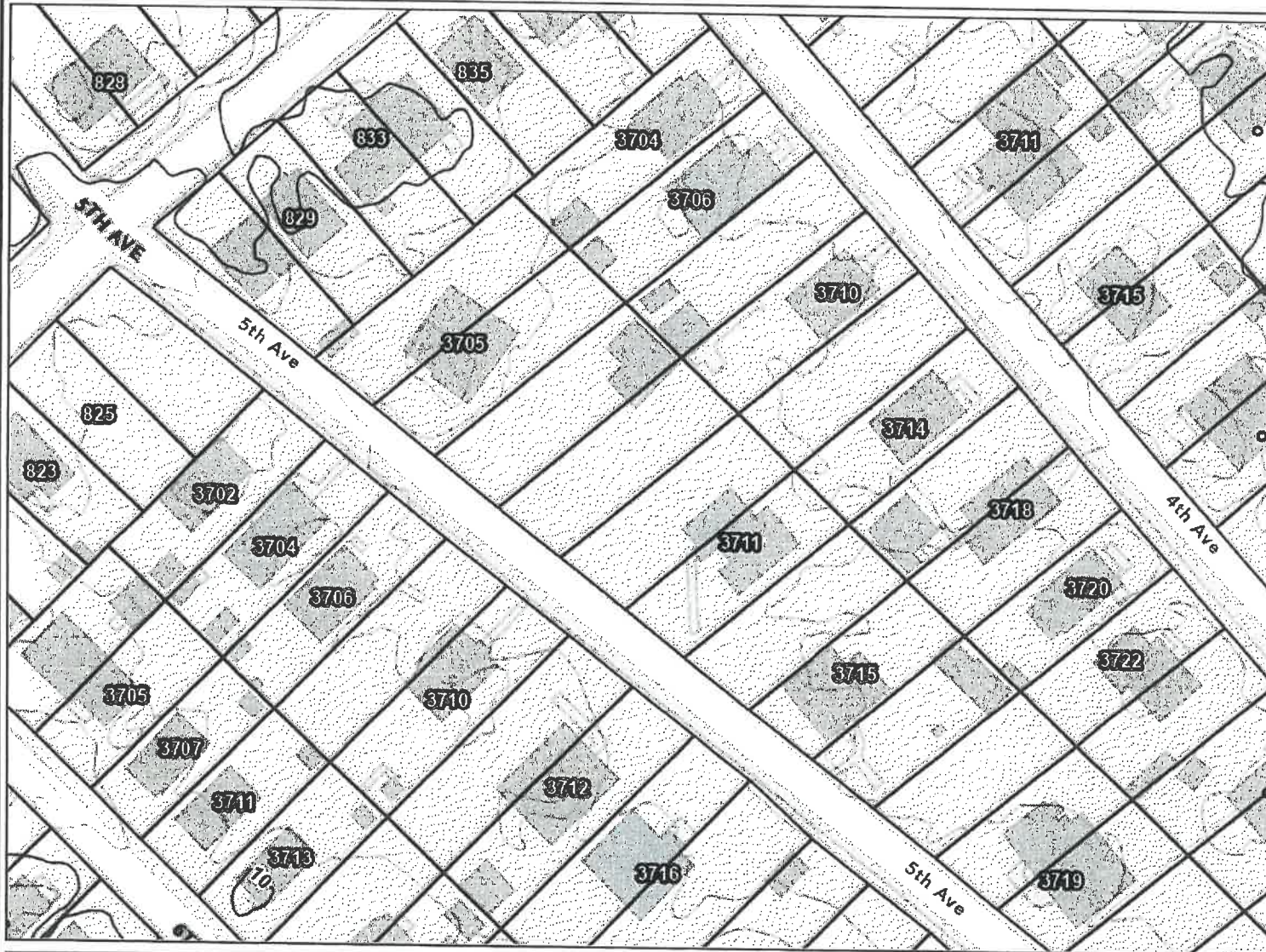


Jason Rohrbaugh – 3710 Fourth Ave

NOT AVAILABLE

Will Warnick - 3704 5th Ave Will Warnick

Topographic Map - Lot outline ref only NOT exact



Legend

- Foundation
 - Addressing
 -
 - Parcels
 - ▭
- Elevation
 - Topo 2020
 - Index
 - Intermediate

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



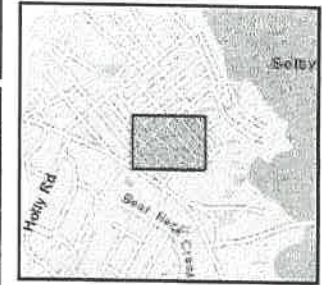
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 GeoTechnologies, Inc, METI/NASA,



THIS MAP IS NOT TO BE
 USED FOR NAVIGATION

Notes 1" = 100' - Lot outline ref only NOT exact

Topographic Map - Lot outline ref only NOT exact



Legend

Foundation

Parcels



Elevation

Topo 2020

— Index

--- Intermediate

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



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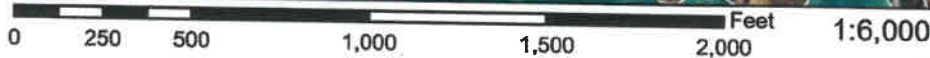
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National Flood Hazard Layer FIRMette



76°31'21"W 38°54'32"N



76°30'43"W 38°54'4"N

Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AQ, AH, VE, AP
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 17.5 Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 8/5/2024 at 10:55 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



**ANNE
ARUNDEL
COUNTY**

M A R Y L A N D

Office of Planning and Zoning

Jenny B. Jarkowski, Planning and Zoning Officer

AFFIDAVIT-DETACHED ACCESSORY STRUCTURE

PERMIT #: B02421046

PROPERTY ADDRESS: 3711 5th Avenue
Edgewater, MD 21037

TAX ACCOUNT #: 01747-0938-3000

I/WE, THE (PROPERTY OWNER OR CONTRACT PURCHASER IF APPLICABLE) UNDERSIGNED, IN MAKING AN APPLICATION FOR THE ABOVE REFERENCED BUILDING PERMIT, DO HEREBY ACKNOWLEDGE THAT THE USE OF THE DETACHED ACCESSORY STRUCTURE WILL NOT BE USED AS A GUEST HOUSE, INDEPENDENT DWELLING UNIT OR FOR COMMERCIAL PURPOSES

I HAVE BEEN INFORMED THAT IN THIS R5 ZONING DISTRICT, APARTMENTS, TWO-UNIT DWELLINGS, GUEST HOUSES PER SECTION 18-4-106, RENTAL UNITS AND DETACHED ACCESSORY DWELLING UNITS THAT CONTAIN HABITABLE LIVING SPACE, OR ATTACHED UNITS NOT IN COMPLIANCE WITH ARTICLE 18, SECTIONS 18-1-101 (47)(vi) AND 18-10-122 ARE NOT PERMITTED USES UNDER THE ANNE ARUNDEL COUNTY ZONING CODE. I UNDERSTAND THAT THESE USES WOULD BE PURSUED AS ZONING VIOLATIONS IF INITIATED.

SIGNATURE *Karina Haley*
PRINT NAME Karina Haley
DATE January 6, 2024

STATE OF MARYLAND, COUNTY OF ANNE ARUNDEL, TO WIT:

I HEREBY CERTIFY, THAT ON THIS 6 DAY OF January, 2024, BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE STATE AND COUNTY AFORESAID, PERSONALLY APPEARED Karina Haley KNOWN TO ME (OR SATISFACTORILY PROVEN) TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE WITHIN AGREEMENT AND ACKNOWLEDGED THAT HE OR SHE EXECUTED THE SAME FOR THE PURPOSE THEREIN.

IN WITNESS WHERE OF, I HEREUNTO SET MY HAND AND OFFICIAL SEAL.

WANPEN FARREN
Notary Public
Anne Arundel County
Maryland
My Commission Expires Nov. 3, 2027

Wayen Farren
NOTARY PUBLIC