



Renee Norris
1160 Indian Landing Road
Millersville, MD 21108
410-923-0262 - renee.norris@comcast.net

LETTER OF EXPLANATION
AAC Variance Application
OWNER: Mario and Denise Pelletier, Trustees
684 N Riverside Drive, Crownsville, MD 21032
9/26/2024

Property Information: Parcel 392, Block 17, Lot 2, Map 31, Subdivision –Herald Harbor.
Zoned R5 Residential District. The waterfront lot is located on Valentine Creek, off the Severn River.
Chesapeake Bay Critical Area – Intensely Developed Area (IDA).

Existing Conditions: The lot has 48 feet of water frontage. There is an existing pier with multiple size decks, two boat lifts, and one slip. The pier is over 30 years old. The existing piers on both sides are located inside the Anne Arundel County 15-foot setback. The extended property lines on both sides were drawn using the method, Generally Parallel with Existing Piers.

Proposed Construction: Install 48' timber bulkhead 18" channelward of the existing timber bulkhead. Remove existing land deck, pier, and pilings. Install 6' x 54' pier. Install 2 mooring piles. Install 2 boat lift piles.

Variance Requested: North side - Variance of 6 feet and 9 feet for mooring piles.
South side – Variance of 9 feet and 6 feet for boat lift piles.

Adjacent Property Owners:

Timothy Burge – 682 N Riverside Drive, Crownsville, MD 21032 (North)
George Swingle – 686 N Riverside Drive, Crownsville, MD 21032 (South)

Justification:

- The community is zoned Intensely Developed Area, causing the neighboring piers to be located inside the AAC 15-foot setback and requiring this proposed pier to do the same.
- The existing pier has multiple size docks, two boat lifts and one slip. The proposed pier will reduce the footprint down to one 6-foot x 54-foot pier, with one boat lift and one slip.
- The existing boat lift piles are currently located as close as 2 feet from the extended property line to the South. The proposed boat lift piles will be located 6 feet and 9 feet from the EPL to the South.
- The existing mooring pile to the North is located 4 feet from the EPL to the North. The proposed mooring piles will be located 6 feet and 9 feet from the extended property line.
- Therefore, the homeowner is asking for the minimum necessary to afford relief – one 6-foot by 54-foot straight pier, one boat lift, and one slip, thereby significantly reducing the existing footprint of the pier and pilings.

Critical Area Report: This is a residential property. The proposed pier will be located channelward of the MHWL. Therefore, no land disturbance will occur. No trees or shrubs will be removed. Impact on water quality and habitat – N/A. Impervious surface will increase by 0 SF after proposed construction. There are no wildlife habitats of local significance.

Mario and Denise Pelletier

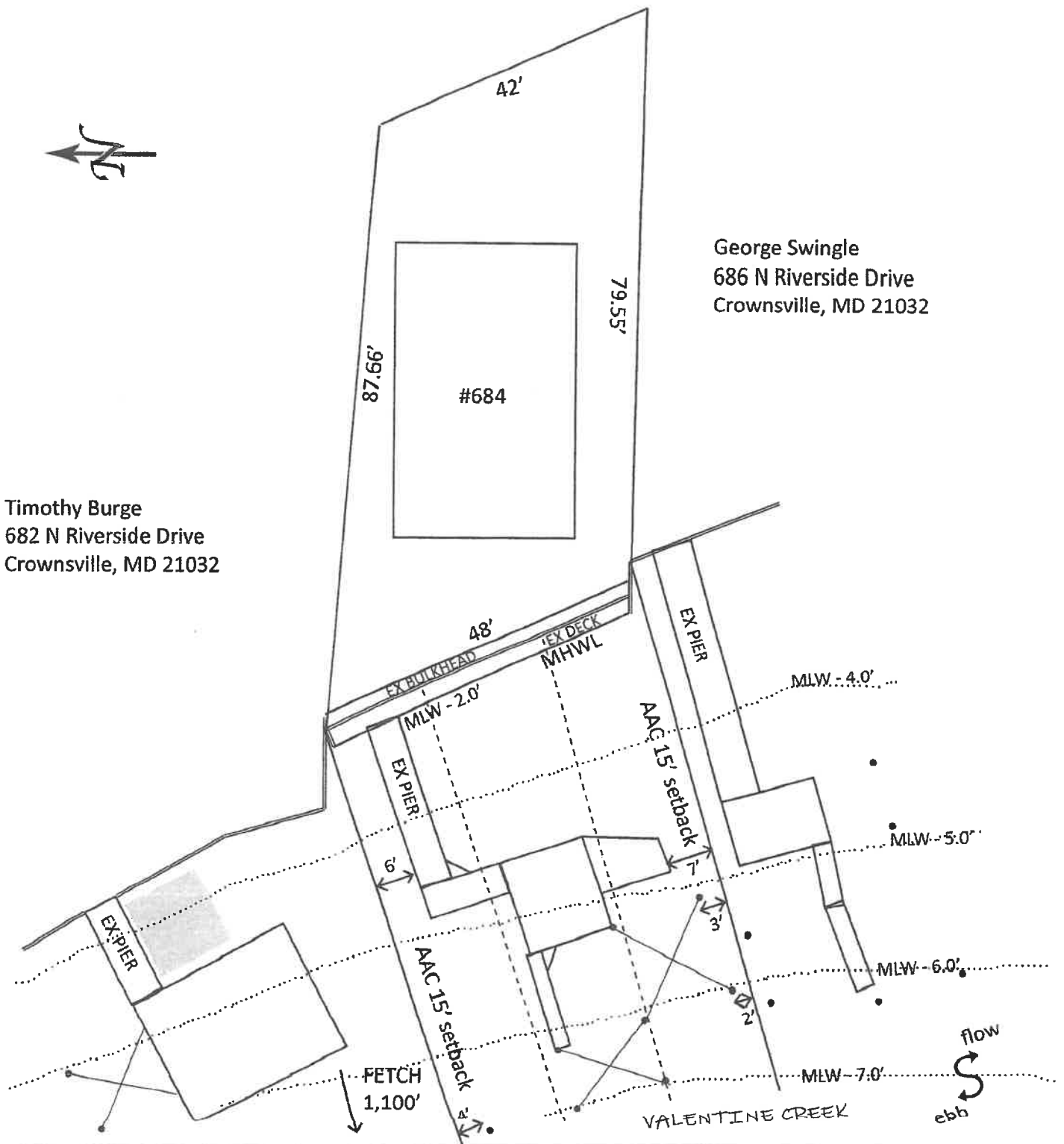
10/2/2024 | 3:43 PM EDT

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George Swingle
686 N Riverside Drive
Crownsville, MD 21032

Timothy Burge
682 N Riverside Drive
Crownsville, MD 21032



PAGE 9 OF 13

SCALE 1" = 20'

EXISTING CONDITIONS - AAC VARIANCE

NOTES: No mapped SAV are present.
All construction is by water access.
All pile measurements are center to center.

This plan is for permit use only by RKN Marine Permits & Services.
All measurements, water depths, extended property lines, and setbacks are approximate.
For precise property boundary measurements, owner should conduct a boundary survey.

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OWNER/APPLICANT:

Mario Pelletier, Trustee
684 N Riverside Drive
Crownsville, MD 21032
02-413-07372400
AAC/Valentine Creek
9/26/2024

PROPOSED CONSTRUCTION:

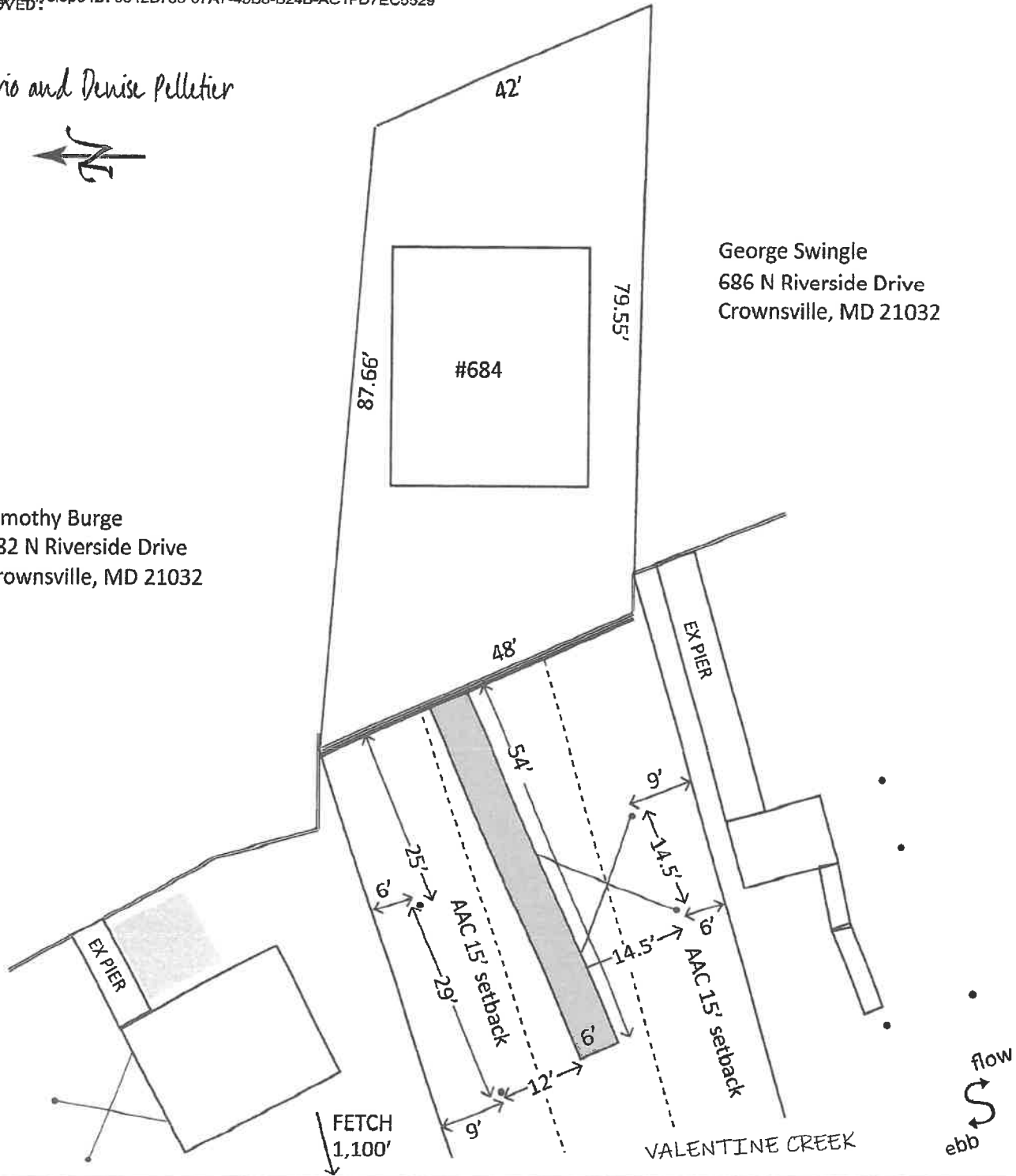
Install 48' timber bulkhead 18" channelward of existing timber bulkhead.
Remove land deck, existing pier, and pilings.
Install 6' x 54' pier. Install 2 mooring piles.
Install 2 boat lift piles.

Mario and Denise Pelletier



Timothy Burge
 682 N Riverside Drive
 Crownsville, MD 21032


George Swingle
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PAGE 10 OF 13	SCALE 1" = 20'	PROPOSED CONSTRUCTION - AAC VARIANCE
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CRITICAL AREA COMMISSION
 CHESAPEAKE AND ATLANTIC COASTAL BAYS
 1804 WEST STREET, SUITE 100
 ANNAPOLIS, MD 21401

PROJECT NOTIFICATION APPLICATION

GENERAL PROJECT INFORMATION

Jurisdiction: Anne Arundel County

Date: September 27, 2024

Tax Map #	Parcel #	Block #	Lot #	Section
31	392	17	2	

Tax ID: 2413-0737-2400

FOR RESUBMITTAL ONLY

- Corrections
- Redesign
- No Change
- Non-Critical Area

*Complete Only Page 1
 General Project Information

Project Name (site name, subdivision name, or other) 684 N Riverside Drive

Project location/Address 684 N Riverside Drive

City Crownsville Zip 21032

Local case number

Applicant: Last name Pelletier First name Mario

Company

Application Type (check all that apply):

- | | |
|--|--|
| Building Permit <input type="checkbox"/> | Variance <input checked="" type="checkbox"/> |
| Buffer Management Plan <input type="checkbox"/> | Rezoning <input type="checkbox"/> |
| Conditional Use <input type="checkbox"/> | Site Plan <input type="checkbox"/> |
| Consistency Report <input type="checkbox"/> | Special Exception <input type="checkbox"/> |
| Disturbance > 5,000 sq ft <input type="checkbox"/> | Subdivision <input type="checkbox"/> |
| Grading Permit <input type="checkbox"/> | Other <input type="checkbox"/> |

Local Jurisdiction Contact Information:

Last name AACo Zoning Administration Section First name

Phone # 410-222-7437 Response from Commission Required By TBD

Fax # Hearing date TBD

SPECIFIC PROJECT INFORMATION

Describe Proposed use of project site:

Residential pier, slip, and boat lift

Intra-Family Transfer <input type="checkbox"/> Yes Grandfathered Lot <input type="checkbox"/>	Growth Allocation <input type="checkbox"/> Yes Buffer Exemption Area <input type="checkbox"/>
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Project Type (check all that apply)

Commercial <input type="checkbox"/> Consistency Report <input type="checkbox"/> Industrial <input type="checkbox"/> Institutional <input type="checkbox"/> Mixed Use <input type="checkbox"/> Other <input type="checkbox"/>	Recreational <input type="checkbox"/> Redevelopment <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Shore Erosion Control <input type="checkbox"/> Water-Dependent Facility <input type="checkbox"/>
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SITE INVENTORY (Enter acres or square feet)

	Acres	Sq Ft		Acres	Sq Ft
IDA Area		3,818	Total Disturbed Area		0
LDA Area					
RCA Area			# of Lots Created		
Total Area		3,818			

	Acres	Sq Ft		Acres	Sq Ft
Existing Forest/Woodland/Trees		N/A	Existing Lot Coverage		N/A
Created Forest/Woodland/Trees		N/A	New Lot Coverage		N/A
Removed Forest/Woodland/Trees		N/A	Removed Lot Coverage		N/A
			Total Lot Coverage		N/A

VARIANCE INFORMATION (Check all that apply)

	Acres	Sq Ft		Acres	Sq Ft
Buffer Disturbance		0	Buffer Forest Clearing		0
Non-Buffer Disturbance			Mitigation		

<p><u>Variance Type</u></p> Buffer <input type="checkbox"/> Forest Clearing <input type="checkbox"/> HPA Impact <input type="checkbox"/> Lot Coverage <input type="checkbox"/> Expanded Buffer <input type="checkbox"/> Nontidal Wetlands <input type="checkbox"/> Setback <input checked="" type="checkbox"/> Steep Slopes <input type="checkbox"/> Other <input type="checkbox"/>	<p><u>Structure</u></p> Acc. Structure Addition <input type="checkbox"/> Barn <input type="checkbox"/> Deck <input type="checkbox"/> Dwelling <input type="checkbox"/> Dwelling Addition <input type="checkbox"/> Garage <input type="checkbox"/> Gazebo <input type="checkbox"/> Patio <input type="checkbox"/> Pool <input type="checkbox"/> Shed <input type="checkbox"/> Other <input checked="" type="checkbox"/> pier and piles
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684 N Riverside Drive topo



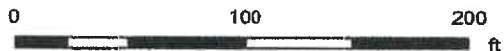
Legend

- Foundation
 - Addressing
 - Parcels
- Structure
 - County Structure
- Elevation
 - Topo 2020
 - Index
 - Intermediate

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

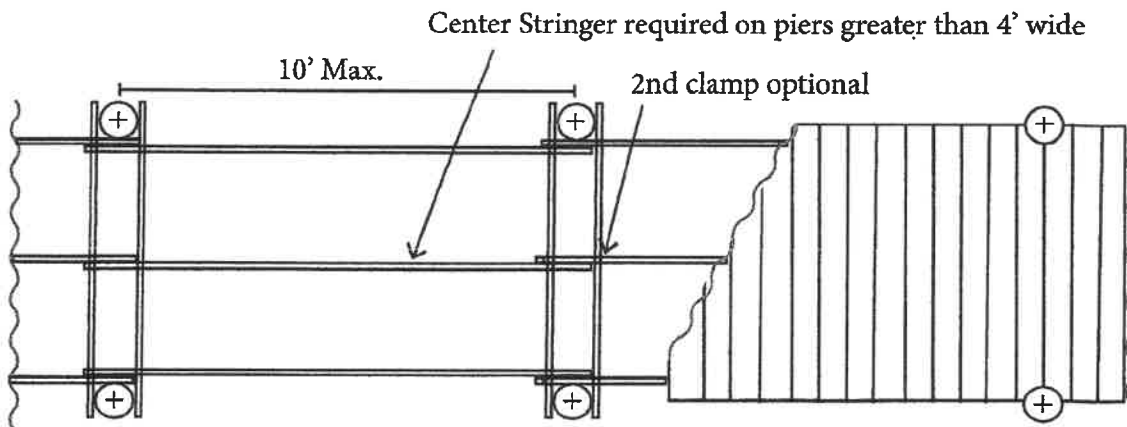
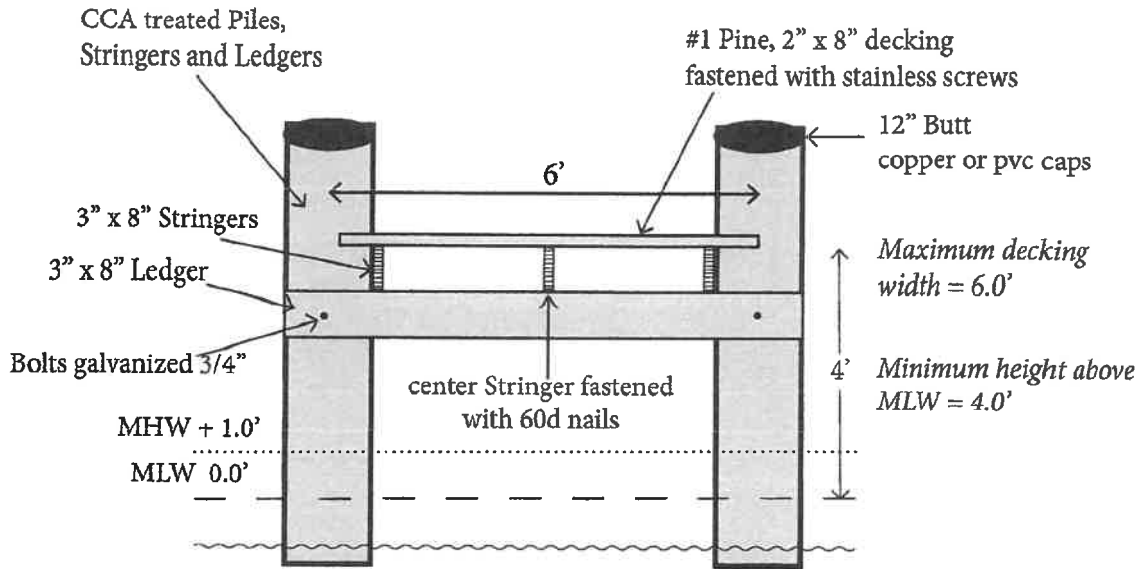
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Notes 1"=100'



THIS MAP IS NOT TO BE USED FOR NAVIGATION

PIER CONSTRUCTION PLAN



DRAWING FOR PERMIT PURPOSES ONLY

1. Treatment shall be per AWWA Standards: (1) Piles - 1.5 lb/ft CCA Type C. For areas of severe marine infestations 2.5 lb/ft CCA is recommended; (2) Decking and Stringers - 0.5 lb/ft Penta or 0.4 lb/ft CCA Type C.
2. All steel hardware shall be hot dip galvanized after fabrication.
3. For pier widths of 4' or less a center stringer is not required.
4. For piles extending more than 5 ft. above mean low water, the pile length must be increased accordingly.
5. Where this standard calls for a pair of 1/2" x 6" lag bolts, a single 3/4" bolt with 2" washer and a square Nut may be substituted.
6. All bolts to be thru bolted and recessed on the outboard side.
7. This standard is for typical river conditions with firm granular soil. It does not take into account excessive water depth, poor soil conditions, scouring due to currents or waves, or heavy loads. Where site conditions differ, the structure shall be designed and sealed by a professional Engineer registered to practice in the State of Maryland.
8. The details on this drawing are to be considered as minimum standards for specific conditions. It shall be the responsibility of the applicant to determine if conditions require design modifications. RKN Marine Permits & Services assumes no responsibility or liability for performance of the structure on this drawing.

PAGE 11 OF 13

SCALE: NONE

PIER CONSTRUCTION PLAN

NOTES: No mapped SAV are present.
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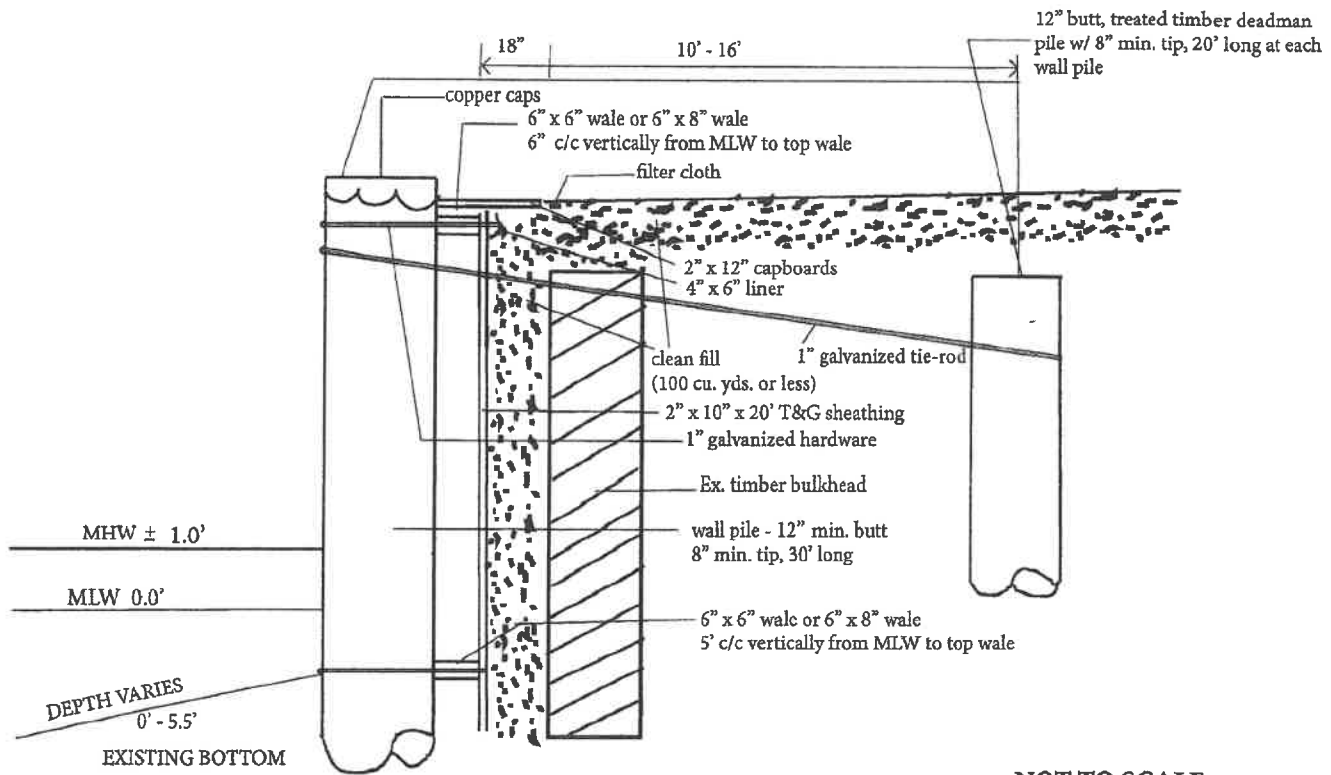
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 Remove land deck, existing pier, and pilings.
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Timber Bulkhead Cross - Section Construction Plans With Existing Timber Bulkhead-Light Duty


NOTES:

1. Wood shall be grade *2 or better per AWP standards.
 - (1) Piles - 1.5 lb/cu. ft. CCA Type C is required.
 - (2) Wales, cap-boards, and sheathing - 1.5 lb/cu. ft. CCA is required.
2. All steel hardware shall be hot dip galvanized after fabrication and must be specified for marine use.
3. All piles must be a minimum length of 30' with 12" Butt piles with 8" minimum tip and must be located 5' O/C.
4. This standard is for typical river conditions with firm granular soil. It does not take into account excessive water depth, poor soil conditions, scouring due to currents or waves, or heavy loads.
5. All bolts to be thru bolted and recessed on outboard side. Minimum size of hardware is 1" diameter bolts with 3" x 1/4" NYDD washer and nut.
6. Use 60d nails for attaching sheathing to wales and 20d nails to attach cap to wales.
7. Use copper pile caps.
8. The details on this drawing are to be considered as minimum standards for specific conditions. It shall be the responsibility of the applicant to determine if conditions require design modifications. RKN Marine Permits & Services assumes no responsibility or liability for performance of the structure on this drawing.



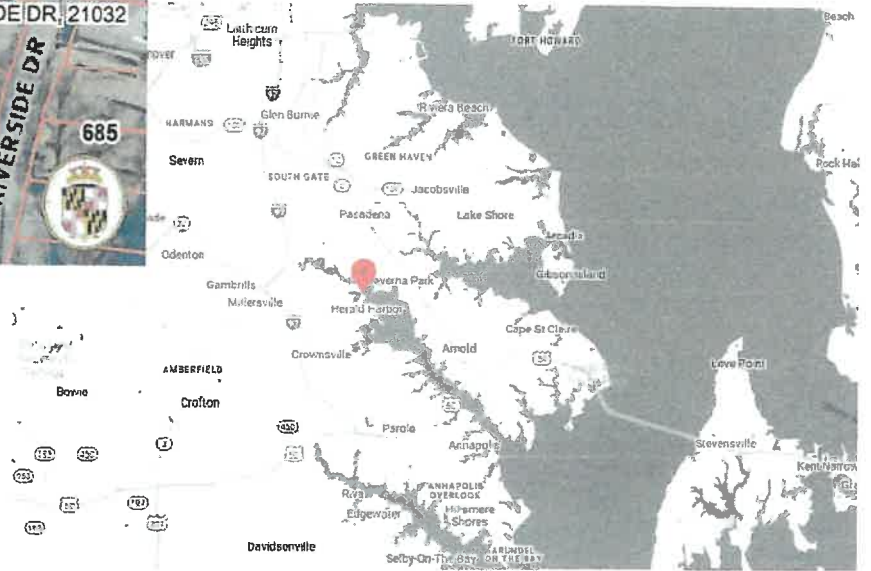
NOT TO SCALE

Construction Plan property of RKN Marine Permits & Services.

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PAGE 12 OF 13	All construction water access.	All measurements shall be field verified by contractor.



<https://gis.aacounty.org/>



<https://snazymaps.com/>

NEIGHBORS WITHIN 175'

STAPLETON ALAN M , STAPLETON ANYA M
678 N RIVERSIDE DR, CROWNSVILLE 21032

SERINI PAUL A
688 N RIVERSIDE DR, CROWNSVILLE 21032

SWINGLE GEORGE , SWINGLE JULIE E
686 N RIVERSIDE DR, CROWNSVILLE 21032

LODOWSKI CHRISTIAN A
692 N RIVERSIDE, CROWNSVILLE 21032

BURGE TIMOTHY
682 N RIVERSIDE, CROWNSVILLE 21032

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VICINITY MAP & AERIAL PHOTO

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