

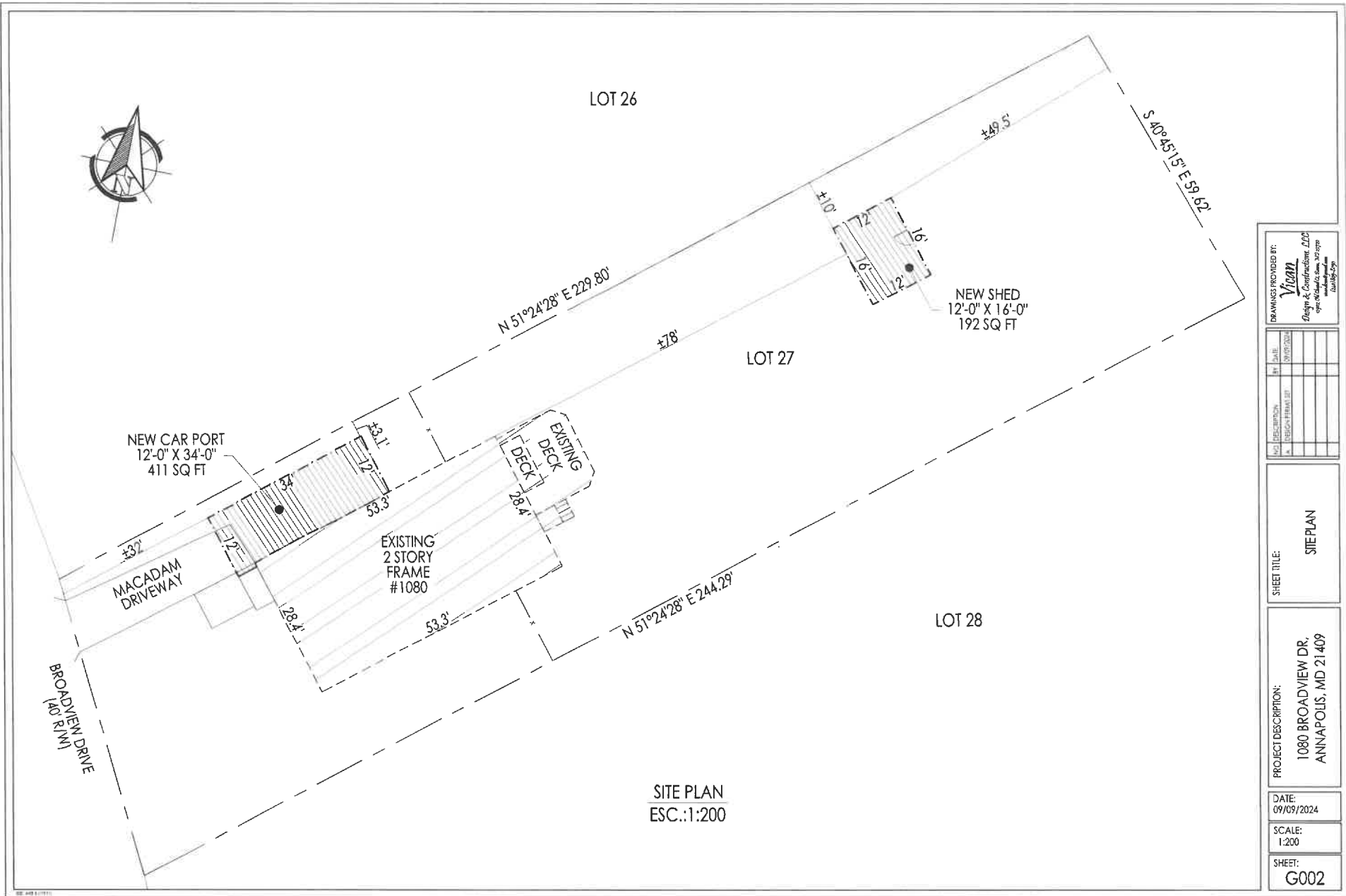
LETTER OF EXPLANATION

We would like to apply for a variance in the side yard set back requirement for our attached carport. The reasons why we think that a variance is necessary are:

1. The property is very narrow. It is only 60' wide. The house is approximately 28' wide, which leaves only 16' on each side. We believe that a 4' setback is needed. The minimum carport width necessary to allow a car to park in it and open the doors under cover is 12' wide. This is what we would like to build. We are proposing a long, narrow carport to cover our two cars, instead of a more traditional wider carport that allowed the cars to park side by side.
2. We believe that putting the carport at the end of the existing driveway is the best spot. The extreme sloping of the front and rear yards precludes us from positioning it anywhere else.
3. We have spoken with our neighbor, Jose Ramos Roman, and he has written a letter stating that he does not have any issues with it being built there. I will include the letter.
4. We have also submitted a proposal with the board of the Cape St. Claire Improvement Association and they have approved our plan pending approval of the county. I will include their certificate of approval.
5. Our carport is needed because we have two electric cars that require a covered car charging station for extra safety.
6. Our carport is also needed because it would help protect our cars from the weather. And it would allow us to enter and exit the vehicles under cover as we are both senior citizens.

Thank you,

Paul and Alexa Bryan



SITE PLAN
ESC.:1:200

DRAWINGS PROVIDED BY:
Vican
 Design & Construction, LLC
 4910 Woodlawn Lane, 3rd Floor
 Baltimore, MD 21208

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
SITE PLAN

PROJECT DESCRIPTION:
 1080 BROADVIEW DR,
 ANNAPOLIS, MD 21409

DATE:
 09/09/2024

SCALE:
 1:200

SHEET:
G002

CRITICAL AREA COMMISSION
 CHESAPEAKE AND ATLANTIC COASTAL BAYS
 1804 WEST STREET, SUITE 100
 ANNAPOLIS, MD 21401

PROJECT NOTIFICATION APPLICATION

GENERAL PROJECT INFORMATION

Jurisdiction: Anne Arundel County

Date:

Tax Map #	Parcel #	Block #	Lot #	Section
40	25	T	27	

Tax ID: 316590010634

FOR RESUBMITTAL ONLY

- Corrections
- Redesign
- No Change
- Non-Critical Area

*Complete Only Page 1
 General Project Information

Project Name (site name, subdivision name, or other) _____

Project location/Address 1080 Broadview DR

City Annapolis Zip 21409

Local case number _____

Applicant: Last name Bryan First name Paul

Company _____

Application Type (check all that apply):

- | | |
|--|--|
| Building Permit <input type="checkbox"/> | Variance <input checked="" type="checkbox"/> |
| Buffer Management Plan <input type="checkbox"/> | Rezoning <input type="checkbox"/> |
| Conditional Use <input type="checkbox"/> | Site Plan <input type="checkbox"/> |
| Consistency Report <input type="checkbox"/> | Special Exception <input type="checkbox"/> |
| Disturbance > 5,000 sq ft <input type="checkbox"/> | Subdivision <input type="checkbox"/> |
| Grading Permit <input type="checkbox"/> | Other <input type="checkbox"/> |

Local Jurisdiction Contact Information:

Last name AACo Zoning Administration Section First name _____

Phone # 410-222-7437 Response from Commission Required By TBD

Fax # _____ Hearing date TBD

SPECIFIC PROJECT INFORMATION

Describe Proposed use of project site:

Carport

Intra-Family Transfer <input type="checkbox"/> Yes Grandfathered Lot <input type="checkbox"/>	Growth Allocation <input type="checkbox"/> Yes Buffer Exemption Area <input type="checkbox"/>
--	--

Project Type (check all that apply)

Commercial <input type="checkbox"/> Consistency Report <input type="checkbox"/> Industrial <input type="checkbox"/> Institutional <input type="checkbox"/> Mixed Use <input type="checkbox"/> Other <input type="checkbox"/>	Recreational <input type="checkbox"/> Redevelopment <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Shore Erosion Control <input type="checkbox"/> Water-Dependent Facility <input type="checkbox"/>
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SITE INVENTORY (Enter acres or square feet)

	Acres	Sq Ft		Acres	Sq Ft
IDA Area			Total Disturbed Area		
LDA Area		14220	# of Lots Created		
RCA Area					
Total Area					

	Acres	Sq Ft		Acres	Sq Ft
Existing Forest/Woodland/Trees			Existing Lot Coverage		2201
Created Forest/Woodland/Trees			New Lot Coverage		1074
Removed Forest/Woodland/Trees			Removed Lot Coverage		400
			Total Lot Coverage		2875

VARIANCE INFORMATION (Check all that apply)

	Acres	Sq Ft		Acres	Sq Ft
Buffer Disturbance			Buffer Forest Clearing		
Non-Buffer Disturbance			Mitigation		

<p style="text-align: center;"><u>Variance Type</u></p> Buffer <input type="checkbox"/> Forest Clearing <input type="checkbox"/> HPA Impact <input type="checkbox"/> Lot Coverage <input type="checkbox"/> Expanded Buffer <input type="checkbox"/> Nontidal Wetlands <input type="checkbox"/> Setback <input checked="" type="checkbox"/> Steep Slopes <input type="checkbox"/> Other <input type="checkbox"/>	<p style="text-align: center;"><u>Structure</u></p> Acc. Structure Addition <input type="checkbox"/> Barn <input type="checkbox"/> Deck <input type="checkbox"/> Dwelling <input type="checkbox"/> Dwelling Addition <input type="checkbox"/> Garage <input type="checkbox"/> Gazebo <input type="checkbox"/> Patio <input type="checkbox"/> Pool <input type="checkbox"/> Shed <input type="checkbox"/> Other <input checked="" type="checkbox"/>
---	--

Carport

Paul and Alexa Bryan

1080 Broadview DR

Annapolis, MD 21409

Critical Area Report Narrative

1. We are proposing to build a carport on our residential lot.
2. We have some maples and pine trees in the front of the property. And we have some holly, poplar, and pine in the backyard. A total of 13 large trees with a canopy of about 5000 sf. Most of the trees are within 10' of the property lines and are on the long sides of the property. None of the trees will be disturbed by the carport. And no vegetation, except for grass will be disturbed by the carport.
3. We will install gutters on the carport and direct the runoff towards some small gardens.
4. The impervious surfaces before construction is 2201 square feet. And after construction is 2875 square feet.
5. There are no habitat protection areas on the property.

Jose E Ramos Roman
1078 Broadview Dr
Cape St. Claire, MD, 21409
Date

Cape St Claire Home Owners Association

Dear Cape St Claire Home Owners Association :

I'm Paul Bryan neighbor and it's my understanding Paul is building a car port at 1080 Broadview Dr Cape St. Claire MD, 21409 adjacent side to my asphalt driveway. I have no issues concerning Paul building the carport and authorizing the building of such structure if it does not protrude my property line.

If you have any questions, I can be reached at 443-306-7516 or email at ramosj9@gmail.com

Sincerely,

A handwritten signature in black ink, appearing to read "Jose E Ramos Roman". The signature is fluid and cursive, with the first name "Jose" being the most prominent.

Jose E Ramos Roman

Lot No. 727 Address 1080 Broadview Dr.

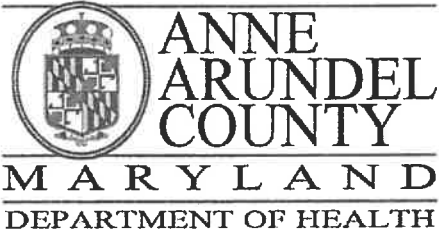
APPROVAL

Approval has been authorized by the Building & Planning Committee of the Cape St. Claire Improvement Association, Inc., on 09 / 09 / 2024 to erect a shed and carport (w/ 6' variance) according to the plans and specifications received from Paul & Alexa Bryan and recorded by the Committee.

Construction is to be completed according to these plans and specifications no later than 06 / 09 / 25.

By the authority of Board of Governors and Building Committee

This approval notice must be displayed during construction so that it is visible from the front road.




J. Howard Beard Health Services Building
3 Harry S. Truman Parkway
Annapolis, Maryland 21401
Phone: 410-222-7095 Fax: 410-222-7294
Maryland Relay (TTY): 711
www.aahealth.org

Tonii Gedin, RN, DNP
Health Officer

MEMORANDUM

TO: Sadé Medina, Zoning Applications
Planning and Zoning Department, MS-6301

FROM: Brian Chew, Program Manager 
Bureau of Environmental Health

DATE: October 25, 2024

RE: Alexa Bryan
1080 Broadview Drive
Annapolis, MD 21409

NUMBER: 2024-0193-V

SUBJECT: Variance/Special Exception/Rezoning

The Health Department has reviewed the above referenced variance in the side yard setback requirement for an attached carport.

Based on a review of the above referenced request, additional information is needed by the Health Department on:

The type and location of the water supply well and the neighboring water supply well at 1078 Broadview Drive.

If you have further questions or comments, please contact Brian Chew at 410-222-7413.

cc: Sterling Seay

GENERAL NOTES

CONSTRUCTION SHALL CONFORM TO ALL CODES AND REGULATIONS HAVING JURISDICTION IN DISTRICT OF ANNE ARUNDEL COUNTY.
ALL TRADES PERFORMING WORK SHALL MEET OR EXCEED CODE REQUIREMENTS WITH REGARD TO MATERIALS, CONSTRUCTION, AND INSTALLATION METHODS.

ALL TRADE (PLUMBING, ELECTRICAL AND MECHANICAL) DWGS ARE SCHEMATIC EACH APPLICABLE CONTRACTOR TO INTRODUCE NEW WORK AND TIE INTO EX. WHERE APPROPRIATE IN MOST EFFICIENT MANNER WHILE COMPLYING WITH ALL CODES.

THESE DRAWINGS HAVE BEEN DEVELOPED IN COORDINATION WITH PROJECT SPECIFICATIONS. THE DRAWINGS AND SPECIFICATIONS SHALL BE USED TO COMPLEMENT EACH OTHER.

REVIEW CONTRACT DOCUMENTS AND FIELD DIMENSIONS AND CONDITIONS. CONFIRM THAT WORK IS BUILDABLE AS SHOWN. PROMPTLY REPORT ANY ERRORS, CONFLICTS, OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION. IF THE CONTRACTOR FAILS TO NOTIFY ARCHITECT OF A KNOWN NONCONFORMITY, THEN THE CONTRACTOR IS TO PAY SUCH COSTS AND DAMAGES TO THE OWNER AS WOULD HAVE BEEN AVOIDED IF NOTIFICATION HAD BEEN PERFORMED.

COORDINATE WORK WITH THE OWNER/TENANT, INCLUDING SCHEDULING TIME AND

LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.

CONTRACTOR SHALL ENSURE THAT CONTRACTOR EMPLOYEES AND SUBCONTRACTORS SHALL COMPLY WITH ALL BUILDING RULES AND REGULATIONS.

OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT.

INCLUDE THESE IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.

COORDINATE WITH TELECOMMUNICATIONS, DATA, AND SECURITY SYSTEM INSTALLATION.

MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.

WORK AREAS TO BE SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY.

PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.

DURING CONSTRUCTION, EACH TRADE SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THEIR WORK.

OWNER INFORMATION
1080 BROADVIEW DR,
ANNAPOLIS, MD 21409
PROPERTY INFORMATION

EXISTING CONDITION

2 STORY
SQUARE: 3552 SF
JURISDICTION: ANNE ARUNDEL COUNTY
LOT: 0.33 ACRES
BUILT: 1977
PARCEL #: 020316590010634
ZONING: R5

PROPOSED

- NEW CARPORT
- NEW SHED

PROJECT: NEW CARPORT AND SHED

VICINITY MAP



REVISIONS

No.	DESCRIPTION	DATE	BY
A	DESIGN PERMIT SET	09/09/2024	

APPLICABLE CODES

ANNE ARUNDEL COUNTY
INTERNATIONAL BUILDING CODE / 2021
INTERNATIONAL EXISTING BUILDING CODE (IEBC) / 2021

IRC 2021 DESIGN CRITERIA

FLOOR LIVE LOAD	40 spf
ROOF LIVE LOAD	30 spf
DEAD LOADS	10 spf
GROUND SNOW LOAD	25 spf
WIND SPEED EXPOSURE	115 mph
SEISMIC DESIGN	Category A
WEATHERING	Severe
FROST LINE DEPTH	24"
TERMITE AREA	Moderate to Heavy
DECAY AREA	Slight to Moderate
WINTER DESIGN TEMPERATURE	17 F
ICE SHIELD UNDERLAYMENT	Yes, Required
FLOOD HAZARD	03/05/1990
AIR FREEZING INDEX	<=1500°F
MEAN ANNUAL TEMPERATURE	50 F

DRAWING INDEX

G001	COVER SHEET
G002	SITE PLAN
S001	STRUCTURAL - NOTES
S002	STRUCTURAL - SHED
S003	STRUCTURAL - DETAILS
S004	STRUCTURAL CARPORT - FOUNDATION
S005	STRUCTURAL CARPORT - ROOF PLAN ELEVATION D
S006	STRUCTURAL CARPORT - ELEVATION E

SCOPE WORK

- NEW CARPORT 12'-0" X 34'-0"
- NEW SHED 12'-0" X 16'-0"

DRAWING PROVIDED BY: **VICAM**
 Vicam & Contractors, LLC
 11000 Greenway Dr, Suite 200
 Annapolis, MD 21406
 Phone: 410-291-1100
 Fax: 410-291-1101
 Email: info@vicam.com

NO.	DESCRIPTION	DATE
A	DESIGN PERMIT SET	09/09/2024

SHEET TITLE: **COVER SHEET**

PROJECT DESCRIPTION: **1080 BROADVIEW DR, ANNAPOLIS, MD 21409**

DATE: **09/09/2024**

SCALE: **N/S**

SHEET: **G001**



LOT 26

LOT 27

LOT 28

N 51°24'28" E 229.80'

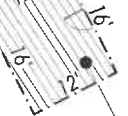
N 51°24'28" E 244.29'

±49.5'

S 40°45'15" E 59.62'

±78'

±10'



NEW SHED
12'-0" X 16'-0"
192 SQ FT

NEW CAR PORT
12'-0" X 34'-0"
411 SQ FT

MACADAM
DRIVEWAY

EXISTING
2 STORY
FRAME
#1080

EXISTING
DECK

EXISTING
DECK

BROADVIEW DRIVE
(40' R/W)

SITE PLAN
ESC.: 1:200

DRAWINGS PROVIDED BY:
VICOR
Vicor Construction, LLC
10000 Chesapeake Blvd, Suite 300
P.O. Box 10000
10000 Chesapeake Blvd, Suite 300
10000 Chesapeake Blvd, Suite 300

NO.	DESCRIPTION	BY	DATE
1.	DESIGN DEVELOPMENT		09/09/2024

SHEET TITLE:
SITE PLAN

PROJECT DESCRIPTION:
1080 BROADVIEW DR,
ANNAPOLIS, MD 21409

DATE:
09/09/2024

SCALE:
1:200

SHEET:
G002

STRUCTURAL NOTES

- A. ALL JOISTS, BEAMS AND POSTS SHALL BE SPRUCE-PINE-FIR NO.1/NO.2 PER "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, NFPA. ALL STUDS SHALL BE SPRUCE-PINE-FIR STUD-GRADE. ALL WOOD MEMBERS SHALL BE MANUFACTURED TO COMPLY WITH PS20 OF "AMERICAN SOFTWOOD LUMBER STANDARDS" AND SHALL HAVE 19% MAXIMUM MOISTURE CONTENT.
- B. MINIMUM MEMBER PROPERTIES SHALL BE AS FOLLOWS:
 - 1. WOOD LINTELS, JOISTS AND BEAMS
 - a. FLEXURE: Fb = 675 PSI
 - b. SHEAR: Fv = 135 PSI
 - c. MODULUS OF ELASTICITY = 1,400,000
 - 2. WALL STUDS: STUD GRADE
 - a. FLEXURE: Fb = 675 PSI
 - b. COMPRESSION PARALLEL: Fc = 1150 PSI
 - c. MODULUS OF ELASTICITY = 1,200,000
- C. ALL FRAMING EXPOSED TO WEATHER OR DESIGNATED "P.T." IS TO BE PRESSURE TREATED SOUTHER PINE NO.2 PER NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, NFPA. ALL WOOD MEMBERS SHALL BE MANUFACTURED TO COMPLY WITH PS20 OF "AMERICAN SOFTWOOD LUMBER STANDARDS". MINIMUM MEMBERS SHALL BE MANUFACTURED IN ACCORDANCE WITH TABLE 4B IN THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION".
- D. PROVIDE SIMPSON STRONG-TIE (OR APPROVED EQUAL) POST CAPS AT ALL BEAM-ON-POST BEARING LOCATIONS, U.N.O.
- E. ALL MULTIPLE MEMBERS ARE TO BE FASTENED TOGETHER WITH THE FOLLOWING NAILS AND SIMPSON SDS (STRONG-DRIVE SCREWS), USING THE FASTENER-TO-FASTENER SPACING NOTED WITHIN EACH ROW OF FASTENERS. ALL FASTENERS SHALL BE INSTALLED IN THE QUANTITY OF ROWS SPECIFIED, IN A STAGGERED PATTERN:

PILES	DEPTH	FASTENERS	SPACING	ROWS
(2) 1-1/2"	9'-12"	10d NAILS	12" O.C.	2
(2) 1-1/2"	14'-18"	10d NAILS	12" O.C.	3
(3) 1-1/2"	9'-12"	16d NAILS	16" O.C.	2*
(3) 1-1/2"	14'-18"	16d NAILS	16" O.C.	3*
(2) 1-3/4"	9'-12"	12d NAILS	12" O.C.	2
(2) 1-3/4"	14'-20"	12d NAILS	12" O.C.	3
(3) 1-3/4"	9'-12"	SDS 1/4x4 1/2	12" O.C.	2*
(3) 1-3/4"	14'-20"	SDS 1/4x4 1/2		3*

- * ALL TRIPLE AND -PLY MEMBERS SHALL BE FASTENED FROM BOTH SIDES WITH THE NUMBER OF ROWS AND FASTENERS SPECIFIED. SIDE-TO-SIDE SPACING SHALL ALSO BE STAGGERED.
- F. PROVIDE SOLID BLOCKING BETWEEN JOISTS AND RAFTERS AT ALL BEARING POINTS
- G. PROVIDE 1/4" GAGE JOIST HANGERS OR ANGLE CLIPS TO ALL JOIST CONNECTIONS WHERE THERE IS NO DIRECT BEARING SUPPORT.
- H. PROVIDE BRIDGING AT CENTER SPAN OF JOISTS OR INTERVALS NOT EXCEEDING 8 FEET.
- I. ALL MISCELLANEOUS WOOD CONNECTIONS SHALL BE FASTENED PER 2018 IBC, TABLE 2304.9.1 "FASTENING SCHEDULE."
- J. NAILS INDICATED IN THE DRAWINGS, DETAILS, AND NOTES SHALL BE DEFINED AS FOLLOWS: 8d = 0.131"x2.5", 10d = 0.148"x3", 16d = 0.162"x3.5". SUBSTITUTIONS FOR THESE NAIL SIZES SHALL BE SUBMITTED IN WRITING TO THE ENGINEER FOR APPROVAL.

- 1. ALL WORK AND MATERIALS TO COMPLY WITH THE REQUIREMENTS OF THE 2018 IRC CODES.
- 2. FOUNDATIONS: FOOTINGS, UNDERPINNING AND SLAB ON GRADES ARE DESIGNED TO BEAR ON NATIVE SOIL TYPE SM OR SC WITH AN ALLOWABLE BEARING PRESSURE OF 2000 PSF. A QUALIFIED SOIL-BEARING INSPECTOR PRIOR TO PLACEMENT OF CONCRETE SHALL VERIFY ALL BEARING VALUES.
- 3. LUMBER:
 - A. LUMBER SHALL BE SPF #2 WITH A MIN. FB=675PSI MIN. FV=135PSI AND MIN. E=1,400,000PSI.
 - B. LVL AND PSL SHALL HAVE A MIN. FB=2900PSI; FV=285PSI; E=2,000,000PSI.
 - C. FLOOR DECKING SHALL BE 3/4" APA RATED DECKING. ROOF DECKING SHALL BE 1/2" APA RATED DECKING. WALL SHEATHING SHALL BE 3/4" APA RATED SHEATHING, GLUE AND SCREW THE FLOOR DECKING TO THE JOISTS.
 - D. INTERIOR WOOD WALLS SHALL BE 2X4 STUDS AT 16" O.C. AND EXTERIOR WALLS SHALL BE 2X4 STUDS 16" O.C. WITH A DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE. PROVIDE SOLID BLOCKING AT THE MID-HEIGHT OF EACH WALL AND AT A MINIMUM OF 48" O.C. VERTICALLY.
 - E. PROVIDE DOUBLE JOISTS UNDER ALL WALLS THAT RUN PARALLEL TO FLOOR FRAMING.
 - F. NAIL ALL MULTIPLE MEMBERS TOGETHER PER THE MANUFACTURE'S RECOMMENDATIONS AND AT A MINIMUM USE 2-10D NAIL AT 6" O.C. STAGGER SIDES THAT NAIL ARE DRIVEN FROM.
 - G. PROVIDE BRIDGING AT CENTER OF ALL JOIST SPANS EXCEEDING 8'-0" AND AT 1/3 POINT OF ALL JOIST SPANS EXCEEDING 16'-0". PROVIDE SOLID BLOCKING AT ALL BEARING POINTS ON TOP OF WALLS OR BEAMS.
 - H. PROVIDE SOLID BLOCKING BELOW ALL WOOD POSTS.
 - I. ALL POSTS SHALL HAVE SIMPSON CAP AND BASE PLATE
 - J. ALL JOISTS SHALL HAVE SIMPSON HANGERS WHERE APPLICABLE.
 - K. GLUE ALL MULTIPLE STUDS TOGETHER, NAIL TOGETHER WITH 2-10D NAILS AT 3" O.C. STAGGER THE SIDES OF THE STUDS THAT THE NAILS ARE DRIVEN FROM.
 - L. ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE OR WITHIN 8' OF SOIL SHALL BE PRESSURE TREATED. ALL LUMBER TO CONFORM TO IRC R319 FOR PROTECTION AGAINST CORROSION AND TERMITE DAMAGE.
 - M. ALL LUMBER SHALL BE KILN DRIED. STORE LUMBER ON SITE IN SUCH A MANNER AS TO PREVENT THE SEEPAGE OF WATER INTO THE WOOD.
 - N. WOOD LINTELS SHALL BE AS FOLLOWS:
 - OPENING 6'-0" - 2-2X6
 - 3'-0" < OPENING 6'-0" - 2-2X8
 - 5'-0" < OPENING 6'-0" - 2-2X10
 - GREATER THAN 8'-0" - SEE PLANS

- 3. FASTENERS:
 - A. ALL PREFABRICATED ANGLES, BEARING PLATES, AND JOIST HANGERS SHALL BE INSTALLED PER THE MANUFACTURER RECOMMENDATIONS.
 - B. FOLLOW THE MANUFACTURER RECOMMENDATIONS FOR SETTING EPOXY BOLTS.
 - C. EXPANSION BOLTS SHALL BE RAWL POWER STUDS.
- 4. CAST IN PLACE CONCRETE:
 - A. CONCRETE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF ACI 318-11, "PART 3 - CONSTRUCTION REQUIREMENTS."
 - B. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3000PSI, UNO (UNLESS NOTED OTHERWISE).
 - C. ALL CONCRETE SHALL BE PLACED WITH A SLUMP OF 4" (102mm)
 - D. ALL CONCRETE SHALL BE NORMAL WEIGHT, UNO.
 - E. ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE 6% ±1% ENTRAINED AIR.
 - F. CONTRACTOR SHALL FOUR EXTRA CONCRETE TO ACCOUNT FOR THE DEFLECTION OF THE FORMWORK TO PROVIDE A FLAT FINISHED SURFACE.
 - G. CONCRETE COVER FOR REINFORCEMENT SHALL BE:
 - COLUMNS AND BEAMS 1 1/2"
 - SLABS 3/4"
 - FOOTINGS 3"

SOIL BEARING CAPACITY	
Design soil bearing pressure	2,000 psf
Design soil lateral pressure	45 pcf
CONCRETE COMPRESSIVE STRENGTH	
Basement Slab	3,500 psi
Foundation	3,000 psi

DRAWINGS PROVIDED BY:
VICOR
Design & Construction, LLC
10000 Greenway Blvd, Suite 200
Annapolis, MD 21409
(410) 293-5577

NO. DESCRIPTION	BY	DATE	REVISION
A. DESIGN PERMIT SET		06/09/2024	

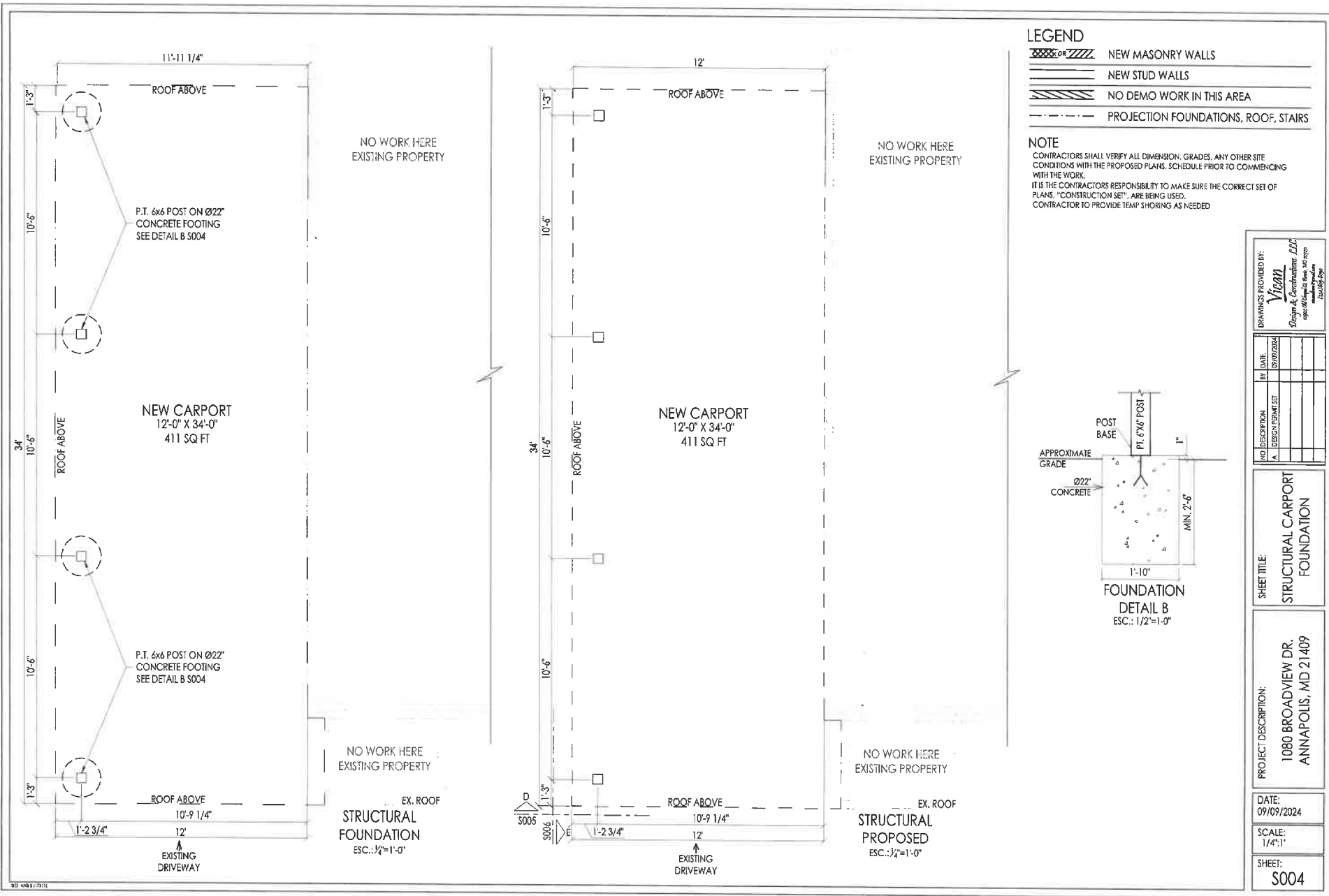
STRUCTURAL NOTES

PROJECT DESCRIPTION:
1080 BROADVIEW DR,
ANNAPOLIS, MD 21409

DATE:
09/09/2024

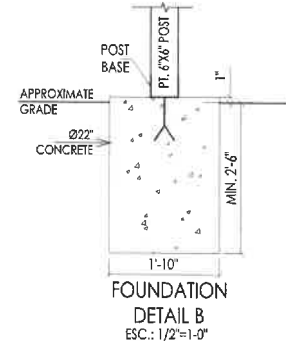
SCALE:
N/S

SHEET:
S001



- LEGEND**
- NEW MASONRY WALLS
 - NEW STUD WALLS
 - NO DEMO WORK IN THIS AREA
 - PROJECTION FOUNDATIONS, ROOF, STAIRS

NOTE
 CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS, SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
 IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, "CONSTRUCTION SET", ARE BEING USED.
 CONTRACTOR TO PROVIDE TEMP SHORING AS NEEDED



DRAWINGS PROVIDED BY:
VICAR
 Design & Construction, LLC
 1500 Old Chapel Rd, Suite 202
 Annapolis, MD 21403
 (410) 293-5299

NO.	DESCRIPTION	BY	DATE
A.	DESIGN PERMITS SET		08/09/2024

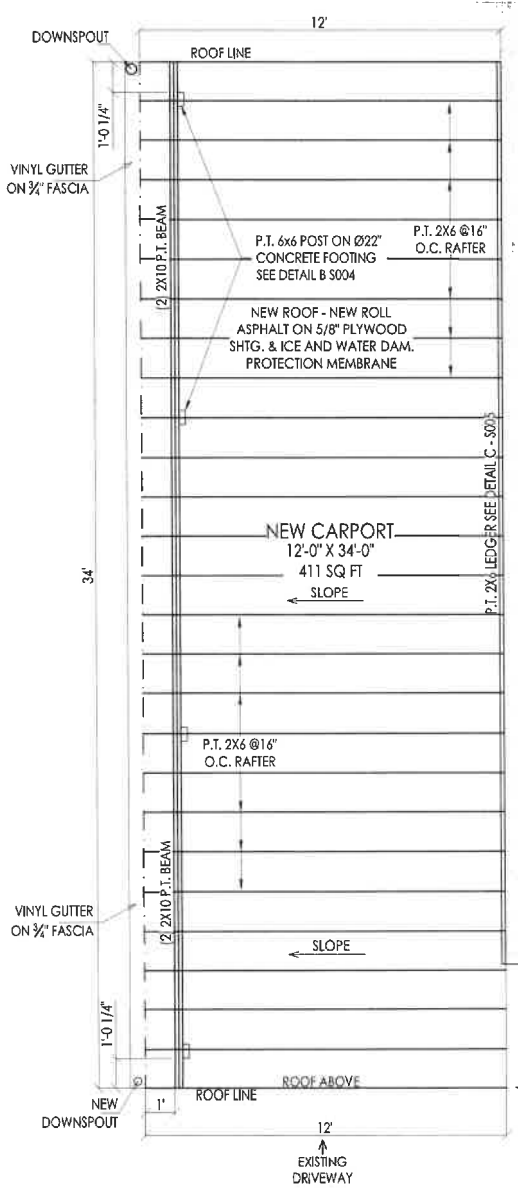
SHEET TITLE:
STRUCTURAL CARPORT FOUNDATION

PROJECT DESCRIPTION:
 1080 BROADVIEW DR,
 ANNAPOLIS, MD 21409

DATE:
 09/09/2024

SCALE:
 1/4"=1'

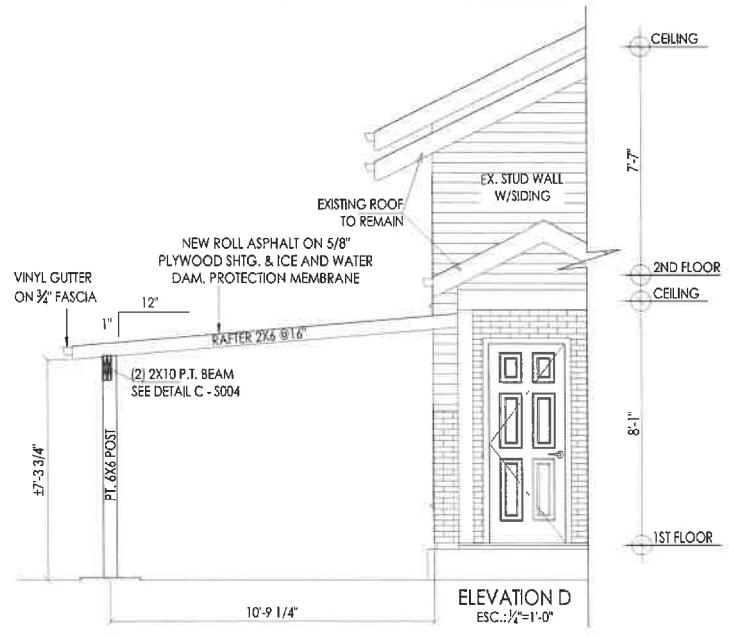
SHEET:
S004



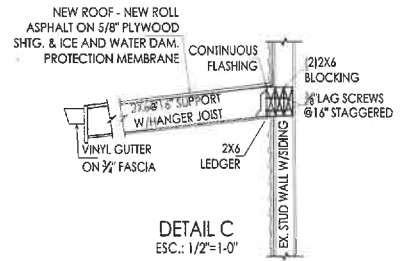
NO WORK HERE
EXISTING PROPERTY

NO WORK HERE
EXISTING PROPERTY

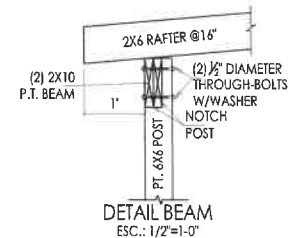
EX. ROOF
**STRUCTURAL
ROOF FRAMING**
ESC.: 1/4"=1'-0"



ELEVATION D
ESC.: 1/4"=1'-0"



DETAIL C
ESC.: 1/2"=1'-0"



DETAIL BEAM
ESC.: 1/2"=1'-0"

LEGEND

- NEW MASONRY WALLS
- NEW STUD WALLS
- NO DEMO WORK IN THIS AREA
- PROJECTION FOUNDATIONS, ROOF, STAIRS

NOTE

CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS. SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, "CONSTRUCTION SET", ARE BEING USED.
CONTRACTOR TO PROVIDE TEMP SHORING AS NEEDED

DRAWINGS PROVIDED BY:
Vicom
Design & Construction, LLC
www.vicominc.com

NO.	DESCRIPTION	BY	DATE

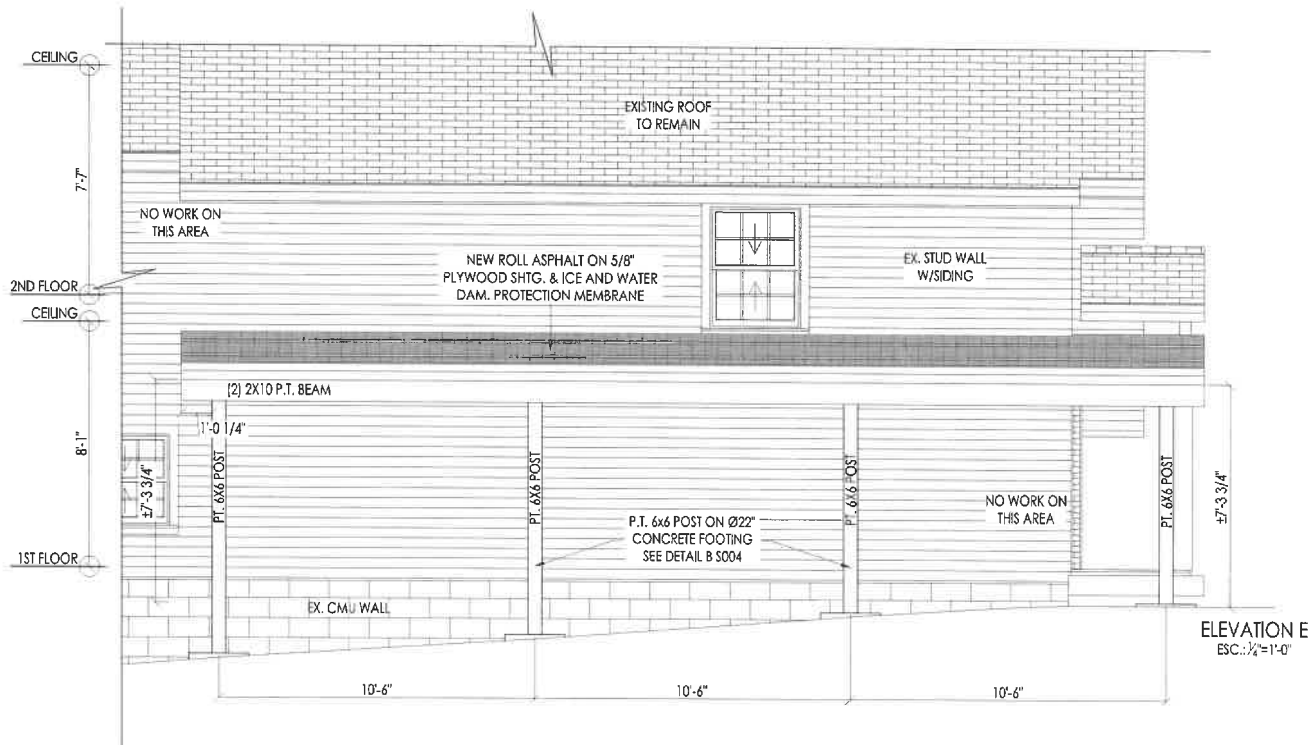
SHEET TITLE:
**STRUCTURAL CARPORT
ROOF PLAN
ELEVATION D**

PROJECT DESCRIPTION:
**1080 BROADVIEW DR.
ANNAPOLIS, MD 21409**

DATE:
09/09/2024





SCALE:
1/4"=1'

SHEET:
S005



ELEVATION E
ESC.: 1/2"=1'-0"

LEGEND

-  NEW MASONRY WALLS
-  NEW STUD WALLS
-  NO DEMO WORK IN THIS AREA
-  PROJECTION FOUNDATIONS, ROOF, STAIRS

NOTE

CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS, SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, "CONSTRUCTION SET", ARE BEING USED.
CONTRACTOR TO PROVIDE TEMP SHORING AS NEEDED

DRAWINGS PROVIDED BY:
VICAR
Design & Construction, LLC
8750 Annapolis Lane, 21076
annapolis@vicar.com
410.429.5959

NO.	DESCRIPTION	BY	DATE
1.	DESIGN PERMITS SET		06/09/2024

SHEET TITLE:
**STRUCTURAL CARPORT
ELEVATION E**

PROJECT DESCRIPTION:
**1080 BROADVIEW DR,
ANNAPOLIS, MD 21409**

DATE:
09/09/2024

SCALE:
1/4" = 1'

SHEET:
S006