

Variance Request: Letter of Explanation

October 23, 2024

From:

Carlos M. Gonzalez  
7908 Caldwell Court  
Pasadena, MD 21122

To:

Office of Planning and Zoning  
Anne Arundel County, MD

To Whom It May Concern,

I, Carlos M. Gonzalez, the current property owner of 7908 Caldwell Court, Pasadena, MD 21122, respectfully request a variance to the R5 Zoning Rear Setback requirement for the construction of a screened back porch. The minimum rear setback requirement for R5 zoning is 20 feet. The current rear setback for the existing house is 22 feet. Upon completion of the porch, the rear setback will be 12 feet. Disturbed area will be approximately 150 square feet. Permit request for this construction can be found online on the Anne Arundel County Land Use Navigator – Record B02430359.

A variance to the setback requirement is required for the construction of a new screened back porch on a 10 feet by 15 feet concrete slab on grade and extending parallel to the back of the existing house. The construction will require minimum grade alterations for slab footings. No other alterations will be required since the preexisting grade is flat, compacted and cleared from any vegetation. Throughout the project execution, and upon completion, the porch construction will not alter the essential character of the neighborhood or district; will not impair the use of any adjacent property; will not require any disturbance of any vegetation or conservation areas; will not be detrimental to the public welfare.

The construction of the porch will allow for family gatherings while preventing exposure to potentially harmful insects, pests, and animals. Consequently, it will greatly improve quality of live by allowing family morale and welfare activities within our home.

Should you have any questions, please contact me via phone (850) 346-1922 or email [cmgonz3@gmail.com](mailto:cmgonz3@gmail.com)

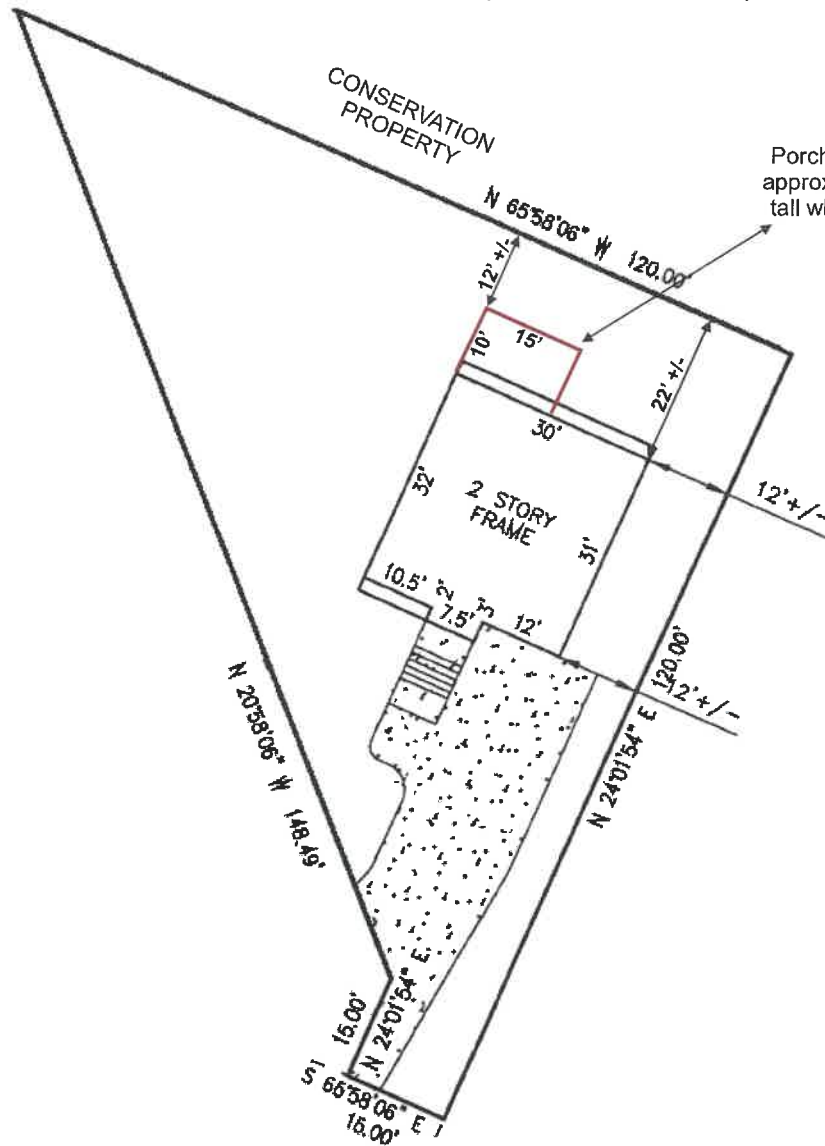


Carlos M. Gonzalez

7908 Caldwell Court  
Pasadena, MD 21122

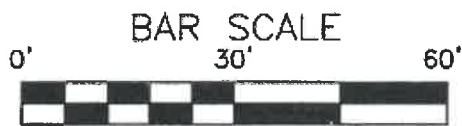
### SITE PLAN

Proposed Addition  
(Enclosed Porch)

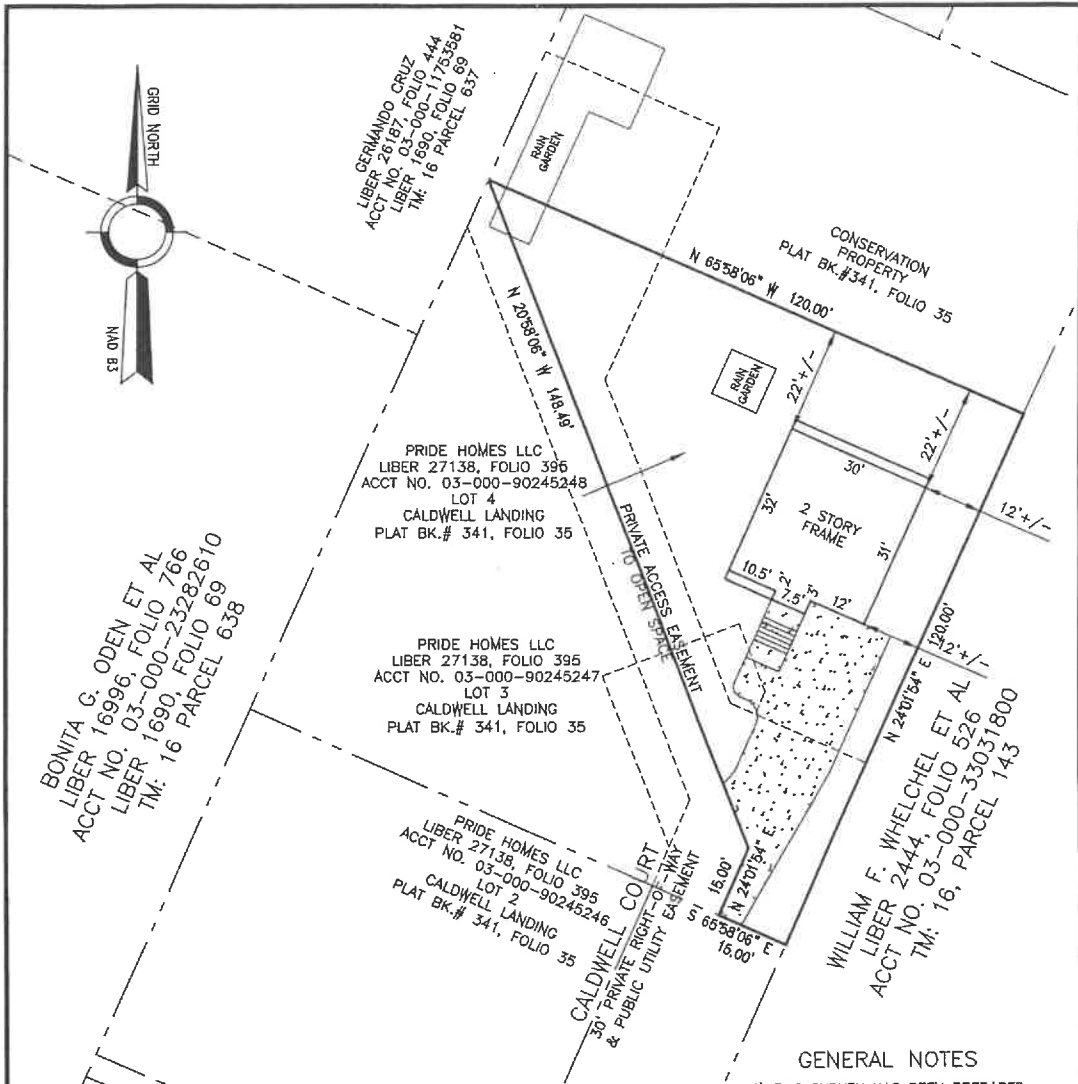


Porch height will be one story tall, approximately 9 feet 4 inches (9'4") tall when measured from grade to roof top.

> Requesting construction of new screened porch on a 10 feet by 15 feet (10'x15') concrete slab on grade, extending parallel from the back of the house. The porch height will be one story tall at about 9 feet 4 inches (9'4") tall from grade. Disturbed area will be approximately 150 square feet.



- = Construction / LOD
- = CONCRETE

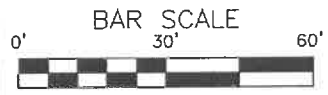


**GENERAL NOTES**

- 1) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A FORMAL TITLE REPORT, EASEMENTS, RIGHTS-OF-WAY AND OTHER RESTRICTIONS MAY AFFECT THIS PROPERTY AND NOT BE SHOWN.
- 2) THE INFORMATION SHOWN HEREON IS BASED ON THE DEEDS AND PLATS OF RECORD AS INDEXED IN THE PROPERTY CADASTRE OF ANNE ARUNDEL COUNTY, MARYLAND. BEARINGS SHOWN HEREON ARE REFERENCED TO NAD 83.
- 3) THIS SURVEY DOES NOT ADDRESS WETLANDS, CONTAMINATED WASTE OR TOXIC SOIL CONDITIONS, NOR HAVE ANY REPORTS, STUDIES OR INFORMATION REGARDING SUCH BEEN PROVIDED
- 4) THE IMPROVEMENTS SHOWN HEREON WERE FIELD LOCATED ON MAY 17, 2017.
- 5) NOTE THIS DRAWING NOT VALID WITHOUT ORIGINAL SEAL AND SIGNATURE.



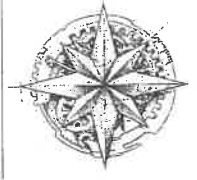
JESSICA A. KING  
MD REG. #21684  
EXP. 12/14  
MAY 17, 2017



= CONCRETE

THIS IS TO CERTIFY THAT THIS PLAT WAS MADE IN ACCORDANCE WITH COMAR 09.13.06.10 MINIMUM STANDARDS AND PROCEDURES FOR A SPECIAL PURPOSE SURVEY. THE VISIBLE IMPROVEMENTS ARE SHOWN TO A TOLARANCE OF 1 FOOT MORE OR LESS.

FINAL LOCATION DRAWING OF  
LOT 4  
**CALDWELL LANDING**  
CALDWELL CT. PASADENA, MD 21122  
TAX MAP:16 PART OF PARCEL:142  
THIRD ELECTION DISTRICT  
ANNE ARUNDEL COUNTY, MARYLAND



**King's Point Surveys**  
8019 Long Hill Rd.  
Pasadena, MD 21122  
410-255-1378 [jkings@kingspointsurveys.com](mailto:jkings@kingspointsurveys.com)

DRAWN: JAK
CHECKED: JAK
DATE: 05-17-17
JOB #
SCALE: 1"=30'
SHEET: 1 OF 1

7908 Caldwell Court  
Pasadena, MD 21122

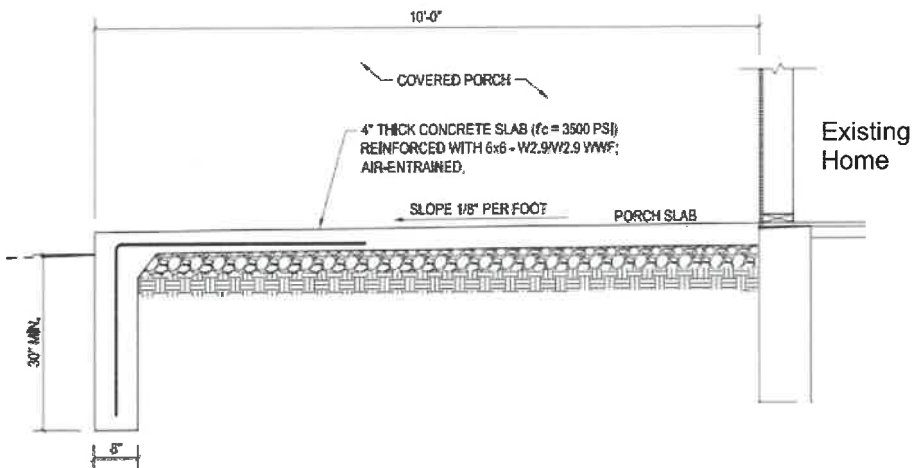
## CONSTRUCTION PLAN

### Proposed Addition (Enclosed Porch)



#### Screened Porch

- 2 X 12 Ledger Bolted to House
- Lag bolts spaced 16" on center
- Asphalt Shingles / Felt Paper
- 1/2" Plywood Sheathing
- 2 X 10 Rafters (16" on center)
- Facia
- 2 X 10 Heather Beam
- Top Plates
- 4 X 4 Support Posts
- 2 X 4 Frame
- Screen / Mesh



#### Concrete Slab

- 10' X 15' parallel, behind home.
- 4" thick with footings.
- On Grade, compacted.