

**FINDINGS AND RECOMMENDATION
OFFICE OF PLANNING AND ZONING
ANNE ARUNDEL COUNTY, MARYLAND**

APPLICANTS: Paul & Alexa Bryan

ASSESSMENT DISTRICT: 1

CASE NUMBER: 2024-0193-V

COUNCILMANIC DISTRICT: 5

HEARING DATE: January 9, 2025

PREPARED BY: Joan A. Jenkins
Planner III



REQUEST

The applicants are requesting a variance to allow a dwelling addition (carport) with less setbacks than required on property located at 1080 Broadview Drive in Annapolis.

LOCATION AND DESCRIPTION OF SITE

The subject property has an area of approximately 14,280 square feet and is located with 60 feet of road frontage on the northeast side of Broadview Drive, southeast of Pine Tree Drive. The site is known as Lot 27 on Tax Map 40, Grid 6, on Parcel 25 in Block T of the Cape St. Claire subdivision.

This property is zoned R5-Residential District and is a nonwaterfront lot in the LDA - Limited Development Area of the Critical Area Overlay. The property is currently improved with a split foyer single-family detached dwelling. The property is served by a private well and public sewer service.

PROPOSAL

The applicants seek to construct a carport (12 feet wide by 34 feet deep) with a sloped roof attached to the existing dwelling. The carport height will vary due to the slope of the property from front to back.¹

REQUESTED VARIANCE

§18-4-601 of the Anne Arundel County Code requires that a principal structure in an R5 District shall be set back a minimum of seven feet from the side lot line. The proposed carport will be 3.1 feet from the northwest side lot line requiring a variance of 4 feet.

FINDINGS

This nearly rectangular-shaped property meets the width requirement for the R5 District, however, is more than double the size of the minimum area requirement. According to State Tax

¹ The site plan also shows a proposed shed. The shed is not part of the variance.

Assessment records the house was built in 1977. This is a developed lot where the location of the existing structure centered on the lot presents a difficulty in developing the lot to the side without a variance.

The applicants write that the need for the carport arises from the desire to shelter vehicles, specifically electric cars, and to allow exit and entry to the vehicles under cover.

A review of the County aerial photograph from 2024 and a stroll through the neighborhood via Google Street View shows an eclectic mix of houses typically on single lots. The houses on the same side of the street are on similar-sized lots. Carports are not a common feature of the houses in the neighborhood. There appear to be some homes with integrated garages; one built in 2014 and the other on a wider lot.

While each case must stand on its own merit, one variance case was found nearby for 1071 Broadview Drive. Case number 2005-0087-V was denied for a carport addition one foot from the side lot line.

The **Health Department** commented that they require additional information on the type and location of the water supply well and the neighboring water supply well at 1078 Broadview Drive.

For the granting of a zoning variance, a determination must be made as to whether because of certain unique physical conditions peculiar to and inherent in the particular lot or because of exceptional circumstances other than financial considerations the grant of a variance is necessary to avoid practical difficulties or unnecessary hardship and to enable the applicant to develop the lot. Variances should only be granted if in strict harmony with the spirit and intent of the zoning regulations and only in such a manner as to grant relief without substantial injury to the public health, safety and general welfare. The need sufficient to justify a variance must be substantial and urgent and not merely for the convenience of the applicant. The lot meets the zoning bulk regulations, there is nothing unique about the lot, and the lot has been developed with a dwelling. Neither charging ports nor electric vehicles are required to be covered during charging.

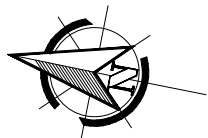
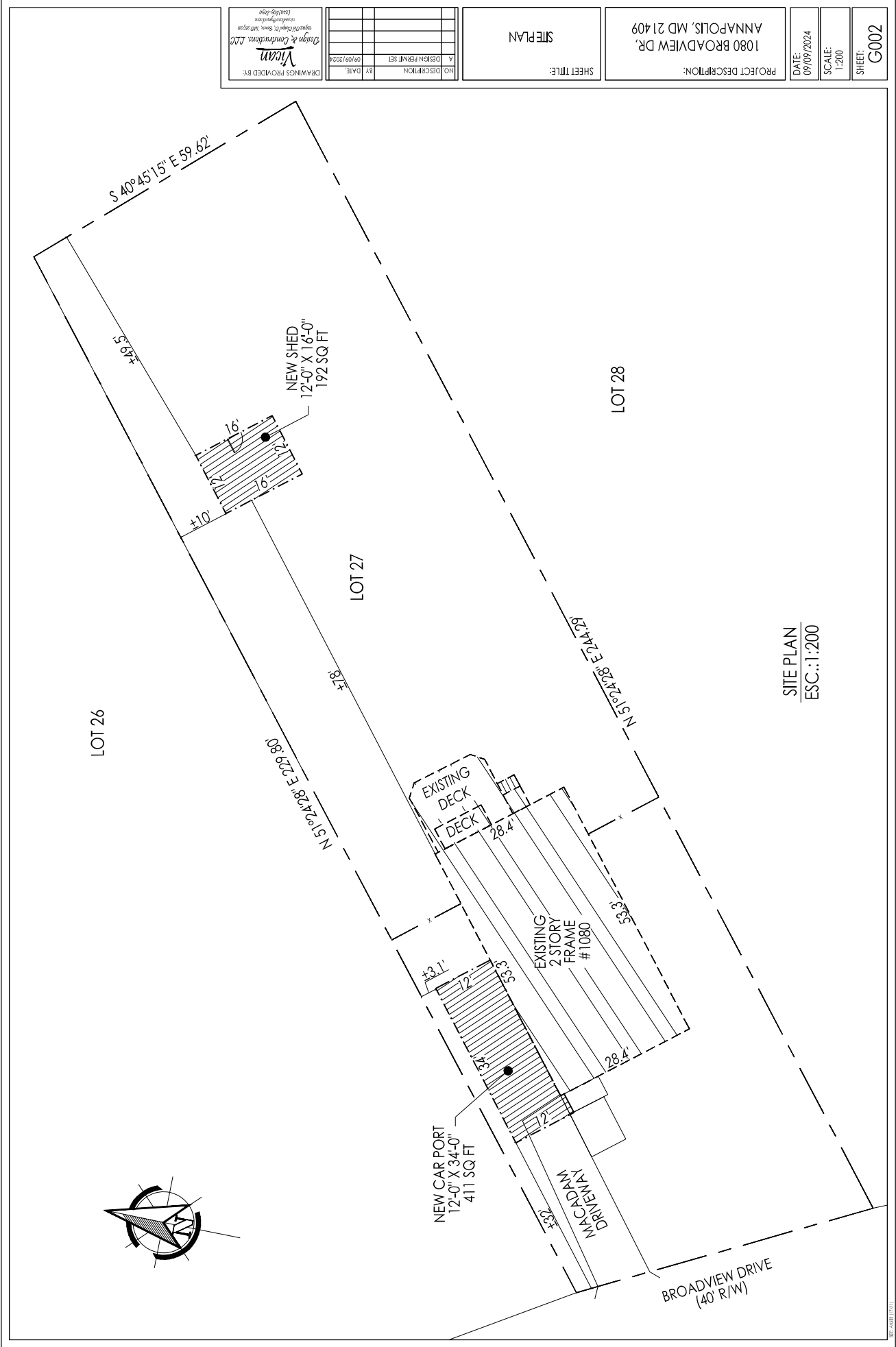
Approval of the variance may alter the essential character of the neighborhood as carports are not common in the area, but also because approval of the variance would set a precedent of structures within the setbacks in the neighborhood. Approval of the variance will not impair the appropriate use or development of the adjacent property as the neighboring property has already been developed with a dwelling. The adjacent neighbor submitted a letter in support of the carport. The variance will not be contrary to acceptable clearing and replanting practices and will not be detrimental to the public welfare.

The proposed carport would be 34 feet long and located 3 feet from the side lot line. While 3 feet is enough distance for construction and maintenance of the structure entirely on the subject property, a 34-foot long structure is deeper than necessary for parking a car. There is no reason that an electric car or the charging port needs to be covered. Because the variance is unwarranted and unnecessary the variance request can not be considered to be the minimum necessary to afford relief.

RECOMMENDATION

With regard to the standards by which a variance may be granted as set forth under § 18-16-305 of the County Code, the Office of Planning and Zoning recommends ***denial*** of the variance requested.

DISCLAIMER: This recommendation does not constitute a building permit. In order for the applicant(s) to construct the structure(s) as proposed, the applicant(s) shall apply for and obtain the necessary building permits, and obtain any other approvals required to perform the work described herein. This includes but is not limited to verifying the legal status of the lot, resolving adequacy of public facilities, and demonstrating compliance with environmental site design criteria.



| | | | |
|-----|-------------------|----|------------|
| NO. | DESCRIPTION | BY | DATE |
| 1 | DESIGN PERMIT SET | | 09/09/2024 |

SHEET TITLE:
SITE PLAN

PROJECT DESCRIPTION:
1080 BROADVIEW DR,
ANNAPOLIS, MD 21409

DATE:
09/09/2024

SCALE:
1:200

SHEET:
G002

DRAMINGS PROVIDED BY:
Vicam
Vicam & Associates, LLC
10000 Greenleaf Way, Suite 200
Annapolis, MD 21409
Tel: 410-293-9999

SITE PLAN
ESC.: 1:200

LETTER OF EXPLANATION

We would like to apply for a variance in the side yard set back requirement for our attached carport. The reasons why we think that a variance is necessary are:

1. The property is very narrow. It is only 60' wide. The house is approximately 28' wide, which leaves only 16' on each side. We believe that a 4' setback is needed. The minimum carport width necessary to allow a car to park in it and open the doors under cover is 12' wide. This is what we would like to build. We are proposing a long, narrow carport to cover our two cars, instead of a more traditional wider carport that allowed the cars to park side by side.
2. We believe that putting the carport at the end of the existing driveway is the best spot. The extreme sloping of the front and rear yards precludes us from positioning it anywhere else.
3. We have spoken with our neighbor, Jose Ramos Roman, and he has written a letter stating that he does not have any issues with it being built there. I will include the letter.
4. We have also submitted a proposal with the board of the Cape St. Claire Improvement Association and they have approved our plan pending approval of the county. I will include their certificate of approval.
5. Our carport is needed because we have two electric cars that require a covered car charging station for extra safety.
6. Our carport is also needed because it would help protect our cars from the weather. And it would allow us to enter and exit the vehicles under cover as we are both senior citizens.

Thank you,

Paul and Alexa Bryan

GENERAL NOTES

CONSTRUCTION SHALL CONFORM TO ALL CODES AND REGULATIONS HAVING JURISDICTION IN DISTRICT OF ANNE ARUNDEL COUNTY.
 ALL TRADES PERFORMING WORK SHALL MEET OR EXCEED CODE REQUIREMENTS WITH REGARD TO MATERIALS, CONSTRUCTION, AND INSTALLATION METHODS.

ALL TRADE (PLUMBING, ELECTRICAL AND MECHANICAL) DWGS ARE SCHEMATIC EACH APPLICABLE CONTRACTOR TO INTRODUCE NEW WORK AND THE ITO EX. WHERE APPROPRIATE IN MOST EFFICIENT MANNER WHILE COMPLYING WITH ALL CODES.

THESE DRAWINGS HAVE BEEN DEVELOPED IN COORDINATION WITH PROJECT SPECIFICATIONS. THE DRAWINGS AND SPECIFICATIONS SHALL BE USED TO COMPLEMENT EACH OTHER.

REVIEW CONTRACT DOCUMENTS AND FIELD DIMENSIONS AND CONDITIONS. CONFIRM THAT WORK IS BUILDABLE AS SHOWN. PROMPTLY REPORT ANY ERRORS, CONFLICTS, OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION. IF THE CONTRACTOR FAILS TO NOTIFY ARCHITECT OF A KNOWN NONCONFORMITY, THEN THE CONTRACTOR IS TO PAY SUCH COSTS AND DAMAGES TO THE OWNER AS WOULD HAVE BEEN AVOIDED IF NOTIFICATION HAD BEEN PERFORMED.

COORDINATE WORK WITH THE OWNER/TENANT, INCLUDING SCHEDULING TIME AND

LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.

CONTRACTOR SHALL ENSURE THAT CONTRACTOR EMPLOYEES AND SUBCONTRACTORS SHALL COMPLY WITH ALL BUILDING RULES AND REGULATIONS.

OWNER WILL PROVIDE WORK NOTED 'BY OTHERS' OR 'NIC' UNDER SEPARATE CONTRACT.

INCLUDE THESE IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
 COORDINATE WITH TELECOMMUNICATIONS, DATA, AND SECURITY SYSTEM INSTALLATION.

MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.

WORK AREAS TO BE SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY.

PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
 DURING CONSTRUCTION, EACH TRADE SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THEIR WORK.

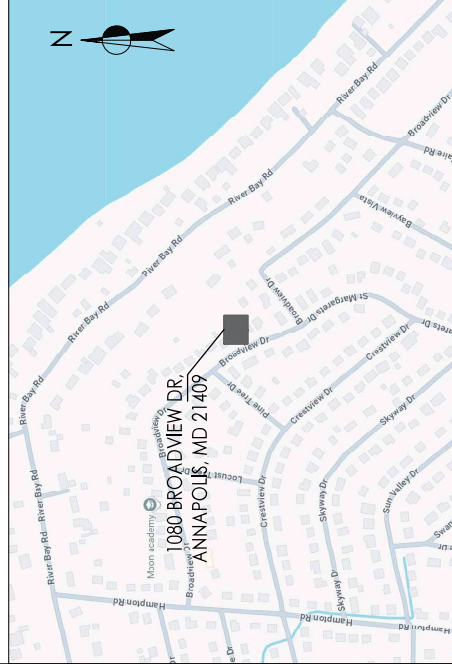
OWNER INFORMATION
 1080 BROADVIEW DR.
 ANNAPOLIS, MD 21409
PROPERTY INFORMATION

EXISTING CONDITION
 2 STORY
 SQUARE: 3552 SF
 JURISDICTION: ANNE ARUNDEL COUNTY
 LOT: 0.33 ACRES
 BUILT: 1977
 PARCEL #: 020316590010634
 ZONING: R5

PROPOSED
 • NEW CARPORT
 • NEW SHED

PROJECT: NEW CARPORT AND SHED

VICINITY MAP



REVISIONS

| No. | DESCRIPTION | DATE | BY |
|-----|-------------------|------------|----|
| A | DESIGN PERMIT SET | 09/09/2024 | |
| | | | |
| | | | |
| | | | |
| | | | |

APPLICABLE CODES
 ANNE ARUNDEL COUNTY
 INTERNATIONAL BUILDING CODE / 2021
 INTERNATIONAL EXISTING BUILDING CODE (IEBC) / 2021

IRC 2021 DESIGN CRITERIA

| | |
|---------------------------|--------------------|
| FLOOR LIVE LOAD | 40 sfl |
| ROOF LIVE LOAD | 30 sfl |
| DEAD LOADS | 10 sfl |
| GROUND SNOW LOAD | 25 sfl |
| WIND SPEED EXPOSURE | 115 mph |
| SEISMIC DESIGN CATEGORY | Category A |
| WEATHERING | Severe |
| FROST LINE DEPTH | 24" |
| TERMITE AREA | Moderate to Heavy |
| DECAY AREA | Slight to Moderate |
| WINTER DESIGN TEMPERATURE | 17 F |
| ICE SHIELD UNDERLAYMENT | Yes, Required |
| FLOOD HAZARD | 03/05/1990 |
| AIR FREEZING INDEX | <=1500FF |
| MEAN ANNUAL TEMPERATURE | 50 F |

DRAWING INDEX

| | |
|------|--|
| G001 | COVER SHEET |
| G002 | SITE PLAN |
| S001 | STRUCTURAL NOTES |
| S002 | STRUCTURAL - SHED |
| S003 | STRUCTURAL - DETAILS |
| S004 | STRUCTURAL CARPORT - FOUNDATION |
| S005 | STRUCTURAL CARPORT - ROOF PLAN ELEVATION D |
| S006 | STRUCTURAL CARPORT - ELEVATION E |

SCOPE WORK

- NEW CARPORT 12'-0" X 34'-0"
- NEW SHED 12'-0" X 16'-0"

COVER SHEET

PROJECT DESCRIPTION:
 1080 BROADVIEW DR.
 ANNAPOLIS, MD 21409

DATE:
 09/09/2024

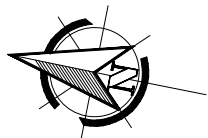
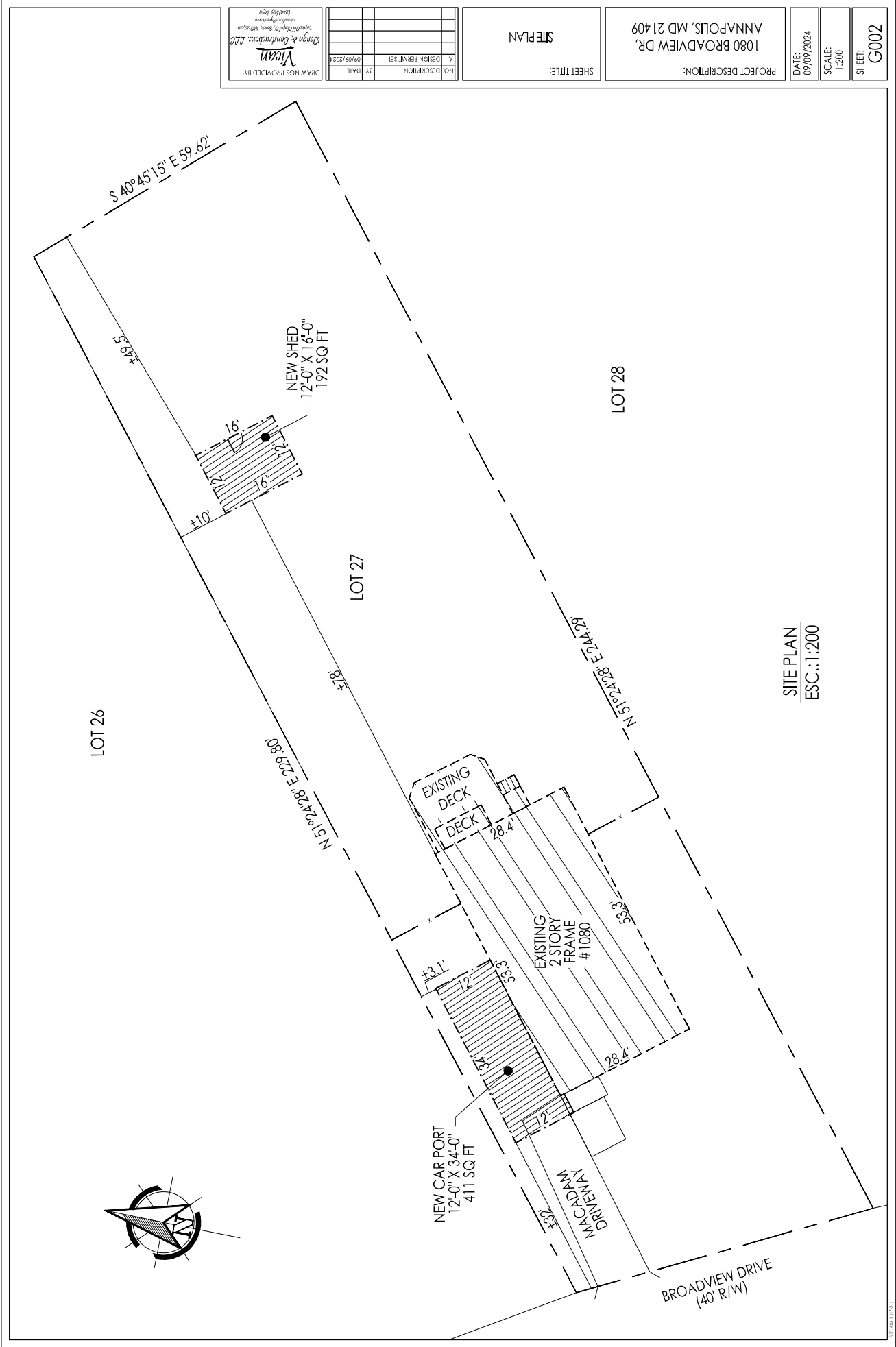
SCALE:
 N/S

SHEET:
 G001

| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------|----|------------|
| A | DESIGN PERMIT SET | | 09/09/2024 |

DRAWINGS PROVIDED BY:

 Vicam
 Virginia & Connecticut, LLC
 15000-0908
 15000-0908



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|-----|-------------------|----|------------|
| NO. | DESCRIPTION | BY | DATE |
| 1 | DESIGN PERMIT SET | | 09/09/2024 |

SHEET TITLE:
SITE PLAN

PROJECT DESCRIPTION:
1080 BROADVIEW DR,
ANNAPOLIS, MD 21409

DATE:
09/09/2024

SCALE:
1:200

SHEET:
G002

SITE PLAN
ESC.: 1:200

STRUCTURAL NOTES

- A. ALL JOISTS, BEAMS AND POSTS SHALL BE SPRUCE-PINE-FIR NO.1/NO.2 PER NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION. NFPA, ALL STUDS SHALL BE SPRUCE-PINE-FIR STUD-GRADE. ALL WOOD MEMBERS SHALL BE MANUFACTURED TO COMPLY WITH PS20 OF "AMERICAN SOUTHWEST WOOD LUMBER STANDARDS" AND SHALL HAVE 1% MAXIMUM MOISTURE CONTENT.
- B. MINIMUM JOIST, BEAM, POST, AND BEAM SIZES SHALL BE AS FOLLOWS:
- WOOD JOIST: 12" x 16"
 - WOOD BEAM: 12" x 24"
 - WOOD POST: 12" x 12"
 - WOOD STUD: 12" x 12"
- C. MODULUS OF ELASTICITY = 1,400,000
- D. WALL STUDS: STUD GRADE
- E. FLEURE: $F_b = 675 \text{ PSI}$
- F. MODULUS OF ELASTICITY: $E_c = 11,300 \text{ PSI}$
- G. COMPRESSION PARALLEL: $F_c = 1,200,000$
- H. ALL FRAMING EXPOSED TO WEATHER OR DESIGNATED "P.T." IS TO BE PRESSURE TREATED SOUTHER PINE NO.2 PER NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, NFPA. ALL WOOD MEMBERS SHALL BE MANUFACTURED TO COMPLY WITH PS20 OF "AMERICAN SOUTHWEST WOOD LUMBER STANDARDS". MINIMUM MEMBERS SHALL BE SPECIFICATION FOR WOOD CONSTRUCTION.
- I. PROVIDE SIMPSON STRONG-TIE (OR APPROVED EQUAL) POST CAPS AT ALL BEAM-ON-POST BEARING LOCATIONS. LULU.
- J. ALL MULTIPLE MEMBERS ARE TO BE FASTENED TOGETHER WITH THE FOLLOWING: NAILS AND SIMPSON SDS (BROWN-DRIVE SCREWS). USING THE FASTENER/FASTENER SPACING NOTED WITHIN EACH FOOT OF FASTENERS. ALL FASTENERS SHALL BE INSTALLED IN THE QUANTITY OF ROWS SPECIFIED, IN A STAGGERED PATTERN.
- | PILES | DEPTH | FASTENERS | SPACING | ROWS |
|----------|---------|--------------------------|----------|------|
| [1]-1/2" | 9'-12" | 10d NAILS | 12" O.C. | 2 |
| [2]-1/2" | 14'-18" | 10d NAILS | 12" O.C. | 3 |
| [3]-1/2" | 9'-12" | 16d NAILS | 16" O.C. | 2* |
| [3]-1/2" | 14'-18" | 16d NAILS | 16" O.C. | 3* |
| [2]-3/4" | 9'-12" | 12d NAILS | 12" O.C. | 2 |
| [2]-3/4" | 14'-20" | 12d NAILS | 12" O.C. | 3 |
| [3]-3/4" | 9'-12" | SDS $\frac{1}{4}$ " x 4" | 12" O.C. | 2* |
| [3]-3/4" | 14'-20" | SDS $\frac{1}{4}$ " x 4" | 12" O.C. | 3* |
- *ALL TRIPLE AND-PLY MEMBERS SHALL BE FASTENED FROM BOTH SIDES WITH THE NUMBER OF ROWS AND-PLY MEMBERS SPECIFIED. SIDE-SIDE SPACING SHALL ALSO BE STAGGERED.
- K. PROVIDE 16 GAGE JOIST HANGERS OR ANGLE CLIPS TO ALL JOIST CONNECTIONS WHERE THERE IS NO DIRECT BEARING SUPPORT.
- L. PROVIDE BRIDGING AT CENTER SPAN OF JOISTS OR INTERVALS NOT EXCEEDING 8 FEET.
- M. ALL MISCELLANEOUS WOOD CONNECTIONS SHALL BE FASTENED PER 2018 IBC, TABLE 2304.9.1
- N. FASTENING SCHEDULE:
- O. NAILS INDICATED IN THE DRAWINGS, DETAILS, AND NOTES SHALL BE DEFINED AS FOLLOWS: 6d = 0.1318 x 2.25 = 1.04" $F_u = 0.1420 \times 3.5 = 0.1420 \times 3.5$. SUBSTITUTIONS FOR THESE NAIL SIZES SHALL BE SUBMITTED IN WRITING TO THE ENGINEER FOR APPROVAL.

- ALL WORK AND MATERIALS TO COMPLY WITH THE REQUIREMENTS OF THE 2018 IRC CODES.
- FOUNDATIONS: FOOTINGS, UNDERPINNING AND SLAB ON GRADES ARE DESIGNED TO BEAR ON NATIVE SOIL TYPE SM OR SC WITH AN ALLOWABLE BEARING PRESSURE OF 2000 PSF. A QUALIFIED SOIL-BEARING INSPECTOR PRIOR TO PLACEMENT OF CONCRETE SHALL VERIFY ALL BEARING VALUES.
- LUMBER:
 - LUMBER SHALL BE SPT #2 WITH A MIN. FB=875PSI MIN. FV=1335PSI AND MIN. ES=1400,000PSI.
 - LVL AND PSL SHALL HAVE A MIN. FB=900PSI FV=765PSI E=2,000,000PSI.
 - FLOOR DECKING SHALL BE #4 APA RATED DECKING. ROOF DECKING SHALL BE #4 APA RATED DECKING. WALL SHEATHING SHALL BE #4 APA RATED SHEATHING. GLUE AND SCREW THE FLOOR DECKING TO THE JOISTS.
 - INTERIOR WOOD WALLS SHALL BE 2X4 STUDS AT 16" O.C. AND EXTERIOR WALLS SHALL BE 2X4 STUDS 16" O.C. WITH A DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE. PROVIDE SOLID BLOCCING AT THE MIDTHIGHT OF EACH WALL AND AT A MINIMUM OF 48" O.C. VERTICALLY.
 - PROVIDE DOUBLE JOISTS UNDER ALL WALLS THAT RUN PARALLEL TO FLOOR FRAMING.
 - NAIL ALL MULTIPLE MEMBERS TOGETHER PER THE MANUFACTURER'S RECOMMENDATIONS AND AT A MINIMUM USE 2-10D NAIL AT 6" O.C. STAGGER SIDES THAT NAIL ARE DRIVEN FROM.
 - PROVIDE BRIDGING AT CENTER OF ALL JOIST SPANS EXCEEDING 8'-0" AND AT 1/3 POINT OF ALL JOIST SPANS EXCEEDING 16'-0". PROVIDE SOLID BLOCCING AT ALL BEARING LOCATIONS.
 - PROVIDE SOLID BLOCCING BELOW ALL WOOD POSTS.
 - ALL POSTS SHALL HAVE SIMPSON CAP AND BASE PLATE.
 - GLUE ALL MULTIPLE STUDS TOGETHER. NAIL TOGETHER WITH 2-10D NAILS AT 3" O.C.
 - STAGGER THE SIDES OF THE STUDS THAT THE NAILS ARE DRIVEN FROM.
 - ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE OR WITHIN 8" OF SOIL SHALL BE PRESSURE TREATED. ALL LUMBER TO CONFORM TO IRC R319 FOR PROTECTION AGAINST CORROSION AND TERMITE DAMAGE.
 - ALL LUMBER SHALL BE KILN DRIED, STORE LUMBER ON SITE IN SUCH A MANNER AS TO PREVENT THE SEEPAGE OF WATER INTO THE WOOD.
 - WOOD LINES SHALL BE AS FOLLOWS:
 - OPENING SIZE: 2-2 1/2" - 2-3/8"
 - 5'-0" x CORING: 30'-0" - 32'0"
 - GREATER THAN 6'-0" - SEE PLANS

- CAST IN PLACE CONCRETE:
 - CONCRETE CONTRIBUTION SHALL BE IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF ACI 318.1 PART 3 - CONSTRUCTION REQUIREMENTS.
 - CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI UNLESS NOTED OTHERWISE.
 - ALL CONCRETE SHALL BE PLACED WITH A SLUMP OF 4" (±1)
 - ALL CONCRETE SHALL BE NORMAL WEIGHT LUMP.
 - CONTRACTOR SHALL POUR EXTRA CONCRETE TO ACCOUNT FOR THE DEFLECTION OF THE FORMWORK TO PROVIDE A FLAT FINISHED SURFACE.
 - CONCRETE COVER FOR REINFORCEMENT SHALL BE:
 - COLUMNS AND BEAMS: 1 1/2"
 - SLABS: 3/4"
 - FOOTINGS: 3"

DRAMINCS PROVIDED BY:
Vicini
 Design & Construction, LLC
 10000 Woodloch Forest Lane, Suite 100
 Columbia, MD 21046
 (410) 724-0000

| NO. | DESCRIPTION | DATE |
|-----|-------------------|------------|
| 1 | DESIGN PERMIT SET | 09/09/2024 |

STRUCTURAL NOTES

SHEET TITLE:

PROJECT DESCRIPTION:
 1080 BROADVIEW DR,
 ANNAPOLIS, MD 21409

DATE:
 09/09/2024

SCALE:
 N/S


SHEET:
 1005

SOIL BEARING CAPACITY
 Design soil bearing pressure
 45 pcf
 Design soil lateral pressure
CONCRETE COMPRESSIVE STRENGTH
 Basement Slab
 3,500 psi
 Foundation
 3,000 psi

LEGEND

-  NEW MASONRY WALLS
-  NEW STUD WALLS
-  NO DEMO WORK IN THIS AREA
-  PROJECTION FOUNDATIONS, ROOF, STAIRS

NOTE
 CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS. SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
 IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, "CONSTRUCTION SET", ARE BEING USED.
 CONTRACTOR TO PROVIDE TEMP. SHORING AS NEEDED

DRAMA/CS PROVIDED BY:

 Vicini Design & Construction, LLC
 10000 N. 10th Ave., Suite 100
 Phoenix, AZ 85020
 (602) 998-8888

| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------|----|------------|
| 1 | DESIGN PERMIT SET | | 09/09/2024 |
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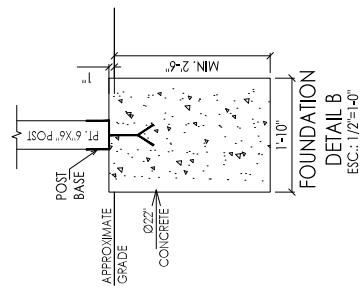
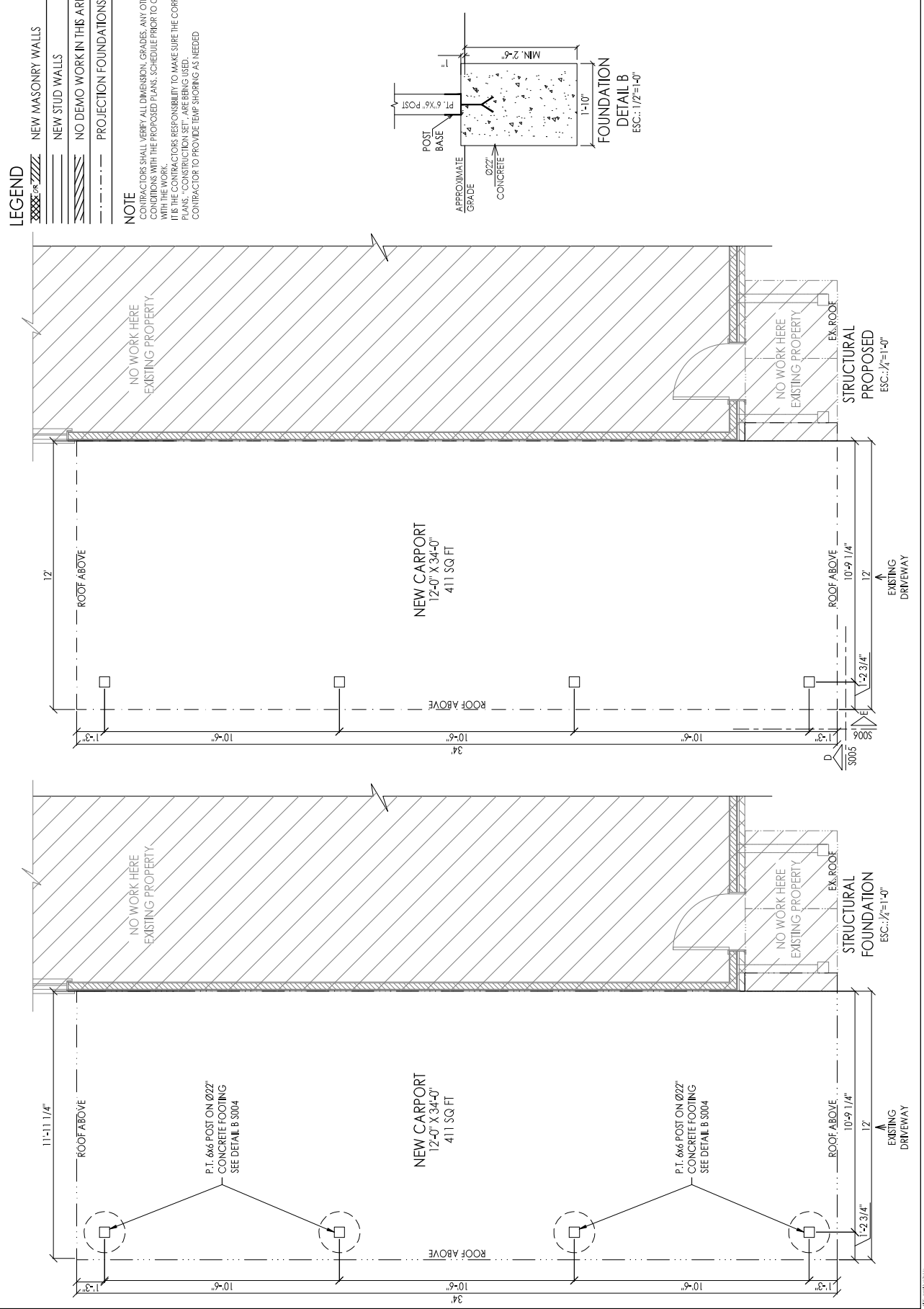
SHEET TITLE:
STRUCTURAL CARPORT FOUNDATION

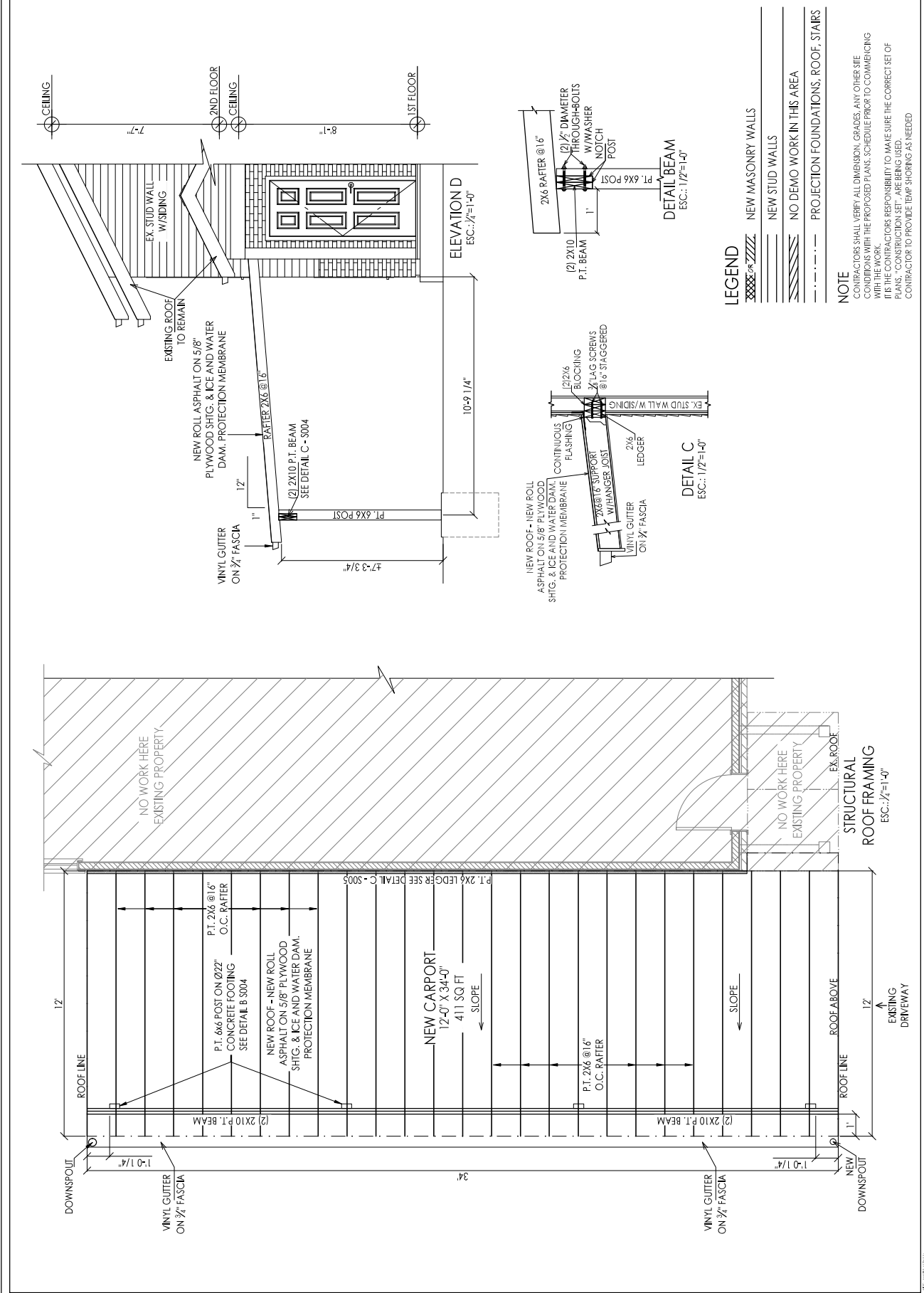
PROJECT DESCRIPTION:
 1080 BROADVIEW DR,
 ANNAPOLIS, MD 21409

DATE:
 09/09/2024

SCALE:
 1/4"=1'-0"

SHEET:
 S004





| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------|----|------------|
| 1 | DESIGN PERMIT SET | | 09/09/2024 |
| 2 | | | |
| 3 | | | |
| 4 | | | |
| 5 | | | |

DRAWINGS PROVIDED BY: Vicini Design & Construction, LLC
 10000 Greenleaf Drive, Suite 100, Annapolis, MD 21409
 (410) 293-8899
 vicini.com

CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS, SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
 IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, CONDITIONS SETS ARE BEING USED.
 CONTRACTOR TO PROVIDE TEMP SHORING AS NEEDED

LEGEND
 [Pattern] NEW MASONRY WALLS
 [Pattern] NEW STUD WALLS
 [Pattern] NO DEMO WORK IN THIS AREA
 [Pattern] PROJECTION FOUNDATIONS, ROOF, STAIRS

NOTE
 CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS, SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
 IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, CONDITIONS SETS ARE BEING USED.
 CONTRACTOR TO PROVIDE TEMP SHORING AS NEEDED

DETAIL C
 ESC.: 1/2"=1'-0"
 NEW ROOF - NEW ROLL ASPHALT ON 5/8" PLYWOOD SHEETING & ICE AND WATER DAM PROTECTION MEMBRANE
 CONTINUOUS FLASHING
 2x6x8 16" SUPPORT W/HANGER JOIST @ 16" STAGGERED
 2x6x6 LEDGER
 2x6x6 VINYL GUTTER ON 3/4" FASCIA

DETAIL BEAM
 ESC.: 1/2"=1'-0"
 2x6x6 RAFTER @ 16"
 (2) 1/2" DIAMETER THROUGH-BOLTS W/WASHER NOTCH POST
 (2) 2x10 P.T. BEAM
 PT. 6x6 POST

ELEVATION D
 ESC.: 1/4"=1'-0"
 NEW ROLL ASPHALT ON 5/8" PLYWOOD SHEETING & ICE AND WATER DAM PROTECTION MEMBRANE
 RAFTER 2x6 @ 16"
 (2) 2x10 P.T. BEAM SEE DETAIL C-S004
 VINYL GUTTER ON 3/4" FASCIA
 PT. 6x6 POST
 4'-7-3/4"

10'-9-1/4"
 8'-1"
 7'-7"
 CEILING
 2ND FLOOR CEILING
 1ST FLOOR

EX. STUD WALL W/SIDING
 EXISTING ROOF TO REMAIN
 NEW ROOF - NEW ROLL ASPHALT ON 5/8" PLYWOOD SHEETING & ICE AND WATER DAM PROTECTION MEMBRANE
 RAFTER 2x6 @ 16"
 (2) 2x10 P.T. BEAM SEE DETAIL C-S004
 VINYL GUTTER ON 3/4" FASCIA
 PT. 6x6 POST
 4'-7-3/4"

NO WORK HERE EXISTING PROPERTY
 NO WORK HERE EXISTING PROPERTY
 EX. ROOF
 STRUCTURAL ROOF FRAMING
 ESC.: 1/4"=1'-0"
 12'
 EXISTING DRIVEWAY

NEW CARPORT 12'-0" X 34'-0" 411 SQ FT
 P.T. 6x6 POST ON 22" CONCRETE FOOTING SEE DETAIL B S004
 P.T. 2x6 @ 16" O.C. RAFTER
 NEW ROOF - NEW ROLL ASPHALT ON 5/8" PLYWOOD SHEETING & ICE AND WATER DAM PROTECTION MEMBRANE
 P.T. 2x6 @ 16" O.C. RAFTER
 (2) 2x10 P.T. BEAM
 VINYL GUTTER ON 3/4" FASCIA
 1'-0 1/4"
 ROOF LINE
 ROOF ABOVE
 12'
 EXISTING DRIVEWAY

NEW ROOF - NEW ROLL ASPHALT ON 5/8" PLYWOOD SHEETING & ICE AND WATER DAM PROTECTION MEMBRANE
 CONTINUOUS FLASHING
 2x6x8 16" SUPPORT W/HANGER JOIST @ 16" STAGGERED
 2x6x6 LEDGER
 2x6x6 VINYL GUTTER ON 3/4" FASCIA

NEW ROOF - NEW ROLL ASPHALT ON 5/8" PLYWOOD SHEETING & ICE AND WATER DAM PROTECTION MEMBRANE
 CONTINUOUS FLASHING
 2x6x8 16" SUPPORT W/HANGER JOIST @ 16" STAGGERED
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 2x6x6 VINYL GUTTER ON 3/4" FASCIA

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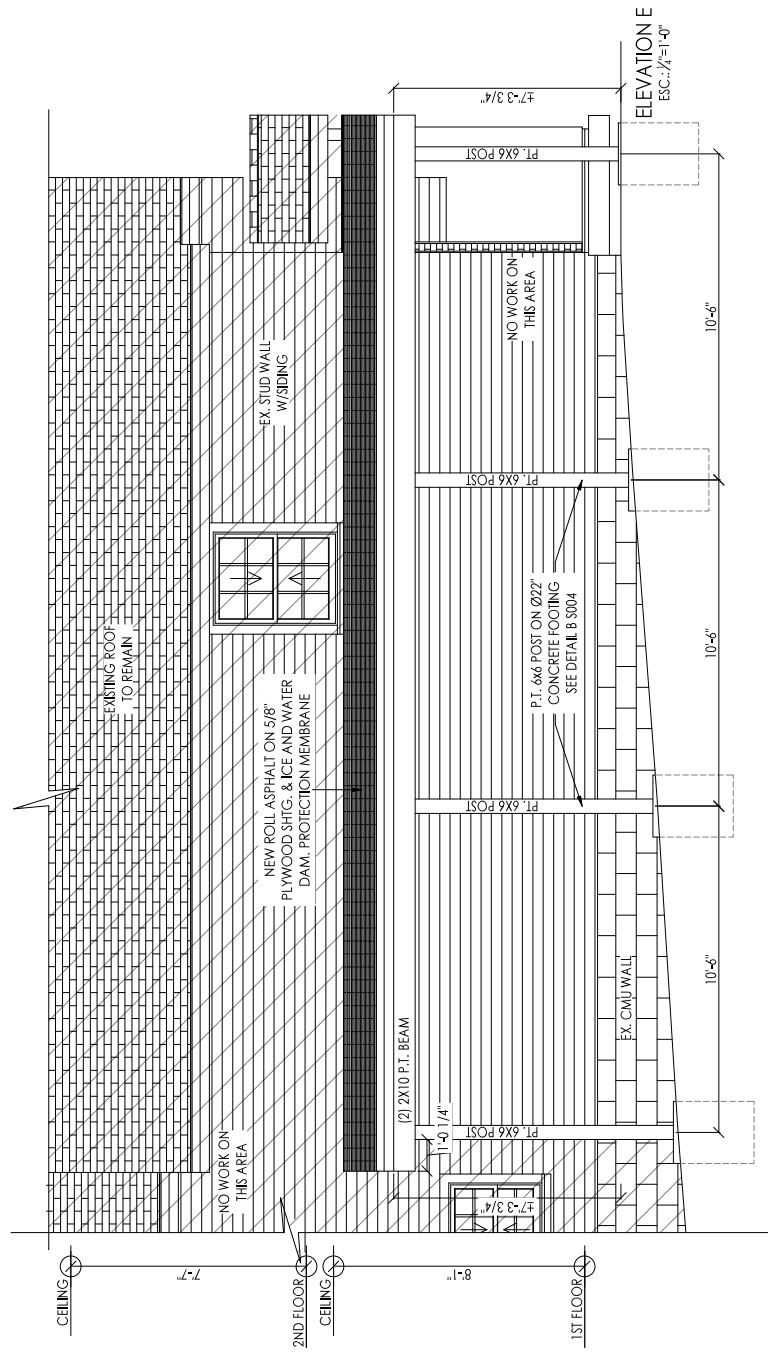
| | | | |
|-----|-------------------|----|------------|
| NO. | DESCRIPTION | BY | DATE |
| 1 | DESIGN PERMIT SET | | 09/09/2024 |

DRAWINGS PROVIDED BY: Vicim
 Vicim & Consultants, LLC
 10900 Old Mill Rd, Suite 100, Annapolis, MD 21409
 (410) 293-8999

SHEET TITLE: STRUCTURAL CARPORT ELEVATION E

PROJECT DESCRIPTION: 1080 BROADVIEW DR, ANNAPOLIS, MD 21409

DATE: 09/09/2024
 SCALE: 1/4"=1'
 SHEET: S006



- LEGEND**
- XXXXXX NEW MASONRY WALLS
 - ===== NEW STUD WALLS
 - ===== NO DEMO WORK IN THIS AREA
 - PROJECTION FOUNDATIONS, ROOF, STAIRS

NOTE
 CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS, SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
 IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, CONDITIONS SETS ARE BEING USED.
 CONTRACTOR TO PROVIDE TEMP SHORING AS NEEDED

CRITICAL AREA COMMISSION
 CHESAPEAKE AND ATLANTIC COASTAL BAYS
 1804 WEST STREET, SUITE 100
 ANNAPOLIS, MD 21401

PROJECT NOTIFICATION APPLICATION

GENERAL PROJECT INFORMATION

Jurisdiction: Anne Arundel County

Date:

| Tax Map # | Parcel # | Block # | Lot # | Section |
|-----------|----------|---------|-------|---------|
| 40 | 25 | T | 27 | |
| | | | | |
| | | | | |

FOR RESUBMITTAL ONLY

- Corrections
- Redesign
- No Change
- Non-Critical Area

*Complete Only Page 1
 General Project Information

Tax ID: 316590010634

Project Name (site name, subdivision name, or other) _____

Project location/Address 1080 Broadview DR

City Annapolis Zip 21409

Local case number _____

Applicant: Last name Bryan First name Paul

Company _____

Application Type (check all that apply):

- | | |
|--|--|
| Building Permit <input type="checkbox"/> | Variance <input checked="" type="checkbox"/> |
| Buffer Management Plan <input type="checkbox"/> | Rezoning <input type="checkbox"/> |
| Conditional Use <input type="checkbox"/> | Site Plan <input type="checkbox"/> |
| Consistency Report <input type="checkbox"/> | Special Exception <input type="checkbox"/> |
| Disturbance > 5,000 sq ft <input type="checkbox"/> | Subdivision <input type="checkbox"/> |
| Grading Permit <input type="checkbox"/> | Other <input type="checkbox"/> |

Local Jurisdiction Contact Information:

Last name AACo Zoning Administration Section First name _____

Phone # 410-222-7437 Response from Commission Required By TBD

Fax # _____ Hearing date TBD

SPECIFIC PROJECT INFORMATION

Describe Proposed use of project site:

| |
|---------|
| Carport |
|---------|

| | |
|---|---|
| Yes Intra-Family Transfer <input type="checkbox"/> Grandfathered Lot <input type="checkbox"/> | Yes Growth Allocation <input type="checkbox"/> Buffer Exemption Area <input type="checkbox"/> |
|---|---|

Project Type (check all that apply)

| | |
|---|---|
| Commercial <input type="checkbox"/> Consistency Report <input type="checkbox"/> Industrial <input type="checkbox"/> Institutional <input type="checkbox"/> Mixed Use <input type="checkbox"/> Other <input type="checkbox"/> | Recreational <input type="checkbox"/> Redevelopment <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Shore Erosion Control <input type="checkbox"/> Water-Dependent Facility <input type="checkbox"/> |
|---|---|

SITE INVENTORY (Enter acres or square feet)

| | Acres | Sq Ft | | Acres | Sq Ft |
|------------|-------|-------|----------------------|-------|-------|
| IDA Area | | | Total Disturbed Area | | |
| LDA Area | | 14220 | # of Lots Created | | |
| RCA Area | | | | | |
| Total Area | | | | | |

| | Acres | Sq Ft | | Acres | Sq Ft |
|--------------------------------|-------|-------|-----------------------|-------|-------|
| Existing Forest/Woodland/Trees | | | Existing Lot Coverage | | 2201 |
| Created Forest/Woodland/Trees | | | New Lot Coverage | | 1074 |
| Removed Forest/Woodland/Trees | | | Removed Lot Coverage | | 400 |
| | | | Total Lot Coverage | | 2875 |

VARIANCE INFORMATION (Check all that apply)

| | Acres | Sq Ft | | Acres | Sq Ft |
|------------------------|-------|-------|------------------------|-------|-------|
| Buffer Disturbance | | | Buffer Forest Clearing | | |
| Non-Buffer Disturbance | | | Mitigation | | |

| | |
|---|--|
| <p style="text-align: center;"><u>Variance Type</u></p> Buffer <input type="checkbox"/> Forest Clearing <input type="checkbox"/> HPA Impact <input type="checkbox"/> Lot Coverage <input type="checkbox"/> Expanded Buffer <input type="checkbox"/> Nontidal Wetlands <input type="checkbox"/> Setback <input checked="" type="checkbox"/> Steep Slopes <input type="checkbox"/> Other <input type="checkbox"/> | <p style="text-align: center;"><u>Structure</u></p> Acc. Structure Addition <input type="checkbox"/> Barn <input type="checkbox"/> Deck <input type="checkbox"/> Dwelling <input type="checkbox"/> Dwelling Addition <input type="checkbox"/> Garage <input type="checkbox"/> Gazebo <input type="checkbox"/> Patio <input type="checkbox"/> Pool <input type="checkbox"/> Shed <input type="checkbox"/> Other <input checked="" type="checkbox"/> |
|---|--|

Carport

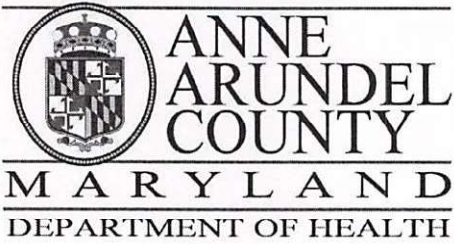
Paul and Alexa Bryan

1080 Broadview DR

Annapolis, MD 21409

Critical Area Report Narrative

1. We are proposing to build a carport on our residential lot.
2. We have some maples and pine trees in the front of the property. And we have some holly, poplar, and pine in the backyard. A total of 13 large trees with a canopy of about 5000 sf. Most of the trees are within 10' of the property lines and are on the long sides of the property. None of the trees will be disturbed by the carport. And no vegetation, except for grass will be disturbed by the carport.
3. We will install gutters on the carport and direct the runoff towards some small gardens.
4. The impervious surfaces before construction is 2201 square feet. And after construction is 2875 square feet.
5. There are no habitat protection areas on the property.




J. Howard Beard Health Services Building
3 Harry S. Truman Parkway
Annapolis, Maryland 21401
Phone: 410-222-7095 Fax: 410-222-7294
Maryland Relay (TTY): 711
www.aahealth.org

Tonii Gedin, RN, DNP
Health Officer

MEMORANDUM

TO: Sadé Medina, Zoning Applications
Planning and Zoning Department, MS-6301

FROM: Brian Chew, Program Manager 
Bureau of Environmental Health

DATE: October 25, 2024

RE: Alexa Bryan
1080 Broadview Drive
Annapolis, MD 21409

NUMBER: 2024-0193-V

SUBJECT: Variance/Special Exception/Rezoning

The Health Department has reviewed the above referenced variance in the side yard setback requirement for an attached carport.

Based on a review of the above referenced request, additional information is needed by the Health Department on:

The type and location of the water supply well and the neighboring water supply well at 1078 Broadview Drive.

If you have further questions or comments, please contact Brian Chew at 410-222-7413.

cc: Sterling Seay

Jose E Ramos Roman
1078 Broadview Dr
Cape St. Claire, MD, 21409
Date

Cape St Claire Home Owners Association

Dear Cape St Claire Home Owners Association :

I'm Paul Bryan neighbor and it's my understanding Paul is building a car port at 1080 Broadview Dr Cape St. Claire MD, 21409 adjacent side to my asphalt driveway. I have no issues concerning Paul building the carport and authorizing the building of such structure if it does not protrude my property line.

If you have any questions, I can be reached at 443-306-7516 or email at ramosj9@gmail.com

Sincerely,

A handwritten signature in black ink, appearing to read "Jose E Ramos Roman". The signature is fluid and cursive, with the first name "Jose" being the most prominent.

Jose E Ramos Roman

Lot No. 727 Address 1080 Broadview Dr.

APPROVAL

Approval has been authorized by the Building & Planning Committee of the Cape St. Claire Improvement Association, Inc., on 09/09/2024 to erect a shed and carport (w/6' variance) according to the plans and specifications received from Paul & Alexa Bryan and recorded by the Committee.

Construction is to be completed according to these plans and specifications no later than 06/09/25.

By the authority of Board of Governors and Building Committee

This approval notice must be displayed during construction so that it is visible from the front road.

Map Title



Legend

Foundation

Addressing



Parcels

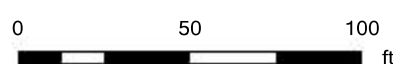


Parcels - Annapolis City



Planning

County Planning



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. DO NOT USE FOR NAVIGATION.

none

Notes