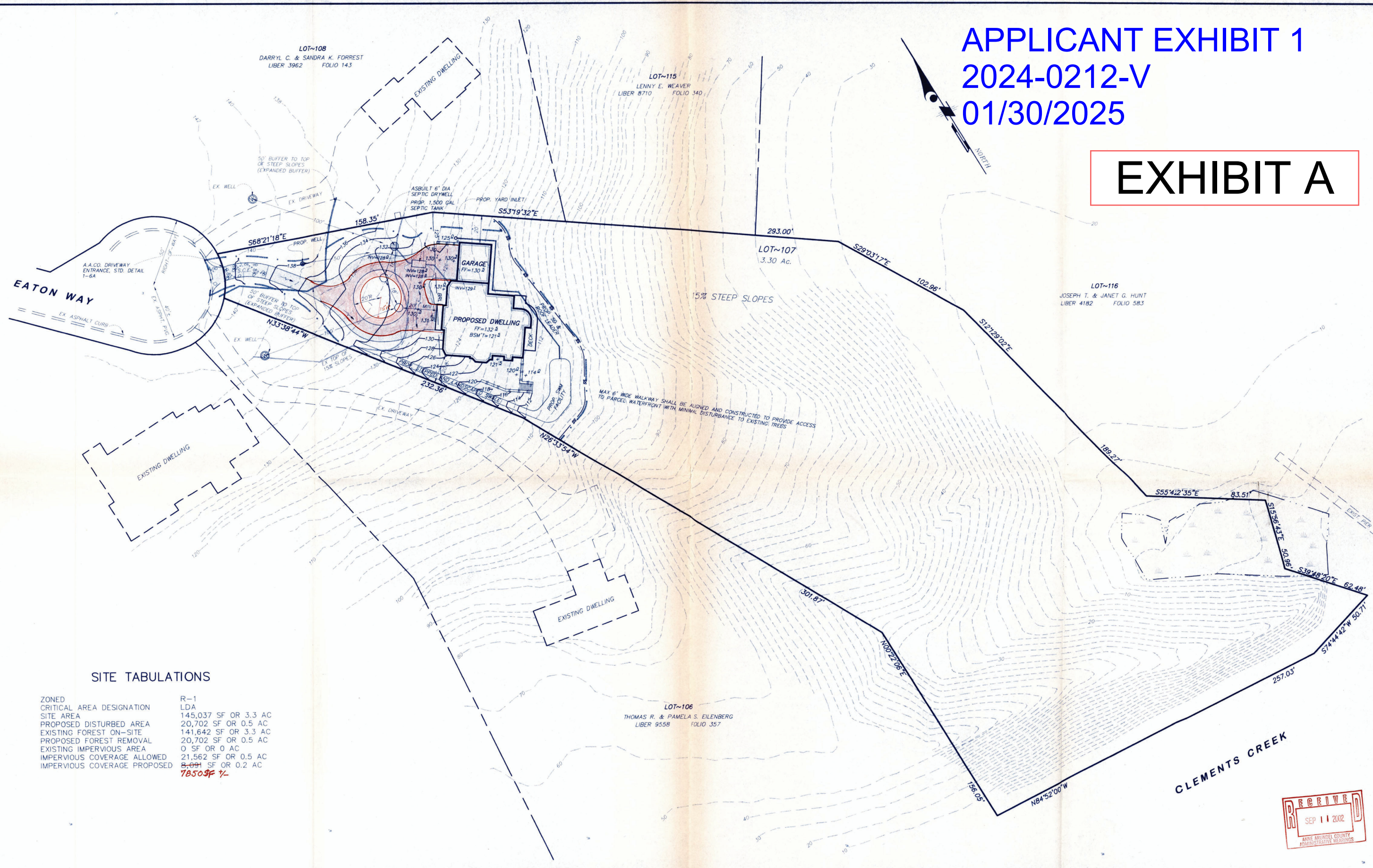


APPLICANT EXHIBIT 1
2024-0212-V
01/30/2025

EXHIBIT A



SITE TABULATIONS

ZONED	R-1
CRITICAL AREA DESIGNATION	LDA
SITE AREA	145,037 SF OR 3.3 AC
PROPOSED DISTURBED AREA	20,702 SF OR 0.5 AC
EXISTING FOREST ON-SITE	141,642 SF OR 3.3 AC
PROPOSED FOREST REMOVAL	20,702 SF OR 0.5 AC
EXISTING IMPERVIOUS AREA	0 SF OR 0 AC
IMPERVIOUS COVERAGE ALLOWED	21,562 SF OR 0.5 AC
IMPERVIOUS COVERAGE PROPOSED	8,091 SF OR 0.2 AC
	78,509 SF +/-

P:\D\4801\Cadd\2000\DR04801B.dwg, 05/02/2002 11:25:24 AM



DESIGNED BY: MMD DATE: MARCH 2002	DATE: BY: DESCRIPTION	<p>DRUM, SNELL & ASSOCIATES, LC CIVIL ENGINEERS—LAND SURVEYORS 209 WEST STREET, SUITE 203 ANNAPOLIS, MARYLAND 21401 410-280-3122</p>	OWNER/DEVELOPER	VARIANCE AND CRITICAL AREA PLAN
DRAWN BY: MMD DATE: MARCH 2002			H.U.R. PROPERTIES, LLC	THE DOWNS, LOT 107
CHECKED BY: MMD DATE: MARCH 2002			234 WAYCROSS WAY ARNOLD, MARYLAND 21012	1589 EATON WAY
APPROVED BY: MMD DATE: MARCH 2002			ATTN: DANIEL M. RINGENBACH 410-562-4032	TAX ACCOUNT NO. 02-219-90020547
			TAX MAP 39 GRID 20 PARCEL 514 DISTRICT 2ND	ANNE ARUNDEL COUNTY MARYLAND
			SCALE: 1" = 30'	DATE: MAY 2002
			FILE NO. DR04801B	SHEET 2 OF 2

510-02

ANNE ARUNDEL SOIL CONSERVATION DISTRICT
DETAILS AND SPECIFICATIONS FOR VEGETATIVE ESTABLISHMENT

Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within seven calendar days for the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes greater than 3 horizontal to 1 vertical (3:1) and fourteen days for all other disturbed or graded areas on the project site.

- Permanent Seeding:**
 - Soil Tests: Lime and fertilizer will be applied per soil tests results for sites greater than 5 acres.
 - Occurrence of acid sulfate soils (grayish black color) will require covering with a minimum of 12 inches of clean soil with six inches minimum capping of top soil.
 - Seeded Preparation: Area to be seeded shall be loose and friable to a depth of at least 3 inches.
 - Seeding: Apply 5-6 pounds per 1,000 square feet of tall fescue between February 1 and April 30 or between August 15 and October 31.
 - Mulching: Mulch shall be applied to all seeded areas immediately after seeding.
 - Securing Straw Mulch: Straw mulch shall be secured immediately following mulch application.
- Temporary Seeding:**
 - Lime: 100 pounds of dolomitic limestone per 1,000 square feet.
 - Fertilizer: 15 pounds of 10-10-10 per 1,000 square feet.
 - Seed:
 - Perennial rye - 0.92 pounds per 1,000 square feet
 - Millet - 0.92 pounds per 1,000 square feet
 - Mulch: Same as 1 D and E above.
- Permanent Sod:** Installation of sod shall follow permanent seeding dates.
- Mining Operations:** Sediment control plans for mining operations must include the following seeding dates and mixtures:

21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition: Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.
Purpose: To provide a suitable soil medium for vegetative growth.
Conditions Where Practice Applies:

- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization.

Construction and Material Specifications:

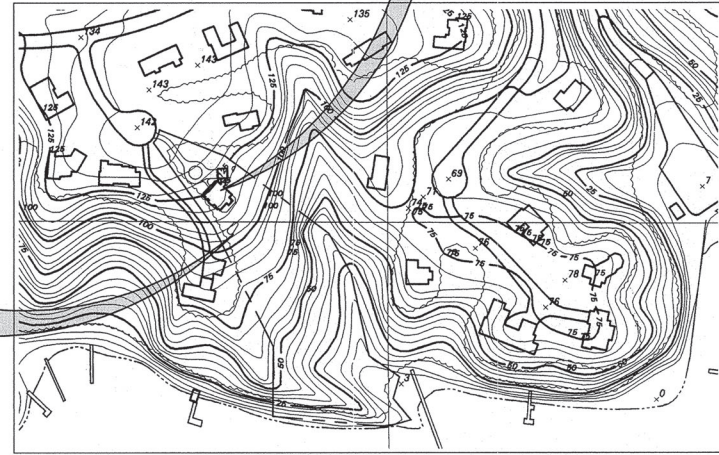
- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority.
 - Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
 - Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil.
- For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
- For sites having disturbed areas over 5 acres:
 - On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5.
 - Organic content of topsoil shall be not less than 1.5 percent by weight.
 - Topsoil having soluble salt content greater than 500 parts per million shall not be used.
 - No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.

Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:

- Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall conform to the following requirements:
 - Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
 - Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0.
 - Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
- Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

CONSULTANTS CERTIFICATION
The Developer's plan to control silt and erosion is adequate to contain the silt and erosion on the property covered by the plan. I certify that this plan of erosion and sediment control is a practical and workable plan based on my personal knowledge of the site, and was prepared in accordance with the requirements of the Anne Arundel Soil Conservation District Plan Submittal Guidelines and the current Maryland Department of the Environment and Planning Department of the Environment and Planning Commission and Specifications for Sediment and Erosion Control. I have reviewed this plan and sediment control plan with the Owner/Developer.
Signature: Dan Ringebach, H.U.R. Properties, LLC, MD P.E. License # 18521, Date 5/13/04
Signature: Michael M. Drum, P.E., MD Land Surveyor License # 11000, Date 5/13/04
Name (Print): Dan Ringebach, H.U.R. Properties, LLC
Name (Print): Michael M. Drum, P.E., Firm Name Drum, Loyka & Associates, LLC
Address: 209 West Street, Suite 203, Annapolis, Maryland 21401

SITE, GRADING & SEDIMENT CONTROL PLAN
THE DOWNS, LOT 107



DRAINAGE AREA MAP
SCALE: 1" = 200'

A = DRAINAGE AREA TO 196 IF OF SUPER SILT FENCE = 0.59 AC
C = [(0.21 AC x 0.90) + (0.38 AC x 0.30)] / 0.59 AC = 0.51
Tc = 5 min; I10 = 7
Q10 = CIA = 0.51 x 7 x 0.59 = 2.11 cfs
2.11 cfs / 1.2 cfs ± TO EACH RIPRAP SPREADER

STANDARD RESPONSIBILITY NOTES

- (We) certify that:
 - All development and construction will be done in accordance with this sediment and erosion control plan, and further, authorize the right of entry for periodic on-site evaluation by the Anne Arundel Soil Conservation Board of Supervisors or their authorized agents.
 - Any responsible personnel involved in the construction project will have a certificate of attendance from the Maryland Department of the Environment's approved training program for the control of sediment and erosion before beginning the project.
 - The appropriate enclosure will be constructed and maintained on sediment basin(s) included in this plan.
 - The developer is responsible for the acquisition of all easements, rights, and/or rights-of-way that may be required for the sediment and erosion control practices, stormwater management practices and the discharge of stormwater onto or across adjacent or downstream properties included in this plan.
 - The approval of this plan for sediment and erosion control does not relieve the developer/consultant from complying with any Federal/State/County requirements pertaining to environmental issues.
 - On all sites with disturbed areas in excess of 2 acres, approval of the Department of Inspections and Permits shall be required on completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until the initial approval by the Department of Inspections and Permits is given.
 - Approval shall be requested on final stabilization of all sites with disturbed areas in excess of 2 acres before removal of controls.

APPLICANT EXHIBIT 2
2024-0212-V
01/30/2025

GENERAL NOTES

- CONTRACTOR SHALL GIVE 48 HOURS NOTICE PRIOR TO START OF CONSTRUCTION TO ANNE ARUNDEL COUNTY DEPARTMENT OF ENVIRONMENTAL PROGRAMS, 410-222-7870.
- SEDIMENT CONTROL MEASURES MUST BE INSPECTED AND MAINTAINED REGULARLY TO INSURE THAT THE INTENDED PURPOSES ARE ACCOMPLISHED.
- ALL DISTURBED AREA NOT INTENDED FOR PAVING SHALL BE SEEDDED AS PER SPECIFICATIONS ON THIS SHEET.
- ALL DOWNSPOUTS ARE TO BE CARRIED TO THE TOE OF FILL SLOPES. SPLASH BLOCKS ARE TO BE PROVIDED AT ALL DOWNSPOUTS NOT DISCHARGING ON A PAVED SURFACE.
- REFER TO USDA-SOIL CONSERVATION SERVICE "1994 STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR STANDARD DETAILS AND DETAILED SPECIFICATIONS OF EACH PRACTICE SPECIFIED HEREIN.
- WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, MINOR FIELD ADJUSTMENT CAN AND WILL BE MADE TO INSURE THE CONTROL OF ANY SEDIMENT. CHANGES IN SEDIMENT CONTROL PRACTICES REQUIRE PRIOR APPROVAL OF THE SEDIMENT CONTROL INSPECTOR AND THE ANNE ARUNDEL SOIL CONSERVATION DISTRICT.
- AT THE END OF EACH WORKING DAY, ALL SEDIMENT CONTROL PRACTICES WILL BE INSPECTED AND LEFT IN OPERATIONAL CONDITION.
- ANY DISTURBED EARTH LEFT IDLE FOR PERIODS EXCEEDING 14 DAYS SHALL BE STABILIZED ACCORDING TO TEMPORARY STABILIZATION SPECIFICATIONS.
- ANY CHANGE TO THE GRADING PROPOSED ON THE PLAN REQUIRES RESUBMISSION TO ANNE ARUNDEL COUNTY INSPECTIONS AND PERMITS - GRADING AND SEDIMENT CONTROL FOR APPROVAL.
- DUST CONTROL WILL BE PROVIDED FOR ALL DISTURBED AREAS. REFER TO USDA-SOIL CONSERVATION SERVICE "1994 STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," H-30-1 FOR ACCEPTABLE METHODS AND SPECIFICATIONS FOR DUST CONTROL.
- ANY VARIATIONS FROM THE SEQUENCE OF OPERATIONS STATED ON THIS PLAN REQUIRES THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR AND THE ANNE ARUNDEL SOIL CONSERVATION DISTRICT PRIOR TO THE INITIATION OF THE CHANGE.
- SLOPES WHERE SOD IS REQUIRED MAY BE TEMPORARILY STABILIZED WITH MULCHING IN ACCORDANCE WITH "1994 STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," G-20-4 IF WEATHER CONDITIONS PROHIBIT PLACING OF SOD. PERMANENT SODDING TO BE ACCOMPLISHED AS WEATHER PERMITS.
- ANY MATERIAL REMOVED FROM THE SITE SHALL BE TAKEN TO AN APPROVED ANNE ARUNDEL COUNTY DISPOSAL SITE.
- CONTRACTOR TO PLACE OUT MATERIAL ON HIGH SIDE OF TRENCH WHEN CONNECTING SANITARY LINE.
- CONTRACTOR SHALL CLEAR ONLY AREAS SHOWN ON THIS PLAN.
- CONTRACTOR TO CONTACT MISS UTILITY 1-800-257-7777 FIVE WORKING DAYS PRIOR TO THE START OF WORK SHOWN ON THESE PLANS.
- TOPOGRAPHICAL SURVEY BY DRUM, SNELL & ASSOCIATES.
- WELL CONSTRUCTION TO BE IN ACCORDANCE WITH CURRENT ANNE ARUNDEL COUNTY STANDARDS & MARYLAND STATE STANDARDS. CONTRACTOR RESPONSIBLE FOR NECESSARY WELL PERMITS.

VARIANCE STATEMENT

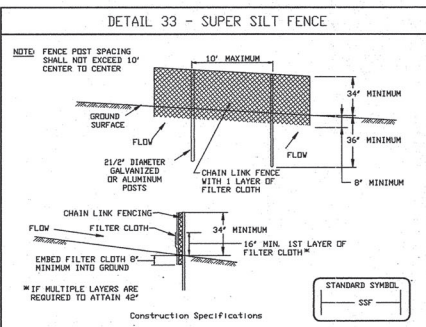
VARIANCE CASE NUMBER 2002-0229-V PERTAINING TO THIS PROJECT WAS PREVIOUSLY HEARD BEFORE THE ZONING HEARING OFFICER ON 27 AUG 02. BY ORDER OF THE HEARING OFFICER FILED 10 SEP 02, A VARIANCE TO THE EXPANDED SHORELINE BUFFER, AND A VARIANCE TO PERMIT DISTURBANCE OF STEEP SLOPES, WERE CONDITIONALLY GRANTED. THE PLANS SUBMITTED HERewith HAVE BEEN ADJUSTED TO REDUCE THE IMPERVIOUS COVERAGE TO LESS THAN 7,850 SF, AS REQUIRED BY THE VARIANCE APPROVAL.

SWM STATEMENT

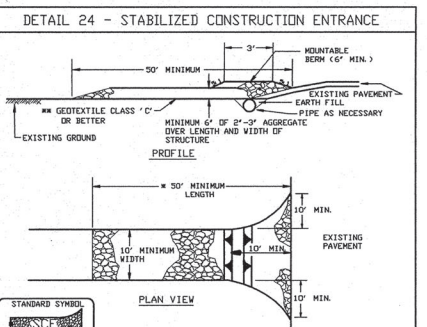
THE PROPOSED WORK IS CLASSIFIED AS NEW DEVELOPMENT ON A CURRENTLY VACANT, PREVIOUSLY PLATTED BUILDABLE LOT IN AN ESTABLISHED SUBDIVISION. STORMWATER QUALITY MANAGEMENT WILL BE PROVIDED BY THE PRESERVATION OF A SUBSTANTIAL AREA OF UNDISTURBED FOREST BETWEEN THE PROPOSED AREA OF DISTURBANCE AND CLEMENTS CREEK, WHICH FORMS THE SOUTHERN BOUNDARY OF THE LOT. A PERMANENT CONSERVATION EASEMENT WILL BE RECORDED AROUND THIS FORESTED AREA. BECAUSE THE LOT HAS A DIRECT OUTFALL TO CLEMENTS CREEK, A TIDAL TRIBUTARY OF THE SEVERN RIVER, NO STORMWATER QUANTITY MANAGEMENT IS REQUIRED. HOWEVER, A VEGETATED SWALE WILL BE USED TO DISCONNECT A PORTION OF THE FRONT DRIVEWAY RUNOFF, AND SPECIAL RIPRAP SPREADER FACILITIES HAVE BEEN CALLED FOR TO SLOW THE RUNOFF FROM THE FRONT AND SIDES OF THE PROPOSED IMPROVEMENTS. THESE PROVISIONS WILL ENHANCE THE POTENTIAL FOR STORMWATER INFILTRATION INTO THE SOIL AND ABSORPTION BY THE FOREST VEGETATION.

OUTFALL STATEMENT

THE SUBJECT LOT HAS A DIRECT OUTFALL TO CLEMENTS CREEK, A TIDAL TRIBUTARY TO THE SEVERN RIVER. DURING SEVERAL FIELD VISITS TO THE SITE, THE ENGINEER OBSERVED NO SUBSTANTIAL EROSION DOWN STEEP, WOODED SLOPES OR ALONG TWO MAJOR DRAINS THAT DRAIN THE SITE TO AN EXISTING WETLAND AT THE SHORELINE OF THE CREEK. DUE TO THE SMALL ADDITIONAL RUNOFF TO BE GENERATED BY THE PROPOSED IMPROVEMENTS AND THE INSTALLATION OF SWM PROVISIONS AS DISCUSSED ABOVE, NO EROSION OR DEGRADATION OF THE INFLOW TO CLEMENTS CREEK IS ANTICIPATED.

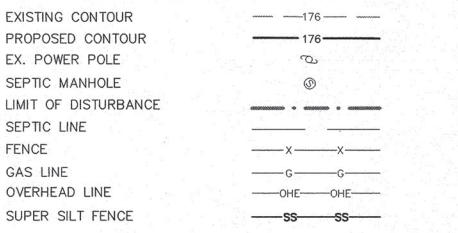


- 1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6" length posts.
 - 2. Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, bruce and truss rods, 4" wire anchors and post caps are not required except on the ends of the fence.
 - 3. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
 - 4. Filter cloth shall be embedded a minimum of 6" into the ground.
 - 5. When two sections of Filter cloth adjoin each other, they shall be overlapped by 6" and folded.
 - 6. Maintenance shall be performed as needed and silt bulks removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
 - 7. Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:
 - Tensile Strength: 50 lbs/in (min.) Test: HST 509
 - Tensile Modulus: 20 lbs/in (min.) Test: HST 509
 - Flow Rate: 0.2 gal/15/minute (max.) Test: HST 302
 - Filtering Efficiency: 75% (min.) Test: HST 302
- US. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 8 - 25 - 3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



- 1. Length - minimum of 30' (400' for single residence lots).
 - 2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
 - 3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. THE plan approval authority may not require single family residences to use geotextile.
 - 4. Stone - crushed aggregate (1/2" to 2") or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
 - 5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 3:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
 - 6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.
- US. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F-17-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

LEGEND



Anne Arundel Soil Conservation District
Sediment and Erosion Control Approval
J.H. Fox District Official
8/2/03 Date

AASCD # U92-20 Small Pond (s) #

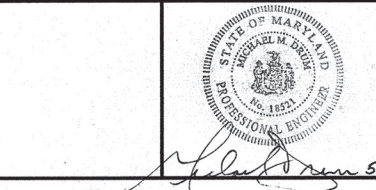
Reviewed for technical adequacy by
USDA, Natural Resource Conservation Service

Approved Rev # J.M. Fox 7/1/04

EXHIBIT B

DESIGNED:	DRAWN:	REVISIONS TO APPROVED PLANS			
ORIG. DATE:		No.	DATE	BY	DESCRIPTION
MARCH 2002	SEP/04/AV	1	3/2/04	DLA	PIER ADDITION / WALKWAY EXTENSION
MODIFIED BY/DATE:	NCT/MAR 11, 2004				
CADD DWG #:	DR04801B				
DLA PROJECT #:	DR04801				

DRUM, LOYKA & ASSOCIATES, LLC
CIVIL ENGINEERS- LAND SURVEYORS
209 WEST STREET, SUITE 203
ANNAPOLIS, MARYLAND 21401
410-280-3122



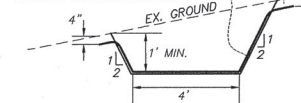
OWNER/DEVELOPER
H.U.R. PROPERTIES, LLC
234 WAYCROSS WAY
ARNOLD, MARYLAND 21012
ATTN: DANIEL M. RINGEBACH 410-562-4032

SITE, GRADING, AND SEDIMENT CONTROL PLAN
THE DOWNS, LOT 107
1589 EATON WAY
TAX ACCOUNT NO. 02-219-90020547
TAX MAP 39 GRID 20 PARCEL 514 DISTRICT 2ND
ANNE ARUNDEL COUNTY, MARYLAND

SCALE: AS SHOWN DATE: MAR 11, 2004 PROJ. NO: DR04801 SHEET 1 OF 3

LINE CHANNEL WITH SOLID SOD, CURLEX, OR EQUIVALENT EROSION CONTROL MATTING

EMBED CHANNEL LINING 4" BELOW ADJACENT GRADE TO PREVENT UNDERCUTTING OF EDGE



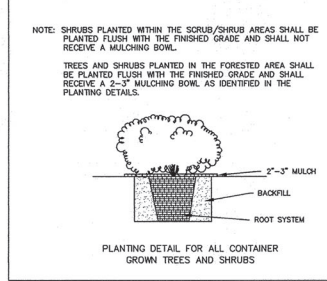
MAXIMUM SLOPE = 30%
 BOTTOM WIDTH = 4"
 MANNING'S n = 0.03 (GRASS)
 Q₁₀ = 1.1 cfs (SEE DA MAP ON COVER SHEET)
 Q₁₀ = 0.06 ft
 V₁₀ = 4.21 fps (OKAY DUE TO EXTREMELY SHALLOW FLOW DEPTH)

TYPICAL SWALE SECTION
 N.T.S.

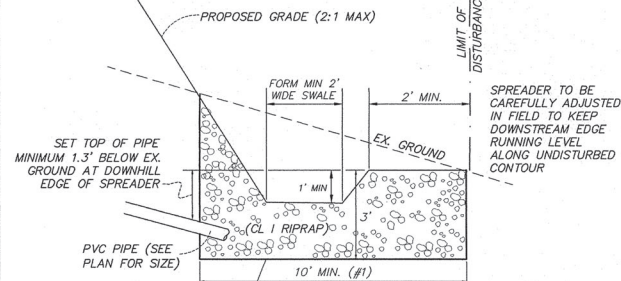
AFFORESTATION PLANTING SCHEDULE

COMMON NAME	SCIENTIFIC NAME	APPROX. QUANTITY	TYPE	SIZE
Red maple	Acer rubrum	13	TREE	2" CAL.
Boyberry	Myrica pensylvanica	19	SHRUB	3-5 GALLON
Pink Azalea	Rhododendron nudiflorum	20	SHRUB	3-5 GALLON

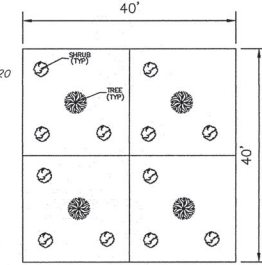
ALTERNATE PLANT MATERIAL CAN BE USED IN PLACE OF THE REFERENCED PLANTS PROVIDED THAT NATIVE SPECIES ARE USED. SEE THE ANNE ARUNDEL COUNTY APPROVED NATIVE SPECIES PLANT LIST.



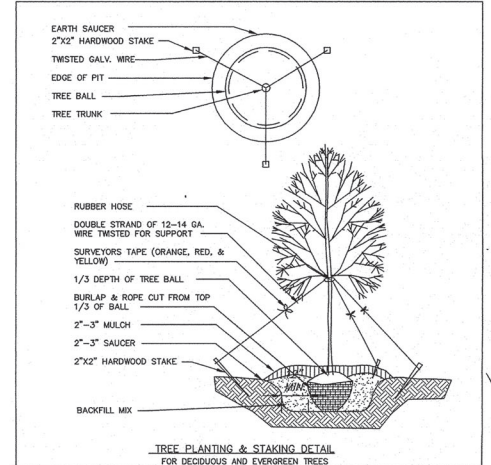
PLANTING DETAIL FOR ALL CONTAINER GROWN TREES AND SHRUBS



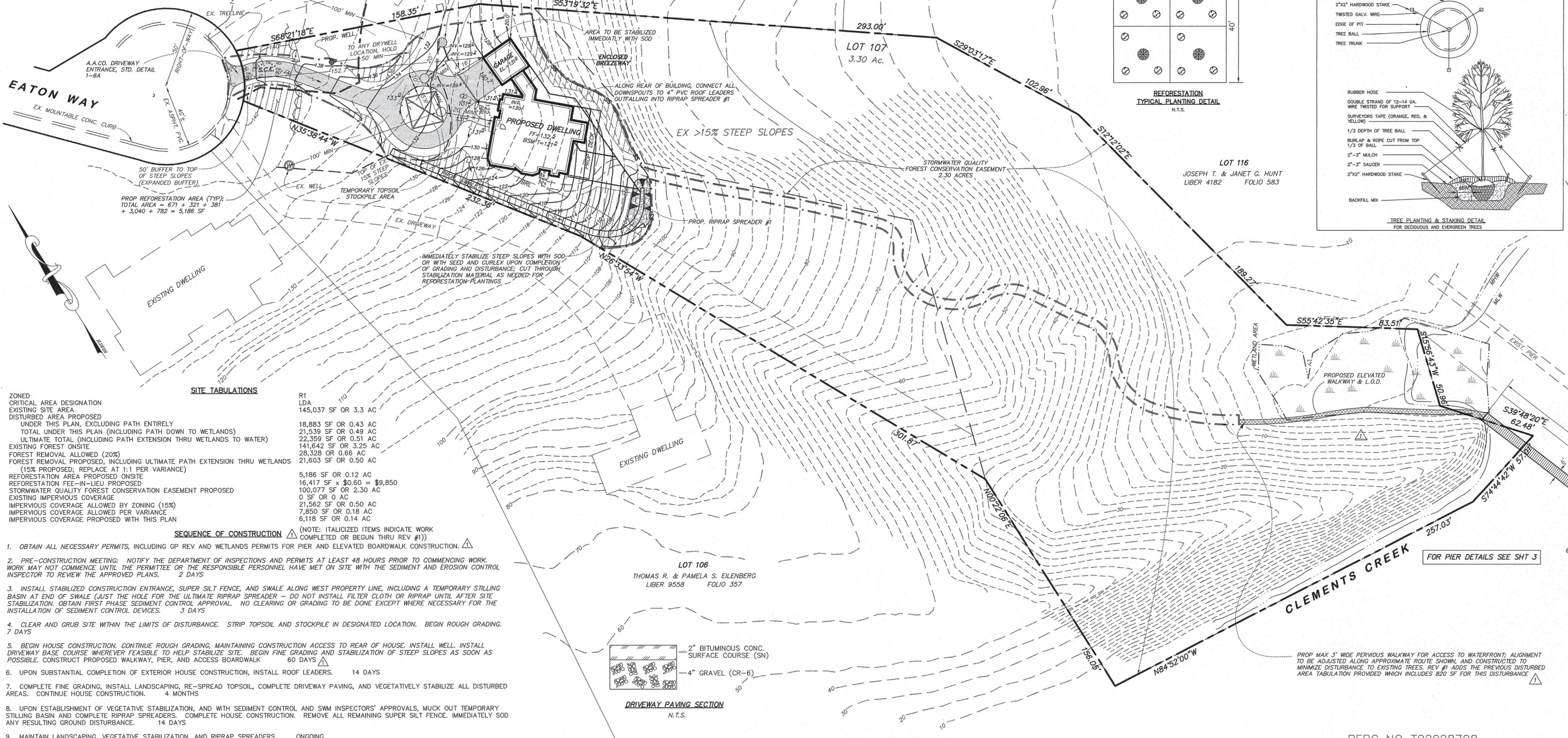
DETAIL FOR RIPRAP SPREADERS
 N.T.S.



REFORESTATION TYPICAL PLANTING DETAIL
 N.T.S.



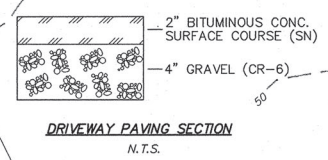
TREE PLANTING & STAKING DETAIL
 FOR DECIDUOUS AND EVERGREEN TREES



SITE TABULATIONS

ZONED	R1
CRITICAL AREA DESIGNATION	DLA
EXISTING SITE AREA	145,037 SF OR 3.3 AC
DISTURBED AREA PROPOSED	
UNDER THIS PLAN, EXCLUDING PATH ENTIRELY	18,883 SF OR 0.43 AC
TOTAL UNDER THIS PLAN (INCLUDING PATH DOWN TO WETLANDS)	21,539 SF OR 0.49 AC
ULTIMATE TOTAL (INCLUDING PATH EXTENSION THRU WETLANDS TO WATER)	22,359 SF OR 0.51 AC
EXISTING FOREST ONSITE	141,642 SF OR 3.25 AC
FOREST REMOVAL ALLOWED (20%)	28,328 SF OR 0.66 AC
FOREST REMOVAL PROPOSED, INCLUDING ULTIMATE PATH EXTENSION THRU WETLANDS (15% PROPOSED; REPLACE AT 1:1 PER VARIANCE)	21,603 SF OR 0.50 AC
REFORESTATION AREA PROPOSED ONSITE	5,186 SF OR 0.12 AC
REFORESTATION FEE-IN-LIEU PROPOSED	16,417 SF x \$0.60 = \$9,850
STORMWATER QUALITY FOREST CONSERVATION EASEMENT PROPOSED	100,077 SF OR 2.30 AC
EXISTING IMPERVIOUS COVERAGE	0 SF OR 0 AC
IMPERVIOUS COVERAGE ALLOWED BY ZONING (15%)	21,562 SF OR 0.50 AC
IMPERVIOUS COVERAGE ALLOWED PER VARIANCE	7,850 SF OR 0.18 AC
IMPERVIOUS COVERAGE PROPOSED WITH THIS PLAN	6,118 SF OR 0.14 AC

- SEQUENCE OF CONSTRUCTION** (NOTE: ITALICIZED ITEMS INDICATE WORK COMPLETED OR BEGUN THRU REV #1)
- OBTAIN ALL NECESSARY PERMITS, INCLUDING GP REV AND WETLANDS PERMITS FOR PIER AND ELEVATED BOARDWALK CONSTRUCTION. 2 DAYS
 - PRE-CONSTRUCTION MEETING: NOTIFY THE DEPARTMENT OF INSPECTIONS AND PERMITS AT LEAST 48 HOURS PRIOR TO COMMENCING WORK. WORK MAY NOT COMMENCE UNTIL THE PERMITTEE OR THE RESPONSIBLE PERSONNEL HAVE MET ON SITE WITH THE SEDIMENT AND EROSION CONTROL INSPECTOR TO REVIEW THE APPROVED PLANS. 2 DAYS
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE, SUPER SILT FENCE, AND SWALE ALONG WEST PROPERTY LINE, INCLUDING A TEMPORARY STILLING BASIN AT END OF SWALE (JUST THE HOLE FOR THE ULTIMATE RIPRAP SPREADER - DO NOT INSTALL FILTER CLOTH OR RIPRAP UNTIL AFTER SITE STABILIZATION. OBTAIN FIRST PHASE SEDIMENT CONTROL APPROVAL. NO CLEARING OR GRADING TO BE DONE EXCEPT WHERE NECESSARY FOR THE INSTALLATION OF SEDIMENT CONTROL DEVICES. 3 DAYS
 - CLEAR AND GRUB SITE WITHIN THE LIMITS OF DISTURBANCE. STRIP TOPSOIL AND STOCKPILE IN DESIGNATED LOCATION. BEGIN ROUGH GRADING. 7 DAYS
 - BEGIN HOUSE CONSTRUCTION. CONTINUE ROUGH GRADING, MAINTAINING CONSTRUCTION ACCESS TO REAR OF HOUSE. INSTALL WELL. INSTALL DRIVEWAY BASE COURSE WHEREVER FEASIBLE TO HELP STABILIZE SITE. BEGIN FINE GRADING AND STABILIZATION OF STEEP SLOPES AS SOON AS POSSIBLE. CONSTRUCT PROPOSED WALKWAY, PIER, AND ACCESS BOARDWALK. 60 DAYS
 - UPON SUBSTANTIAL COMPLETION OF EXTERIOR HOUSE CONSTRUCTION, INSTALL ROOF LEADERS. 14 DAYS
 - COMPLETE FINE GRADING, INSTALL LANDSCAPING, RE-SPREAD TOPSOIL, COMPLETE DRIVEWAY PAVING, AND VEGETATIVELY STABILIZE ALL DISTURBED AREAS. CONTINUE HOUSE CONSTRUCTION. 4 MONTHS
 - UPON ESTABLISHMENT OF VEGETATIVE STABILIZATION, AND WITH SEDIMENT CONTROL AND SWM INSPECTORS' APPROVALS, MUCK OUT TEMPORARY STILLING BASIN AND COMPLETE RIPRAP SPREADERS. COMPLETE HOUSE CONSTRUCTION. REMOVE ALL REMAINING SUPER SILT FENCE. IMMEDIATELY SOO ANY RESULTING GROUND DISTURBANCE. 14 DAYS
 - MAINTAIN LANDSCAPING, VEGETATIVE STABILIZATION, AND RIPRAP SPREADERS. ONGOING



DRIVEWAY PAVING SECTION
 N.T.S.

LOT 106
 THOMAS R. & PAMELA S. EILENBERG
 LIBER 9558 FOLIO 357

LOT 116
 JOSEPH T. & JANET G. HUNT
 LIBER 4182 FOLIO 583

PERC NO T02028708

DESIGNED: SEP	DRAWN: SEP	REVISIONS TO APPROVED PLANS	
ORIG. DATE: MARCH 2002		No.	DATE BY DESCRIPTION
MODIFIED BY/DATE: NCT/MAR 11, 2004		1	3/2/04 DLA PIER ADDITION / WALKWAY EXTENSION
CADD DWG #: DR04801B			
DLA PROJECT #: DR04801			

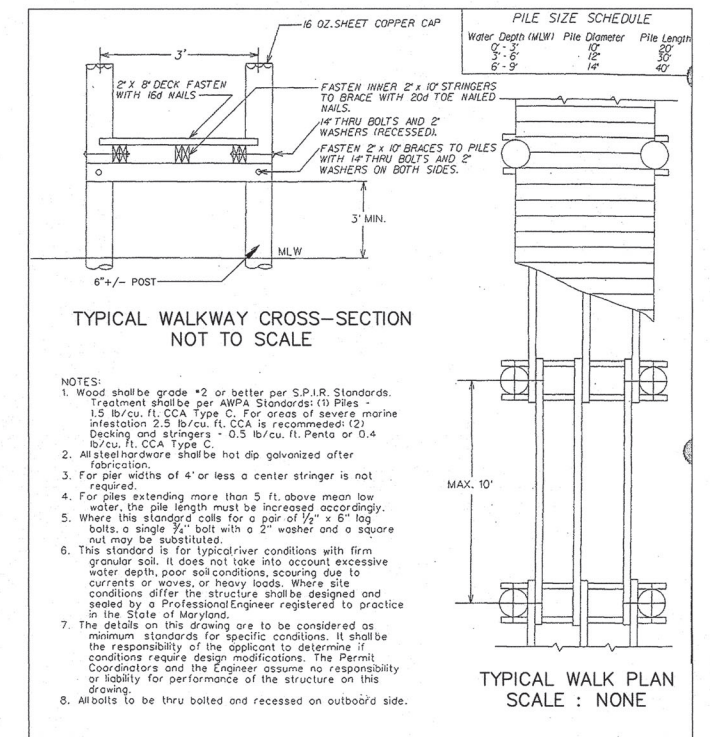
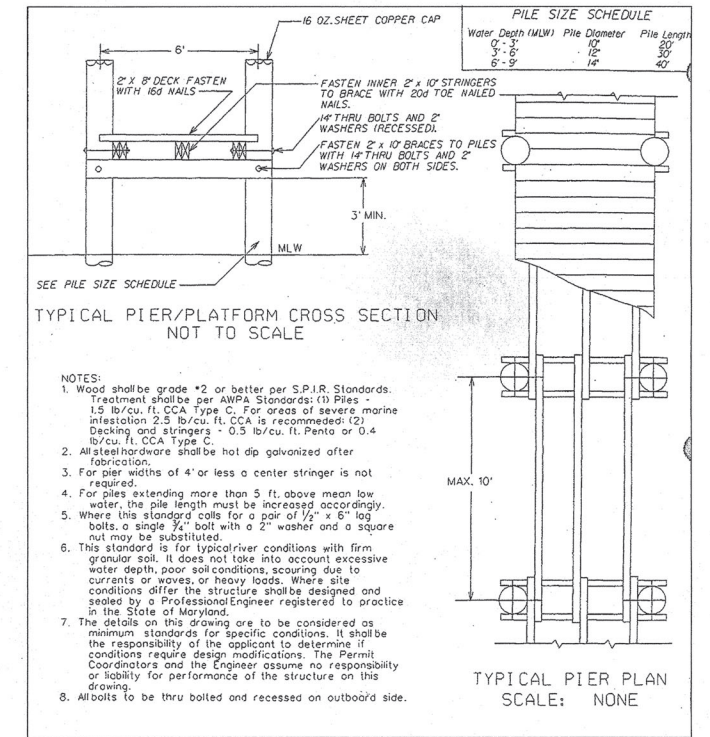
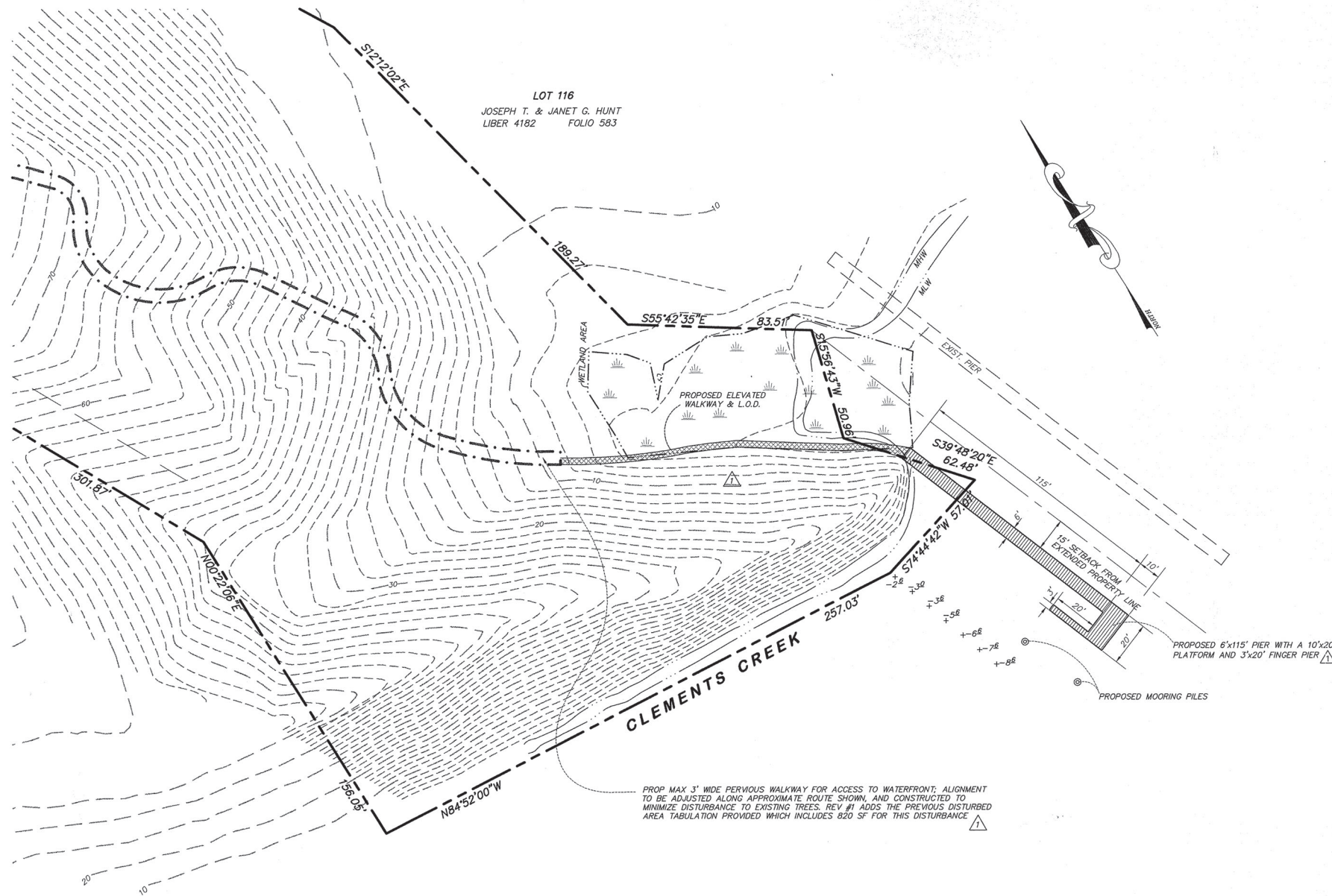
DRUM, LOYKA & ASSOCIATES, LLC
 CIVIL ENGINEERS-LAND SURVEYORS
 209 WEST STREET, SUITE 203
 ANNAPOLIS, MARYLAND 21401
 410-280-3122



OWNER/DEVELOPER
H.U.R. PROPERTIES, LLC
 234 WAYCROSS WAY
 ARNOLD, MARYLAND 21012
 ATTN: DANIEL M. RINGENBACH 410-562-4032

SITE, GRADING, AND SEDIMENT CONTROL PLAN			
THE DOWNS, LOT 107			
1589 EATON WAY			
TAX ACCOUNT NO. 02-219-90020547			
TAX MAP 39	GRID 20 PARCEL 514	DISTRICT 2ND	
ANNE ARUNDEL COUNTY, MARYLAND			
SCALE: 1"=30'	DATE: MAR 11, 2004	PROJ. NO: DR04801	SHEET 2 OF 3

P:\DR04801\Cadd\2004\DR04801B.dwg, Sheet 2, 05/11/2004 03:01:11 PM



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DESIGNED: SEP	DRAWN: SEP
ORIG. DATE: MARCH 2002	
MODIFIED BY/DATE: NCT/MAY 11, 2004	
CADD DWG #: DR04801B	
DLA PROJECT #: DR04801	

REVISIONS TO APPROVED PLANS			
No.	DATE	BY	DESCRIPTION
1	5/3/04	DLA	PIER ADDITION / WALKWAY EXTENSION

DRUM, LOYKA & ASSOCIATES, LLC
 CIVIL ENGINEERS—LAND SURVEYORS
 209 WEST STREET, SUITE 203
 ANNAPOLIS, MARYLAND 21401
 410-280-3122



OWNER/DEVELOPER
H.U.R. PROPERTIES, LLC
 234 WAYCROSS WAY
 ARNOLD, MARYLAND 21012
 ATTN: DANIEL M. RINGENBACH 410-562-4032

SITE, GRADING, AND SEDIMENT CONTROL PLAN
THE DOWNS, LOT 107
 1589 EATON WAY
 TAX ACCOUNT NO. 02-219-90020547
 TAX MAP 39 GRID 20 PARCEL 514 DISTRICT 2ND
 ANNE ARUNDEL COUNTY, MARYLAND

SCALE: 1" = 30' DATE: MAY 11, 2004 PROJ. NO: DR04801 SHEET 3 OF 3

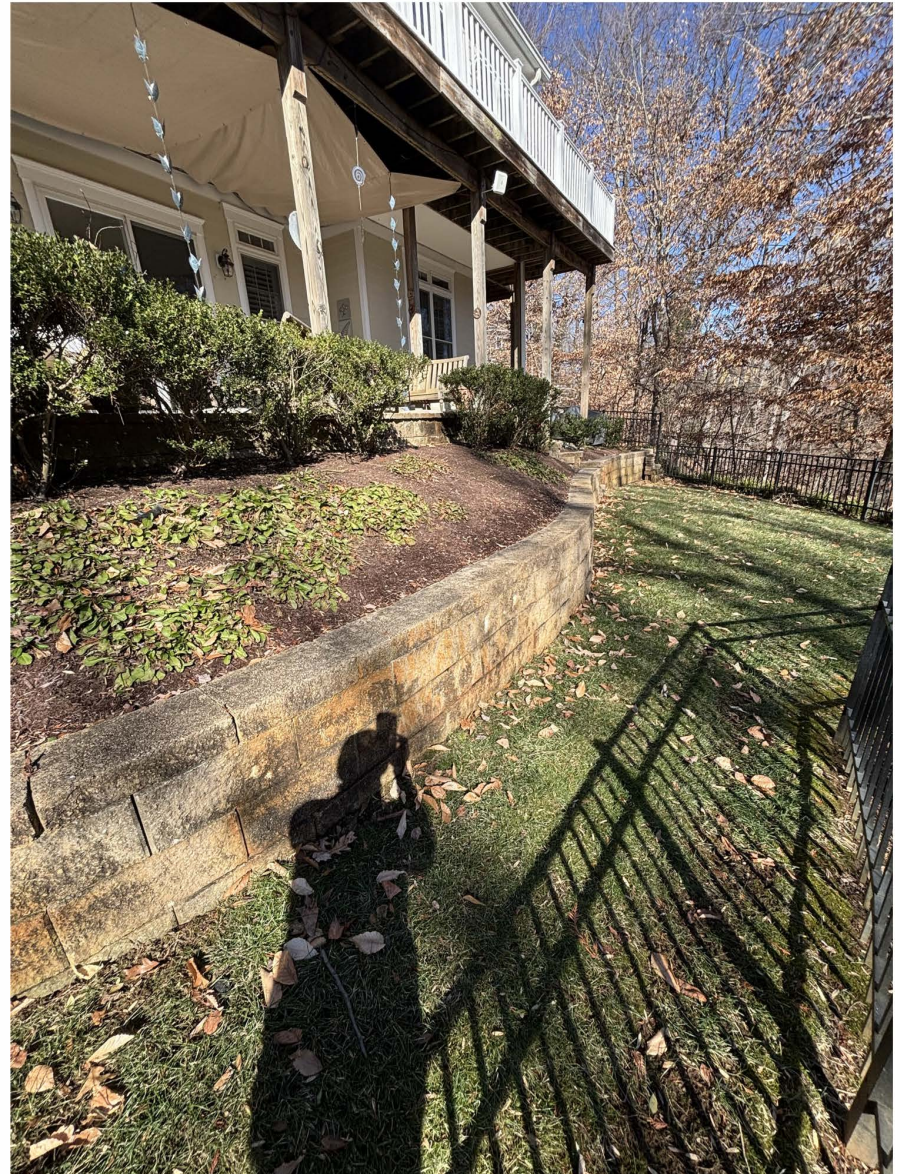
510-046



2005

APPLICANT EXHIBIT 3
2024-0212-V
01/30/2025

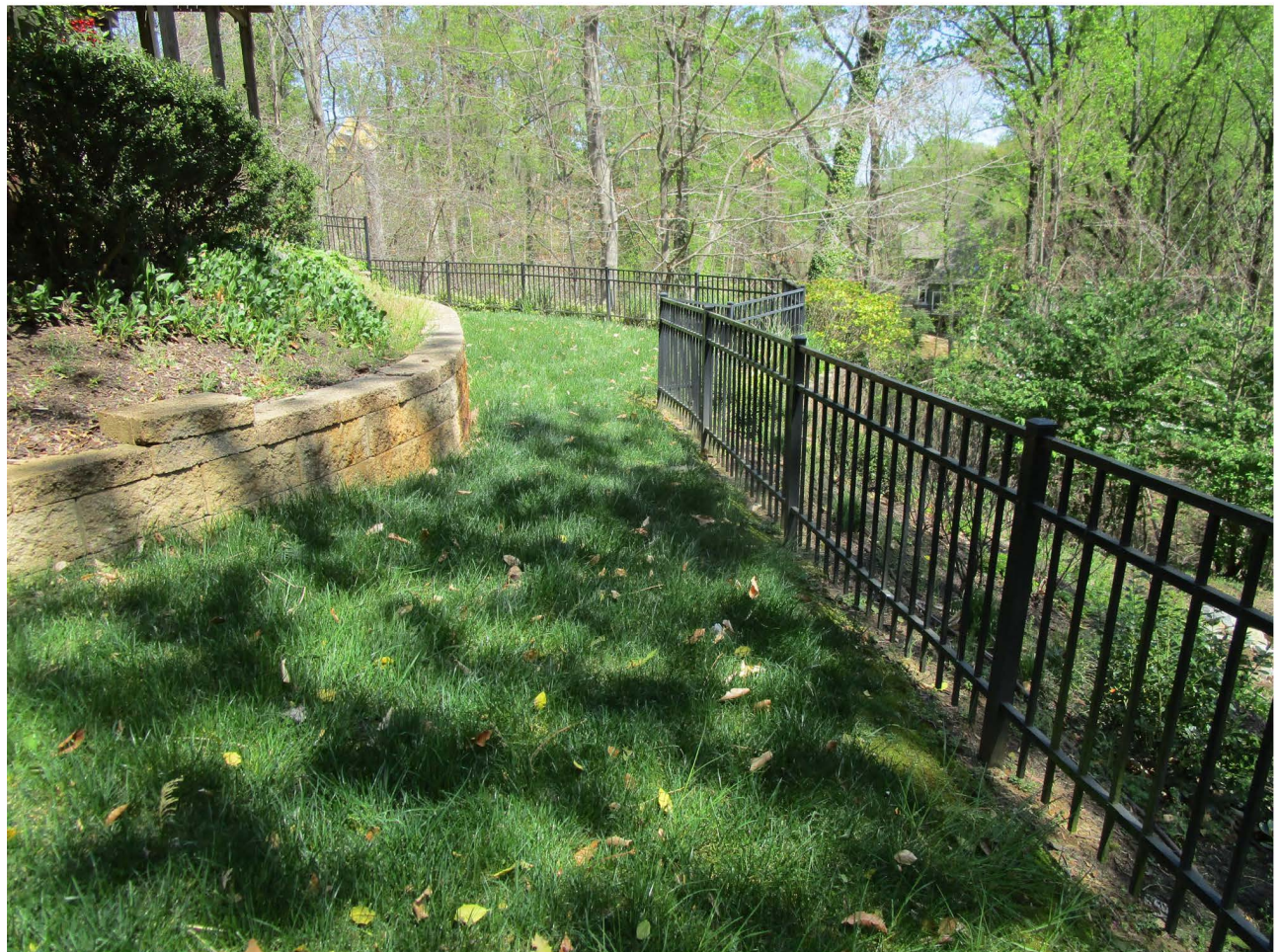
EXHIBIT C



2025



2005



2024



06.12.2005

2005



2025

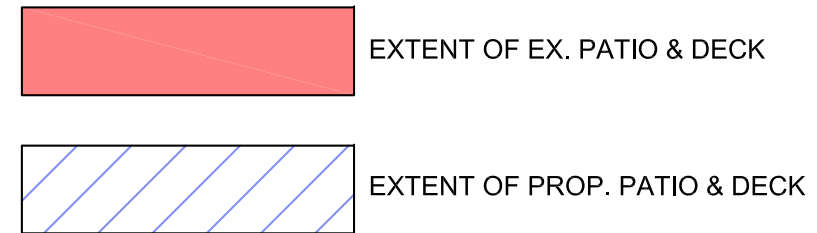
EXHIBIT D

APPLICANT EXHIBIT 4
2024-0212-V
01/30/2025

EX. DWELLING

EX. WALL

PROPOSED IMPROVEMENTS ALIGN WITH EXISTING WALL. REPLACING THE EXISTING IMPROVEMENTS IN-KIND WOULD REQUIRE THE SAME AMOUNT OF DISTURBANCE WITHIN THE EXPANDED BUFFER AS THE PROPOSED IMPROVEMENTS



Drum, Loyka & Associates, LLC
CIVIL ENGINEERS - LAND SURVEYORS
1410 Forest Drive, Suite 35, Annapolis, Maryland 21403
Phone: 410-280-3122 • www.drumloyka.com

OWNER:
JUDY GRAHAM & NICHOLAS JONES
1589 EATON WAY
ANNAPOLIS, MARYLAND 21401

VARIANCE EXHIBIT
THE DOWNS ~ LOT 107, SEC. 12
1589 EATON WAY, ANNAPOLIS, MARYLAND 21401
TAX ACCT. NO.02-219-90020547

SCALE: 1"=5'	DATE: JAN. 29, 2025	PROJ. NO: DG04924	SHEET 1 OF 1
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1



2



3



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