

STANDARD RESPONSIBILITY NOTES:

- I (WE) CERTIFY THAT:
 - ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THIS SEDIMENT AND EROSION CONTROL PLAN, AND FURTHER, AUTHORIZE THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY THE ANNE ARUNDEL SOIL CONSERVATION DISTRICT (ASCD) BOARD OF SUPERVISORS OR THEIR AUTHORIZED AGENTS.
 - ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE FROM THE MARYLAND DEPARTMENT OF THE ENVIRONMENT'S APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.
 - IF APPLICABLE, THE APPROPRIATE ENCLOSURE WILL BE CONSTRUCTED AND MAINTAINED ON SEDIMENT BASIN(S) INCLUDED IN THIS PLAN. SUCH STRUCTURE(S) WILL BE IN COMPLIANCE WITH THE ANNE ARUNDEL COUNTY CODE.
- THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHT, AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORM WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THE PLAN.
- FOR INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT AND/OR TEMPORARY STABILIZATION PER THE ASCD VEGETATIVE ESTABLISHMENT SHALL BE COMPLETED WITHIN THREE CALENDAR DAYS FOR THE SURFACE OF ALL CONTROLS DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) AND SEVEN DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- THE GRADING AND SEDIMENT CONTROL APPROVAL ON THIS PLAN EXTENDS ONLY TO THOSE AREAS WITHIN THE LIMITS OF DISTURBANCE.
- THE APPROVAL OF THIS PLAN FOR SEDIMENT AND EROSION CONTROL DOES NOT RELIEVE THE DEVELOPER/CONSULTANT FROM COMPLYING WITH FEDERAL, STATE OR COUNTY REQUIREMENTS PERTAINING TO ENVIRONMENTAL ISSUES.
- THE DEVELOPER MUST REQUEST THAT THE SEDIMENT AND EROSION CONTROL INSPECTOR APPROVE WORK COMPLETED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN, THE GRADING OR BUILDING PERMIT, AND THE ORDINANCE.
- ALL MATERIAL SHALL BE TAKEN TO A SITE WITH AN APPROVED SEDIMENT AND EROSION CONTROL PLAN.
- FIRST PHASE INSPECTION AND APPROVAL OF THE SEDIMENT AND EROSION CONTROL INSPECTOR SHALL BE REQUIRED UPON COMPLETION OF THE INSTALLATION OF EROSION AND SEDIMENT CONTROLS PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THE INITIAL APPROVAL BY THE SEDIMENT AND EROSION CONTROL INSPECTOR IS GIVEN. INSPECTION AND PERMITS MAY ALSO REQUIRE THAT AN INSPECTION AND CERTIFICATION OF THE INSTALLATION OF SEDIMENT CONTROL ALSO BE PERFORMED BY A DESIGN PROFESSIONAL PRIOR TO CONSTRUCTION COMMENCING.
- APPROVAL FROM THE INSPECTOR MUST BE REQUESTED ON FINAL STABILIZATION OF ALL SITES PRIOR TO REMOVAL OF SEDIMENT AND EROSION CONTROLS.
- EXISTING TOPOGRAPHY MUST BE FIELD VERIFIED BY RESPONSIBLE PERSONNEL TO THE SATISFACTION OF THE SEDIMENT CONTROL INSPECTOR PRIOR TO COMMENCING WORK.

ANNE ARUNDEL COUNTY MARYLAND

DEPARTMENT OF PUBLIC WORKS

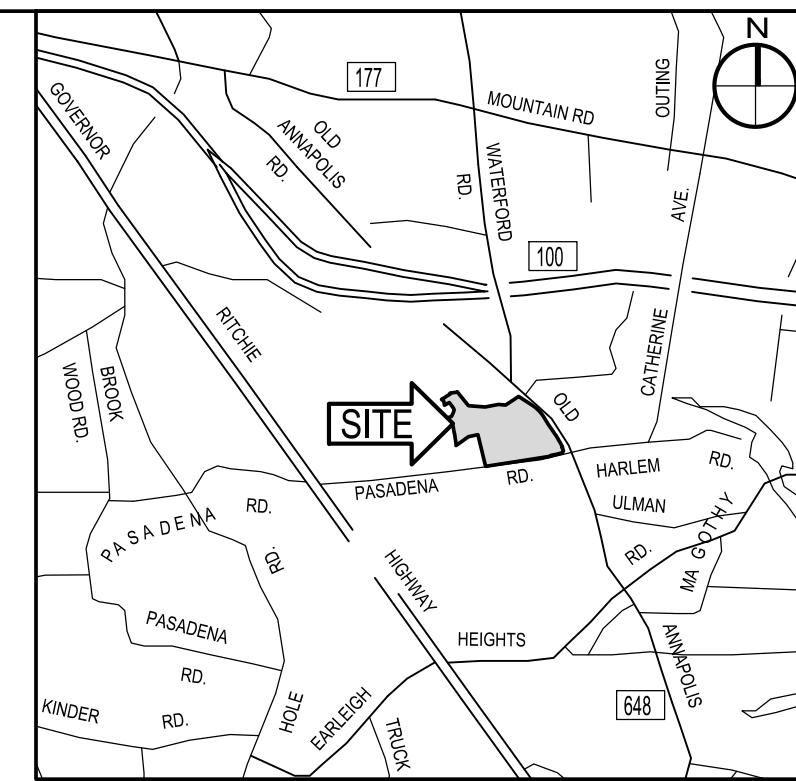
LAKE WATERFORD PARK

SITE DEVELOPMENT

SD SUBMISSION - DECEMBER 20th 2024

830 PASADENA ROAD, PASADENA, MARYLAND 21122

PROJECT NO.: P591000, CONTRACT NO. P591001



VICINITY MAP
SCALE: 1" = 2,000'

SIGNATURE OF DEVELOPER/OWNER _____ DATE _____
 PRINT NAME: David Braun
 TITLE: Engineer Administrator
 ADDRESS: ANNE ARUNDEL COUNTY DEPARTMENT OF PUBLIC WORKS
 2662 RIVA ROAD
 ANNAPOLIS, MARYLAND 21401
 TELEPHONE NUMBER: (410) 222 - 7500
 EMAIL ADDRESS: pwbrown78@aaacounty.org

CONSULTANT'S CERTIFICATION

THE DEVELOPER'S PLAN TO CONTROL SILT AND EROSION IS ADEQUATE TO CONTAIN THE SILT AND EROSION ON THE PROPERTY COVERED BY THE PLAN. I CERTIFY THAT THIS PLAN OF EROSION AND SEDIMENT CONTROL REPRESENTS A FEASIBLE AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THIS SITE, AND WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ASCD PLAN SUBMITTAL GUIDELINES AND THE CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. I HAVE REVIEWED THIS EROSION AND SEDIMENT CONTROL PLAN WITH THE OWNER/DEVELOPER.

MD P.E. LICENSE # 27734

MD LAND SURVEYOR LICENSE # _____

MD LANDSCAPE ARCHITECT # _____

NAME JESSE LINDSAY, P.E.

FIRM NAME TRANSYSTEMS

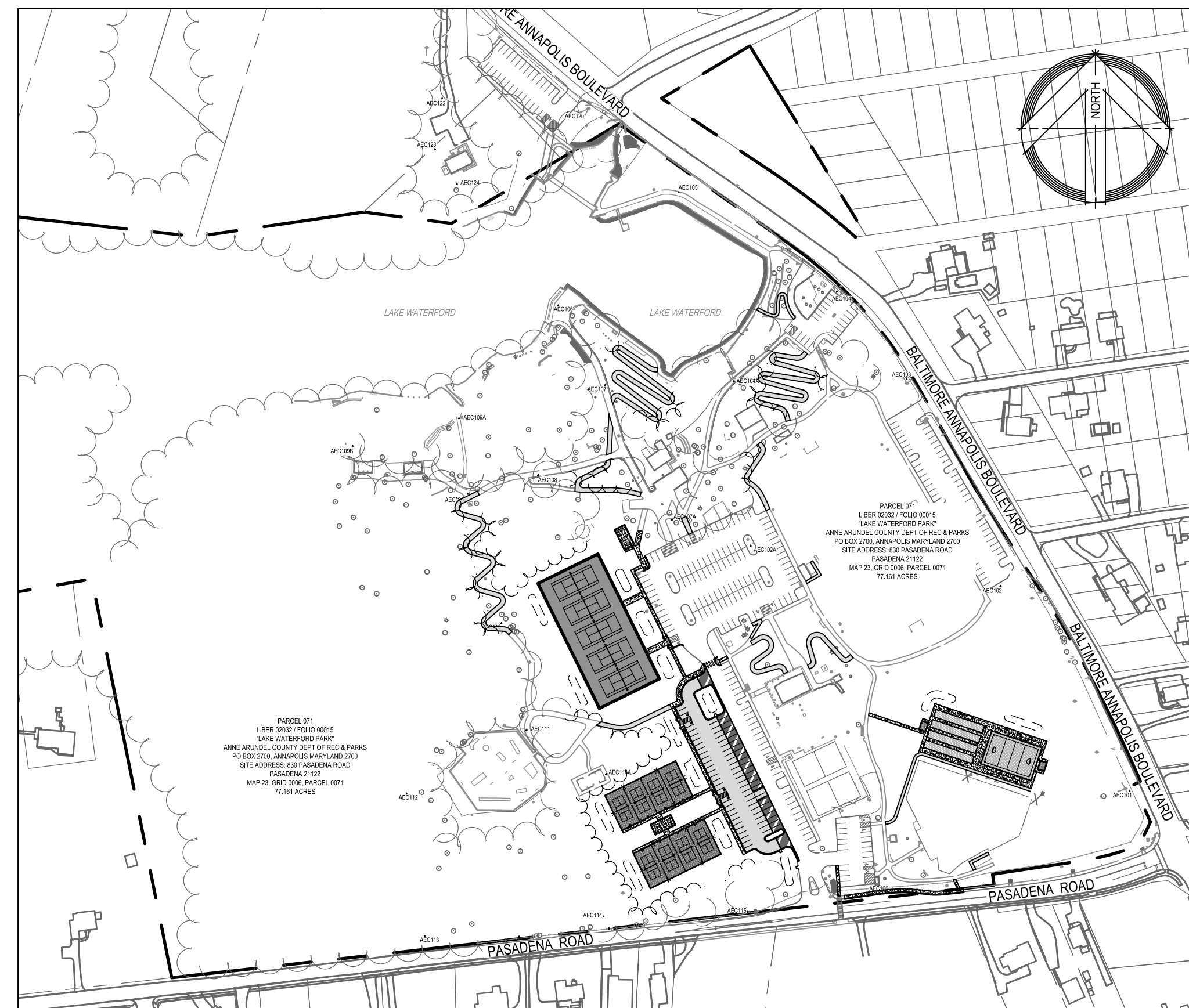
ADDRESS 300 E. JOPPA ROAD, SUITE 200

CITY TOWNSHIP STATE MD ZIP CODE 21286

NOTE: THE CONSULTANT'S CERTIFICATION MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER IF THE SITE LIES WITHIN THE SEVERN RIVER WATERSHED.

GENERAL NOTES:

- THE PROPERTY DELINEATED HEREON IS SHOWN ON TAX MAP 23, GRID 6, PARCEL 71 AND IS LISTED IN THE NAME OF ANNE ARUNDEL COUNTY, MARYLAND AS RECORDED IN LIBER 2032 AT FOLIO 15 AMONG THE LAND RECORDS OF ANNE ARUNDEL COUNTY, MARYLAND.
- THE PROPERTY LIES WITHIN ZONE 'X' (AREA OF 0.2% ANNUAL CHANCE OF FLOOD) AS PLOTTED ON NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL MAP NO. 24003C0145E DATED OCTOBER 16, 2012 FOR ANNE ARUNDEL COUNTY, MARYLAND.
- NO TITLE REPORT FURNISHED: THIS SURVEY IS NOT A COMPREHENSIVE RECORD OF APPURTENANCES OR ENCUMBRANCES OF RECORD OR IN USE.
- THIS SURVEY INFORMATION SHOWN HEREON IS BASED ON MARYLAND STATE PLAN COORDINATE SYSTEM NAD 83(2011) HORIZONTAL DATUM AND NAVD 88 VERTICAL DATUM. PRIMARY CONTROL IS BASED ON GPS OBSERVATIONS USING OPUS PROCESSED THROUGH NGS.
- THIS FIELD RUN BOUNDARY AND TOPOGRAPHIC SURVEY WAS PERFORMED BY ARUNDEL COUNTY, MARYLAND DURING JANUARY 2022 THRU JANUARY 2023.
- NO EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITION WAS OBSERVED AT THE TIME OF THE SURVEY.
- THE EXISTENCE OF VEGETATED OR TIDAL WETLANDS, WATERS OF THE U.S. AND/OR HAZARDOUS WASTES HAS BEEN NEITHER INVESTIGATED NOR CONFIRMED DURING THE PERFORMANCE OF THIS SURVEY.
- ADDITIONAL SPOT ELEVATIONS RESIDE IN THE ELECTRONIC VERSION OF THIS DRAWING BUT ARE NOT PLOTTED HEREON.
- THE EXISTING UTILITIES SHOWN HEREON HAVE BEEN LOCATED BY ACTUAL FIELD MEASUREMENTS OF OBSERVABLE EVIDENCE. WE DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF THE INFORMATION RECEIVED. THE CONTRACTOR MUST VERIFY ALL SUCH INFORMATION TO HIS OWN SATISFACTION AND MUST NOTIFY THE UTILITY COMPANIES INVOLVED PRIOR TO THE START OF ANY WORK. OBSERVED PAINT MARKINGS WERE LOCATED AS SHOWN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ACTUAL SITE CONDITIONS PRIOR TO THE START OF ANY WORK. THERE IS NO WARRANTY OR GUARANTEE ON THE COMPLETENESS OR CORRECTNESS OF THE EXISTING CONDITION INFORMATION. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO THE START OF ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "MISS UTILITY" AT 1-800-257-7777 THREE DAYS PRIOR TO THE START OF ANY EXCAVATION WORK.
- THE WORDS "CERTIFY" OR "CERTIFICATION" AS USED HEREON ARE UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE UNDERSIGNED SURVEYOR, BASED UPON HIS BEST KNOWLEDGE, INFORMATION, AND BELIEF. AS SUCH, IT DOES NOT CONSTITUTE A GUARANTEE NOR A WARRANTY, EXPRESSED OR IMPLIED.
- THE WORDS "CERTIFY" OR "CERTIFICATION" AS USED HEREON ARE UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE UNDERSIGNED SURVEYOR, BASED UPON HIS BEST KNOWLEDGE, INFORMATION, AND BELIEF. AS SUCH, IT DOES NOT CONSTITUTE A GUARANTEE NOR A WARRANTY, EXPRESSED OR IMPLIED.
- TRACK-TYPE VEHICLES ARE PROHIBITED FROM TRAVELING ON OR ACROSS PAVED SITE ROADWAYS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY REMOVAL OF ALL DUST AND MUD ON ALL THE ROADS DUE TO CONTRACTOR ARRIVING AND LEAVING THE JOB SITE AND AS DIRECTED BY THE ENGINEER OR ANNE ARUNDEL COUNTY INSPECTOR. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR APPLYING AND OBTAINING ALL TRADE (ELECTRICAL, BUILDING AND PLUMBING) PERMITS.



LOCATION MAP
SCALE: 1" = 200'

SURVEY TRAVERSE CONTROL LISTING

PT#	NORTHING	EASTING	ELEV.	DESCRIPTION
AEC100	526350.0424	1437806.7600	66.1800	TRAV AEC RC
AEC101	526518.0712	1438255.8197	64.7600	TRAV AEC RC
AEC101A	5269616.0936	1437523.1029	62.8100	TRAV MAGHUB NAIL
AEC102	526886.6171	1438024.3109	65.5500	TRAV AEC RC
AEC102A	526958.9308	1437575.9599	59.8600	TRAV AEC RC
AEC103	527258.2177	1437855.6774	49.4000	TRAV AEC RC
AEC104	527415.1304	1437730.8024	35.8200	TRAV MAGHUB NAIL
AEC104A	527254.7317	1437546.0774	44.2200	TRAV MAG NAIL
AEC105	527583.1824	1437446.7133	30.1600	TRAV MAG NAIL
AEC106	527390.1622	1437230.6554	28.9700	TRAV MAG NAIL
AEC107	527247.3416	1437514.9561	42.5700	TRAV MAG NAIL
AEC107A	527005.7951	1437434.7426	54.8000	TRAV MAGHUB NAIL
AEC108	527085.9458	1437194.7413	42.5600	TRAV MAG NAIL
AEC109	527051.8416	1437066.3203	42.3000	TRAV MAG NAIL
AEC109A	527187.7215	1437052.3534	28.3600	TRAV MAGHUB NAIL
AEC109B	527137.9937	1436861.9115	45.9700	TRAV MAGHUB NAIL
AEC110	526819.6700	1437128.6932	53.0200	TRAV MAG NAIL
AEC111	526628.5105	1437173.9017	55.2800	TRAV MAG NAIL
AEC112	526513.6189	1436958.5115	56.5800	TRAV MAGHUB NAIL
AEC113	526527.3011	1436991.4773	62.9000	TRAV MAGHUB NAIL
AEC114	526292.5943	1437312.0872	62.3700	TRAV MAGHUB NAIL
AEC114A	526548.8260	1437316.5627	57.1500	TRAV MAG NAIL
AEC115	526502.3650	1437570.3548	49.3700	TRAV MAGHUB NAIL
AEC120	527736.5545	1437247.6041	23.6300	TRAV MAG NAIL
AEC121	527960.9010	1437040.0442	40.9100	TRAV AEC RC
AEC122	527761.6917	1437022.4223	47.9800	TRAV MAGHUB NAIL
AEC123	527670.7774	1437009.5352	49.3000	TRAV MAGHUB NAIL
AEC124	527608.7282	1437048.8516	43.3700	TRAV MAGHUB NAIL

INDEX OF DRAWINGS

SHEET NO.	SHEET TITLE
1.	COVER SHEET
2.	OVERALL EXISTING CONDITIONS PLAN
3.	EXISTING CONDITIONS AND DEMOLITION PLAN
4.	EXISTING CONDITIONS AND DEMOLITION PLAN
5.	OVERALL SITE LAYOUT PLAN
6.	SITE LAYOUT PLAN
7.	SITE LAYOUT PLAN
8.	SITE DETAILS
9.	SITE DETAILS
10.	SITE DETAILS
11.	OVERALL GRADING AND STORM DRAIN PLAN
12.	GRADING AND STORM DRAIN PLAN
13.	GRADING AND STORM DRAIN PLAN
14.	OVERALL STORM WATER MANAGEMENT PLAN
15.	STORM WATER MANAGEMENT DETAILS - MICRO-BIoretention
16.	FOREST STAND DELINEATION PLAN
17.	FOREST CONSERVATION PLAN
18.	FOREST CONSERVATION NOTES AND DETAILS
19.	WATER QUALITY MAP

LEGEND

DESCRIPTION	EXISTING	REMOVE	NEW
BUILDING	EX. BLDG	EX. BLDG	NEW
BITUMINOUS CONCRETE PAVING	EX. MACADAM		
MACADAM WALK	MACADAM WALK		
CONCRETE WALK	CONC WALK		
MILL AND OVERLAY	EX. MACADAM		
ATHLETIC COURT SURFACE			
CONC. CURB			
WALL			
METAL FENCE	X	X	X
WOOD FENCE			
SIGN (ONE-POST)			
SPOT ELEVATION	+ 50.5		+ 50.5
MAJOR CONTOUR	50		50
MINOR CONTOUR	51		51
O/H ELECTRIC	OHE	OHE	
U/G ELECTRIC	E		
U/G STORM	D		
U/G WATER	W		
PROPERTY LINE			
BLDG SETBACK LINE			
SOIL BORING	B#		
SURVEY LIMITS			
TREES			
TREE LINE			
DRAIN INLET			
POWER POLE			
STORM DRAIN MH			
STREET LIGHT			
TRAVERSE STATION			
WELL			
WATER VALVE			
WATER VALVE			
SOIL LINE	P#B (A)	P#B (A)	
STEEP SLOPES (15% - 25%)			
STEEP SLOPES (25% OR GREATER)			
LIMIT OF DISTURBANCE			LOD
FLOW ARROW			

SITE ANALYSIS

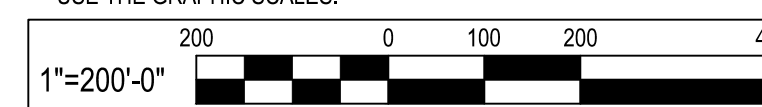
- TOTAL AREA OF PARCEL: _____ ACRES
- TOTAL DISTURBED AREA: _____ SF = ACRES
- TOTAL AREA TO BE STABILIZED: _____ ACRES
 - TOTAL IMPERVIOUS AREA: _____ ACRES
 - TOTAL TO BE VEGETATIVE STABILIZED: _____ ACRES
- PROPOSED NEW IMPERVIOUS AREA: _____ ACRES
 - ESTIMATED CUT: _____ CU.YDS.
 - ESTIMATED FILL: _____ CU.YDS.

NOTE: THE EARTHWORK QUANTITIES SHOWN HEREON ARE FOR INFORMATION PURPOSES ONLY. NO GUARANTEES OF ACCURACY OF QUANTITIES OR BALANCE OF SITE. THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY OF ACTUAL EARTHWORK QUANTITIES ENCOUNTERED DURING CONSTRUCTION.

OWNER
 ANNE ARUNDEL COUNTY
 2662 RIVA ROAD FL 3
 ANNAPOLIS, MARYLAND 21401-7055
 (410) 222-7300

APPLICANT
 TRANSYSTEMS
 300 E. JOPPA ROAD, STE 200
 BALTIMORE, MARYLAND 21286
 (410) 512-4500

CAUTION: IF THIS DRAWING IS A REDUCTION, USE THE GRAPHIC SCALES.



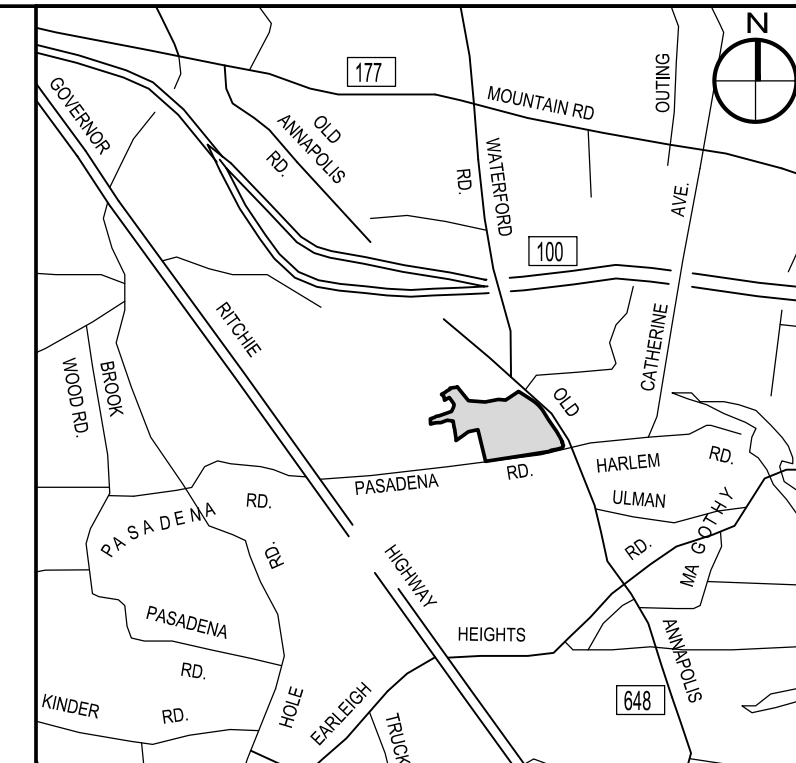
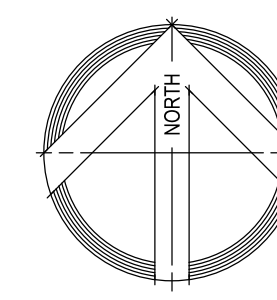
300 East Joppa Road Suite 200
 Baltimore, MD 21286
 410.512.4500 www.transystems.com



I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License # 27734 Expiration Date: 07/12/2028

REVISIONS			
NO.	DESCRIPTION	BY	DATE

ANNE ARUNDEL COUNTY				DEPARTMENT OF PUBLIC WORKS			
APPROVED	DATE	APPROVED	DATE	SCALE: AS SHOWN	LAKE WATERFORD PARK		
CHIEF ENGINEER		PROJECT MANAGER		DRAWN BY: R.S.S.			
APPROVED	DATE	APPROVED	DATE	CHECKED BY: R.W.H.			
ASSISTANT CHIEF ENGINEER		CHIEF, RIGHT-OF-WAY		SHEET NO. 01 OF 19	COVER SHEET		
				PROJECT NO.: P591000			
				CONTRACT NO.: P591001			



VICINITY MAP
SCALE: 1" = 2,000'

TRAVERSE CONTROL POINTS:

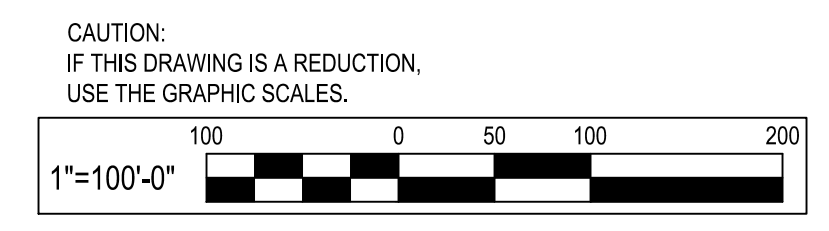
POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
AEC100	526,350.042	1,437,806.760	66.18	TRAV AEC RC
AEC101	526,518.071	1,438,255.820	64.76	TRAV AEC RC
AEC101A	526,616.094	1,437,523.103	62.81	TRAV MAGHUB NAIL
AEC102	526,886.617	1,436,024.311	65.55	TRAV AEC RC
AEC102A	526,958.931	1,437,875.857	59.86	TRAV AEC RC
AEC103	527,258.218	1,437,856.971	49.40	TRAV AEC RC
AEC104	527,415.130	1,437,730.802	35.82	TRAV MAGHUB NAIL
AEC104A	527,254.732	1,437,546.077	44.22	TRAV MAG NAIL
AEC105	527,593.182	1,437,446.713	30.16	TRAV MAG NAIL
AEC106	527,390.160	1,437,230.655	28.87	TRAV MAG NAIL
AEC107	527,247.342	1,437,314.856	42.57	TRAV MAG NAIL
AEC107A	527,005.795	1,437,434.743	54.80	TRAV MAGHUB NAIL
AEC108	527,085.946	1,437,194.741	42.56	TRAV MAG NAIL
AEC109	527,051.842	1,437,068.320	42.30	TRAV MAG NAIL
AEC109A	527,187.722	1,437,052.553	28.36	TRAV MAGHUB NAIL
AEC109B	527,137.994	1,436,861.911	45.97	TRAV MAGHUB NAIL
AEC110	526,819.670	1,437,128.693	53.02	TRAV MAG NAIL
AEC111	526,629.511	1,437,173.902	55.28	TRAV MAG NAIL
AEC112	526,518.071	1,436,958.511	55.58	TRAV MAGHUB NAIL
AEC113	526,257.301	1,436,991.477	62.90	TRAV MAGHUB NAIL
AEC114	526,292.994	1,437,312.087	62.37	TRAV MAGHUB NAIL
AEC114A	526,548.826	1,437,316.563	57.15	TRAV MAG NAIL
AEC115	526,302.365	1,437,570.355	62.97	TRAV MAGHUB NAIL
AEC120	527,736.554	1,437,247.604	23.63	TRAV MAG NAIL
AEC121	527,960.901	1,437,040.044	40.91	TRAV AEC RC
AEC122	527,761.692	1,437,022.422	47.98	TRAV MAGHUB NAIL
AEC123	527,670.777	1,437,009.535	49.30	TRAV MAGHUB NAIL
AEC124	527,608.728	1,437,048.852	43.97	TRAV MAGHUB NAIL

SITE INFORMATION :

- OWNER: ANNE ARUNDEL COUNTY DEPARTMENT OF RECREATIONS AND PARKS
P.O. BOX 2700
ANNAPOLIS, MARYLAND 21404-2700
 - SITE ADDRESS: LAKE WATERFORD PARK
830 PASADENA ROAD
PASADENA, MARYLAND 21122
 - SITE DATA: TAX ID: 03-000-00477574
TAX MAP / GRID: 0023 / 0006
PARCEL: 0071
LIBER / FOLIO: 02032 / 00015
ZONING: OS (OPEN SPACE)
77.161 ACRES
- EXISTING FEATURES SHOWN HEREON WERE TAKEN FROM ACTUAL FIELD MEASUREMENTS BY AECOM DURING JANUARY 2022 THRU JANUARY 2023.
 - SURVEY INFORMATION SHOWN HEREON IS BASED ON MARYLAND STATE PLAN COORDINATE SYSTEM NAD83(2011) HORIZONTAL DATUM AND NAVD88 VERTICAL DATUM. PRIMARY CONTROL IS BASED ON GPS OBSERVATIONS USING OPUS PROCESSED THROUGH NGS.
 - AEC100 N 526,350.0424 E 1,437,806.7600 EL 66.18' (REBAR&CAP)
 - AEC101 N 526,518.0712 E 1,438,255.8197 EL 64.76' (REBAR&CAP)
COMBINED SCALE FACTOR: (AEC107A - GRID TO GROUND) 0.9999612107
 - UTILITIES SHOWN HEREON HAVE BEEN LOCATED BY ACTUAL FIELD MEASUREMENTS OF OBSERVABLE EVIDENCE. WE DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF THE INFORMATION RECEIVED. THE CONTRACTOR MUST VERIFY ALL SUCH INFORMATION TO HIS OWN SATISFACTION AND MUST NOTIFY THE UTILITY COMPANIES INVOLVED PRIOR TO THE START OF THE WORK. OBSERVED PAINT MARKINGS WERE LOCATED AS SHOWN.

PARKING TABULATION:

EXISTING PARKING LOT 'A'	
STANDARD PARKING SPACES	= 108 SPACES
HANDICAP (ADA) PARKING SPACES	= 5 (5 VAN ACCESSIBLE)
TOTAL PARKING SPACES	= 113 SPACES
EXISTING PARKING LOT 'B'	
STANDARD PARKING SPACES	= 61 SPACES
HANDICAP (ADA) PARKING SPACES	= 3 (3 VAN ACCESSIBLE)
TOTAL PARKING SPACES	= 64 SPACES
EXISTING PARKING LOT 'C'	
STANDARD PARKING SPACES	= 16 SPACES
HANDICAP (ADA) PARKING SPACES	= 4 (3 VAN ACCESSIBLE)
TOTAL PARKING SPACES	= 20 SPACES



300 East Joppa Road Suite 200
Baltimore, MD 21286
410.512.4500 www.transystems.com

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License # 27734, Expiration Date: 07/12/28

REVISIONS			
NO.	DESCRIPTION	BY	DATE

ANNE ARUNDEL COUNTY
DEPARTMENT OF PUBLIC WORKS

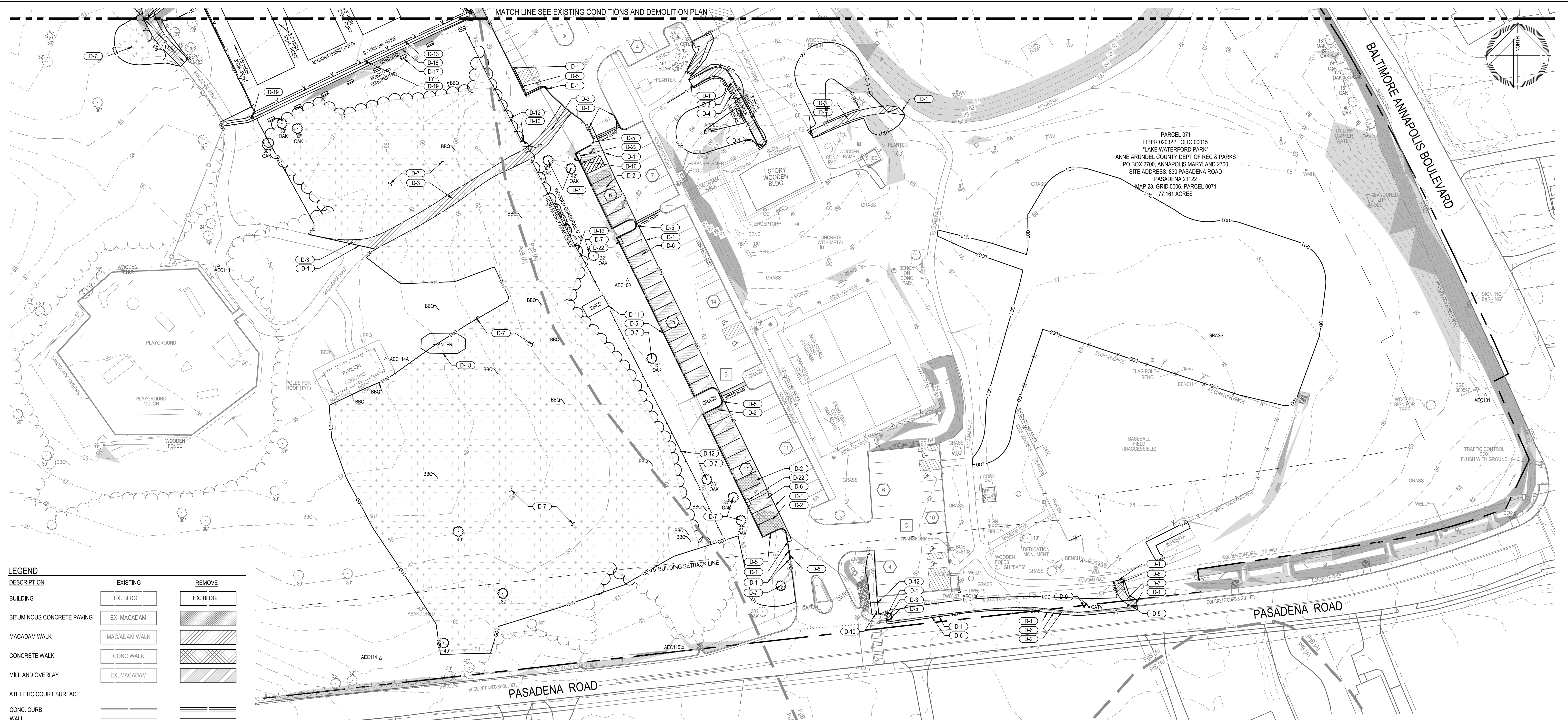
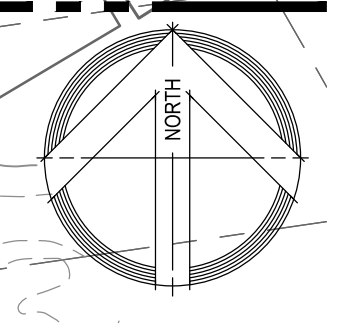
APPROVED	DATE	APPROVED	DATE	SCALE: 1" = 100'
				DRAWN BY: R.S.S.
				CHECKED BY: R.W.H.
				SHEET NO. 02 OF 19
				PROJECT NO.: P591000
				CONTRACT NO.: P591001

LAKE WATERFORD PARK

OVERALL EXISTING CONDITIONS PLAN

G:\Projects_2024\BL720\720240037\Drawings\720240037-C101-Demolition Plan.dwg Dec 19, 2024 - 11:26am Plot By: remith

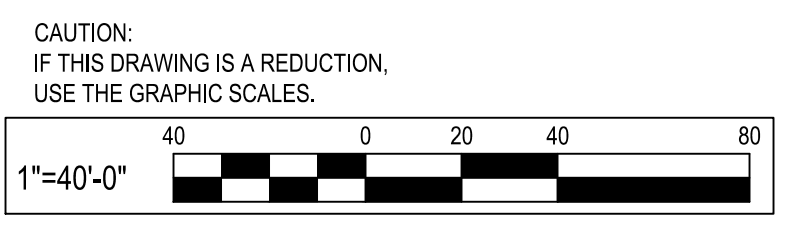
MATCH LINE SEE EXISTING CONDITIONS AND DEMOLITION PLAN



PARCEL 071
LIBER 02032 / FOLIO 00015
"LAKE WATERFORD PARK"
ANNE ARUNDEL COUNTY DEPT OF REC & PARKS
PO BOX 2700, ANNAPOLIS MARYLAND 2700
SITE ADDRESS: 330 PASADENA ROAD
PASADENA 21122
MAP 23, GRID 0006, PARCEL 0071
77.161 ACRES

DESCRIPTION	EXISTING	REMOVE
BUILDING	EX. BLDG	EX. BLDG
BITUMINOUS CONCRETE PAVING	EX. MACADAM	
MACADAM WALK	MACADAM WALK	
CONCRETE WALK	CONC WALK	
MILL AND OVERLAY	EX. MACADAM	
ATHLETIC COURT SURFACE		
CONC. CURB WALL		
METAL FENCE	X	X
WOOD FENCE		
SIGN (ONE-POST)		
SPOT ELEVATION	x 50.5	
MAJOR CONTOUR	50	
MINOR CONTOUR	51	
O/H ELECTRIC	OHE	OHE
U/G ELECTRIC	E	
U/G STORM	D	D
U/G WATER	W	
PROPERTY LINE		
BLDG SETBACK LINE		
SOIL BORING	B#	
SURVEY LIMITS		
TREES	10' 6"	10' 6"
TREE LINE		
DRAIN INLET		
POWER POLE		
STORM DRAIN MH		
STREET LIGHT		
TRAVERSE STATION	AEC#	
WELL		
WATER VALVE		
WATER VALVE		
SOIL LINE	PgB (A) PuB (A)	
STEEP SLOPES (15% - 25%)		
STEEP SLOPES (25% OR GREATER)		

- DEMOLITION NOTES**
- D-1 SAW CUT BITUMINOUS CONCRETE PAVING AND CONCRETE CURB.
 - D-2 REMOVE AND DISPOSE OF BITUMINOUS CONCRETE PAVING.
 - D-3 REMOVE AND DISPOSE OF MACADAM/CONCRETE WALK.
 - D-4 REMOVE AND DISPOSE OF HANDRAIL.
 - D-5 REMOVE AND DISPOSE OF CONCRETE CURB.
 - D-6 MILL 1 1/2" OF EXISTING BITUMINOUS PAVING.
 - D-7 REMOVE EXISTING TREE.
 - D-8 REMOVE AND DISPOSE OF WOOD POST.
 - D-9 REMOVE EXISTING CATV/BOX.
 - D-10 REMOVE EXISTING SIGN.
 - D-11 REMOVE EXISTING SHED.
 - D-12 REMOVE EXISTING WOODEN GUARDRAIL.
 - D-13 REMOVE AND SALVAGE OF CHAIN LINK FENCE.
 - D-14 REMOVE EXISTING CHAIN LINK FENCE AND GATE.
 - D-15 REMOVE AND DISPOSE OF WOODEN WALL.
 - D-16 REMOVE AND DISPOSE OF CONCRETE DITCH.
 - D-17 REMOVE AND DISPOSE OF CONCRETE PAD AND BENCH.
 - D-18 REMOVE AND DISPOSED PLANTER/WOODEN RETAINING WALL.
 - D-19 REMOVE ELECTRIC LIGHT.
 - D-20 REMOVE EXISTING GRAVEL STONE RIP-RAP.
 - D-21 REMOVE WOODEN SPLIT-RAIL FENCE.
 - D-22 REMOVE AND DISPOSED STORM DRAIN INLET.
 - D-23 REMOVE AND DISPOSE WOOD POST WITH ROPE FENCE.



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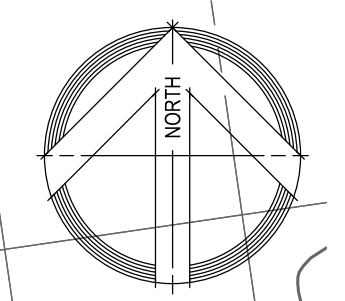
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REVISIONS			
NO.	DESCRIPTION	BY	DATE

ANNE ARUNDEL COUNTY DEPARTMENT OF PUBLIC WORKS			
APPROVED	DATE	APPROVED	DATE
CHIEF ENGINEER		PROJECT MANAGER	
APPROVED	DATE	APPROVED	DATE
ASSISTANT CHIEF ENGINEER		CHIEF, RIGHT-OF-WAY	
SCALE: 1" = 40'		DRAWN BY: R.S.S.	
CHECKED BY: R.W.H.		SHEET NO. 03 OF 19	
PROJECT NO.: P591000		EXISTING CONDITIONS AND DEMOLITION PLAN	
CONTRACT NO.: P591001			

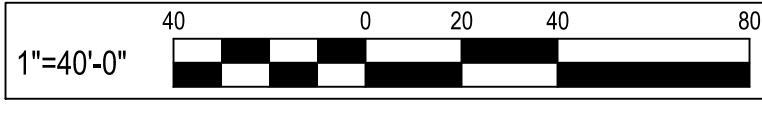
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PARCEL 071
LIBER 02052 / FOLIO 00015
"LAKE WATERFORD PARK"
ANNE ARUNDEL COUNTY DEPT OF REC & PARKS
PO BOX 2700, ANNAPOLIS MARYLAND 2700
SITE ADDRESS: 830 PASADENA ROAD
PASADENA 21122
MAP 23, GRID 0006, PARCEL 0071
77.161 ACRES

DESCRIPTION	EXISTING	REMOVE
BUILDING	EX. BLDG	EX. BLDG
BITUMINOUS CONCRETE PAVING	EX. MACADAM	
MACADAM WALK	MACADAM WALK	
CONCRETE WALK	CONC WALK	
MILL AND OVERLAY	EX. MACADAM	
ATHLETIC COURT SURFACE		
CONC. CURB		
WALL		
METAL FENCE	X	X
WOOD FENCE		
SIGN (ONE-POST)		
SPOT ELEVATION	50.5	
MAJOR CONTOUR	50	
MINOR CONTOUR	51	
O/H ELECTRIC	OHE	OHE
U/G ELECTRIC	E	
U/G STORM	D	D
U/G WATER	W	
PROPERTY LINE		
BLDG SETBACK LINE		
SOIL BORING	B#	
SURVEY LIMITS		
TREES	10' 6"	10' 6"
TREE LINE		
DRAIN INLET		
POWER POLE		
STORM DRAIN MH		
STREET LIGHT		
TRAVERSE STATION	AEC#	
WELL		
WATER VALVE		
WATER VALVE		
SOIL LINE	PgB (A)	PuB (A)
STEEP SLOPES (15% - 25%)		
STEEP SLOPES (25% OR GREATER)		

CAUTION:
IF THIS DRAWING IS A REDUCTION,
USE THE GRAPHIC SCALES.



MATCH LINE SEE EXISTING CONDITIONS AND DEMOLITION PLAN

DEMOLITION NOTES	
D-1	SAW CUT BITUMINOUS CONCRETE PAVING AND CONCRETE CURB.
D-2	REMOVE AND DISPOSE OF BITUMINOUS CONCRETE PAVING.
D-3	REMOVE AND DISPOSE OF MACADAM/CONCRETE WALK.
D-4	REMOVE AND DISPOSE OF HANDRAIL.
D-5	REMOVE AND DISPOSE OF CONCRETE CURB.
D-6	MILL 1 1/2" OF EXISTING BITUMINOUS PAVING.
D-7	REMOVE EXISTING TREE.
D-8	REMOVE AND DISPOSE OF WOOD POST.
D-9	REMOVE EXISTING CATV BOX.
D-10	REMOVE EXISTING SIGN.
D-11	REMOVE EXISTING SHED.
D-12	REMOVE EXISTING WOODEN GUARDRAIL.
D-13	REMOVE AND SALVAGE OF CHAIN LINK FENCE.
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D-23	REMOVE AND DISPOSE WOOD POST WITH ROPE FENCE.

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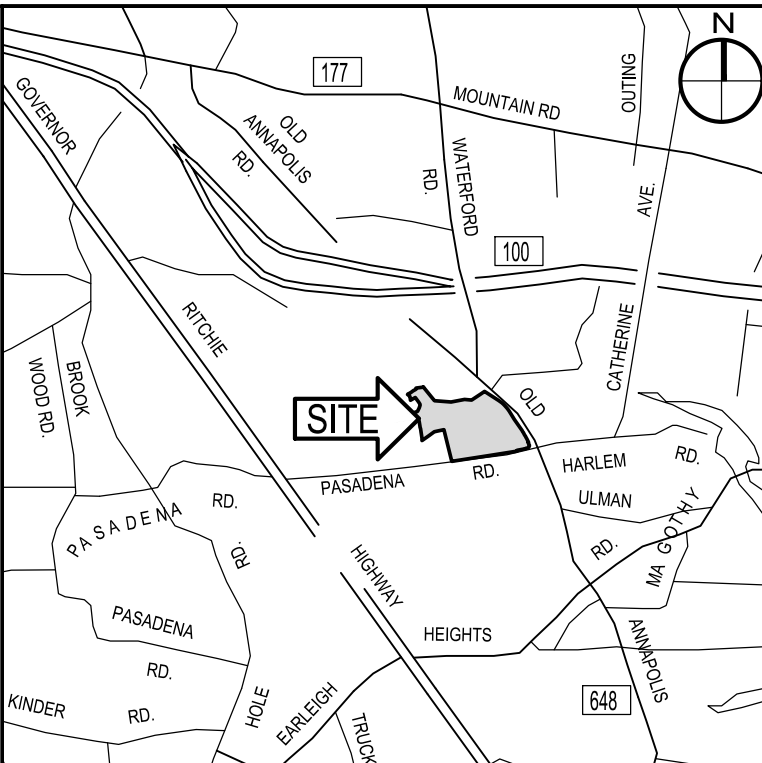
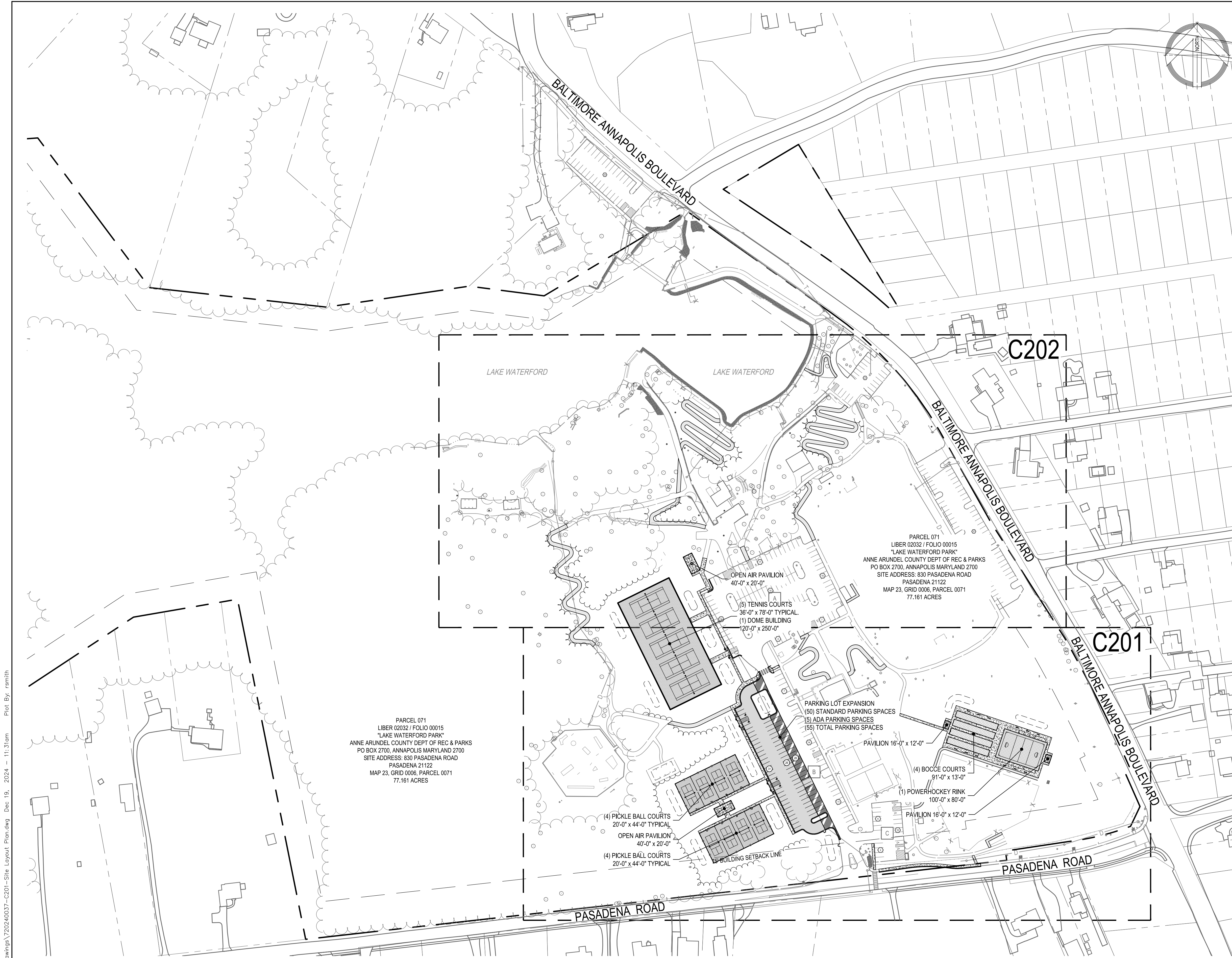
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APPROVED	DATE	APPROVED	DATE
ASSISTANT CHIEF ENGINEER		CHIEF, RIGHT-OF-WAY	
SCALE: 1" = 40'		DRAWN BY: R.S.S.	
CHECKED BY: R.W.H.		SHEET NO. 04 OF 19	
PROJECT NO.: P591000		EXISTING CONDITIONS AND DEMOLITION PLAN	
CONTRACT NO.: P591001			

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VICINITY MAP
SCALE: 1" = 2,000'

DESCRIPTION	EXISTING	NEW
BUILDING	EX. BLDG	[Symbol]
BITUMINOUS CONCRETE PAVING	EX. MACADAM	[Symbol]
MACADAM WALK	MAC/ADAM WALK	[Symbol]
CONCRETE WALK	CONC WALK	[Symbol]
MILL AND OVERLAY	EX. MACADAM	[Symbol]
ATHLETIC COURT SURFACE		[Symbol]
CONC. CURB		[Symbol]
WALL		[Symbol]
METAL FENCE	X	X
WOOD FENCE		
SIGN (ONE-POST)		
SPOT ELEVATION	+ 50.5	+ 50.5
MAJOR CONTOUR	50	50
MINOR CONTOUR	51	51
OH ELECTRIC	OHE	
UG ELECTRIC	E	
UG STORM	D	
UG WATER	W	
PROPERTY LINE		
BLDG SETBACK LINE		
SOIL BORING	B#	
SURVEY LIMITS		
TREES		
TREE LINE		
DRAIN INLET		[Symbol]
POWER POLE		[Symbol]
STORM DRAIN MH		[Symbol]
STREET LIGHT		[Symbol]
TRAVERSE STATION		[Symbol]
WELL		[Symbol]
WATER VALVE		[Symbol]
WATER VALVE		[Symbol]
SOIL LINE	P#B (A)	P#B (A)
STEEP SLOPES (15% - 25%)		[Symbol]
STEEP SLOPES (25% OR GREATER)		[Symbol]
LIMIT OF DISTURBANCE		LOD
FLOW ARROW		[Symbol]

PARKING TABULATION:

PROPOSED PARKING LOT 'A'	
STANDARD PARKING SPACES	= 108 SPACES
HANDICAP (ADA) PARKING SPACES	= 5 (6 VAN ACCESSIBLE)
TOTAL PARKING SPACES	= 113 SPACES
PROPOSED PARKING LOT 'B'	
STANDARD PARKING SPACES PROVIDED	= 109 SPACES
HANDICAP (ADA) SPACES	= 6 (6 VAN ACCESSIBLE)
TOTAL PARKING SPACES PROVIDED	= 115 SPACES
PROPOSED PARKING LOT 'C'	
STANDARD PARKING SPACES	= 16 SPACES
HANDICAP (ADA) PARKING SPACES	= 4 (3 VAN ACCESSIBLE)
TOTAL PARKING SPACES	= 20 SPACES
NET ADD	= 51 SPACES

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OPEN AIR PAVILION
40'-0" x 20'-0"
(5) TENNIS COURTS
36'-0" x 78'-0" TYPICAL
(1) DOME BUILDING
120'-0" x 250'-0"

PARKING LOT EXPANSION
(50) STANDARD PARKING SPACES
(5) ADA PARKING SPACES
(55) TOTAL PARKING SPACES

PAVILION 16'-0" x 12'-0"

(4) BOCCO COURTS
91'-0" x 13'-0"

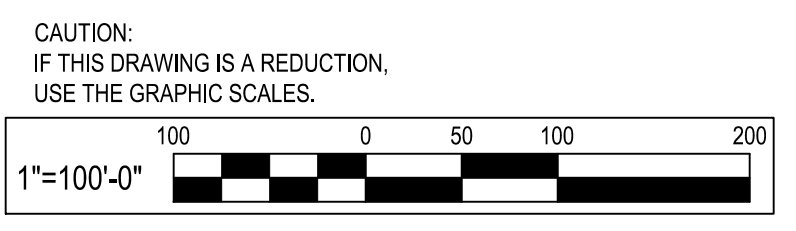
(1) POWERHOCKEY RINK
100'-0" x 80'-0"

PAVILION 16'-0" x 12'-0"

(4) PICKLE BALL COURTS
20'-0" x 44'-0" TYPICAL

OPEN AIR PAVILION
40'-0" x 20'-0"

(4) PICKLE BALL COURTS
20'-0" x 44'-0" TYPICAL



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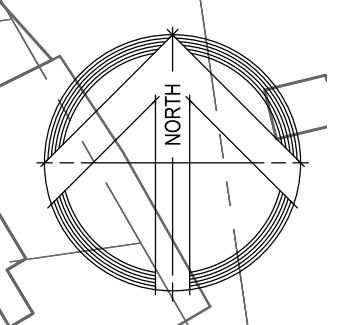
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DEPARTMENT OF PUBLIC WORKS

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				DRAWN BY: R.S.S.
				CHECKED BY: R.W.H.
				SHEET NO. 05 OF 19
				PROJECT NO.: P591000
				CONTRACT NO.: P591001

LAKE WATERFORD PARK
OVERALL SITE LAYOUT PLAN

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MATCH LINE SEE SITE LAYOUT PLAN

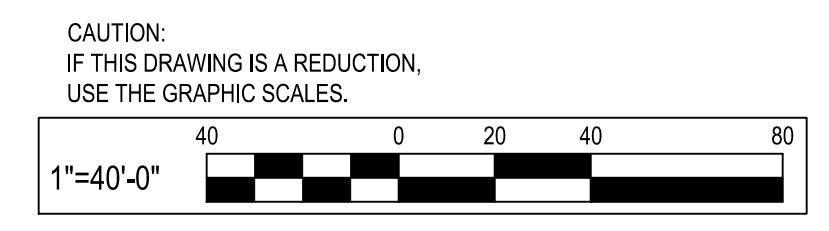
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BALTIMORE ANNAPOLIS BOULEVARD

PASADENA ROAD

- CONSTRUCTION NOTES**
- N-1 SAW CUT A STRAIGHT, SMOOTH, CLEAN EDGE TO MEET EXISTING CONDITIONS OR NEAREST JOINT.
 - N-2 NEW FULL DEPTH BITUMINOUS CONCRETE PAVING, SEE DETAIL #1 ON SITE DETAILS.
 - N-3 NEW BITUMINOUS CONCRETE WALK AND OVERLAY, SEE DETAIL #2 ON SITE DETAILS.
 - N-4 NEW BITUMINOUS CONCRETE WALK, SEE DETAIL #3 ON SITE DETAILS.
 - N-5 NEW PICKLE BALL COURTS, COURTS ARE HARD COURT SURFACES, SEE DETAIL #4 ON SITE DETAILS.
 - N-6 NEW CONCRETE SIDEWALK, SEE DETAIL #5 ON SITE DETAILS.
 - N-7 NEW CONCRETE CURB AND GUTTER, SEE DETAIL #6 ON SITE DETAILS.
 - N-8 NEW 3'-0" CURB OPENING, SEE DETAIL #7 ON SITE DETAILS.
 - N-9 NEW AIR DOME STRUCTURE WITH (5) TENNIS COURTS.
 - N-10 NEW PAVILION ON CONCRETE PAD, SEE DETAIL #8 ON SITE DETAILS.
 - N-11 NEW 4" PARKING STRIPING, SEE DETAIL #9 ON SITE DETAILS.
 - N-12 NEW ADA ACCESSIBLE PARKING STRIPING, SEE DETAIL #9 ON SITE DETAILS.
 - N-13 NEW PEDESTRIAN RAMP, SEE DETAIL #10 ON SITE DETAILS.
 - N-14 NEW ADA ACCESSIBLE PARKING SIGN, SEE DETAIL #11 ON SITE DETAILS.
 - N-15 NEW CONCRETE WHEEL STOP, SEE DETAIL #12 ON SITE DETAILS.
 - N-16 NEW 12' HIGH ATHLETIC COURT FENCING, SEE DETAIL #13 ON SITE DETAILS.
 - N-17 NEW 3' WIDE ATHLETIC COURT SWING GATE, SEE DETAIL #14 ON SITE DETAILS.
 - N-18 NEW PICKLE BALL AND TENNIS NET POST, SEE DETAIL #15 ON SITE DETAILS.
 - N-19 NEW PEDESTRIAN CROSS-WALK, SEE DETAIL #16 ON SITE DETAILS.
 - N-20 NEW BOCCIE COURTS, SEE DETAIL #17 ON SITE DETAILS.
 - N-21 NEW POWERCHAIR HOCKEY RINK, SEE DETAIL #18 ON SITE DETAILS.
 - N-22 NEW PEDESTRIAN CROSSING SIGN, SEE DETAIL #19 ON SITE DETAILS.
 - N-23 NEW STANDARD BENCH, SEE DETAIL #20 ON SITE DETAILS.

- LEGEND**
- NEW BUILDING
 - NEW FULL DEPTH BITUMINOUS PAVING
 - NEW OVERLAY BITUMINOUS PAVING
 - NEW COURT SURFACE
 - NEW BITUMINOUS CONCRETE WALK
 - NEW CONCRETE WALK / PAD
 - NEW CONCRETE CURB AND GUTTER
 - NEW FENCE
 - PARKING SPACE COUNT



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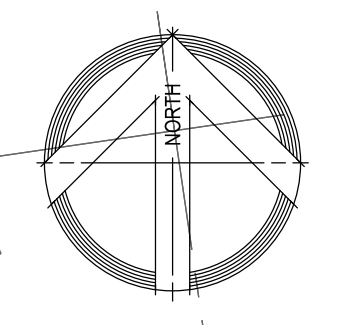
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SCALE: 1" = 40'		DRAWN BY: R.S.S.	
		CHECKED BY: R.W.H.	
		SHEET NO. 06 OF 19	
		PROJECT NO.: P591000	
		CONTRACT NO.: P591001	

LAKE WATERFORD PARK
SITE LAYOUT PLAN

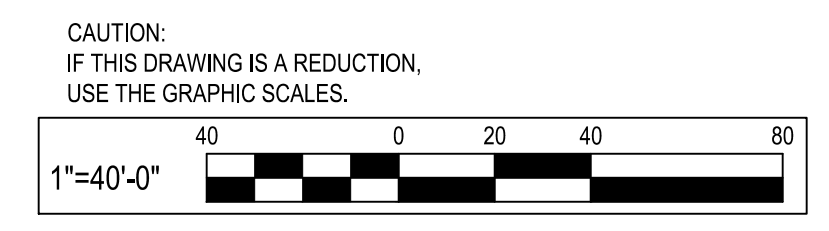
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- CONSTRUCTION NOTES**
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 - N-3 NEW BITUMINOUS CONCRETE CONCRETE MILL AND OVERLAY. SEE DETAIL #2 ON SITE DETAILS.
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- LEGEND**
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 - NEW BITUMINOUS CONCRETE WALK
 - NEW CONCRETE WALK / PAD
 - NEW CONCRETE CURB AND GUTTER
 - NEW FENCE
 - PARKING SPACE COUNT



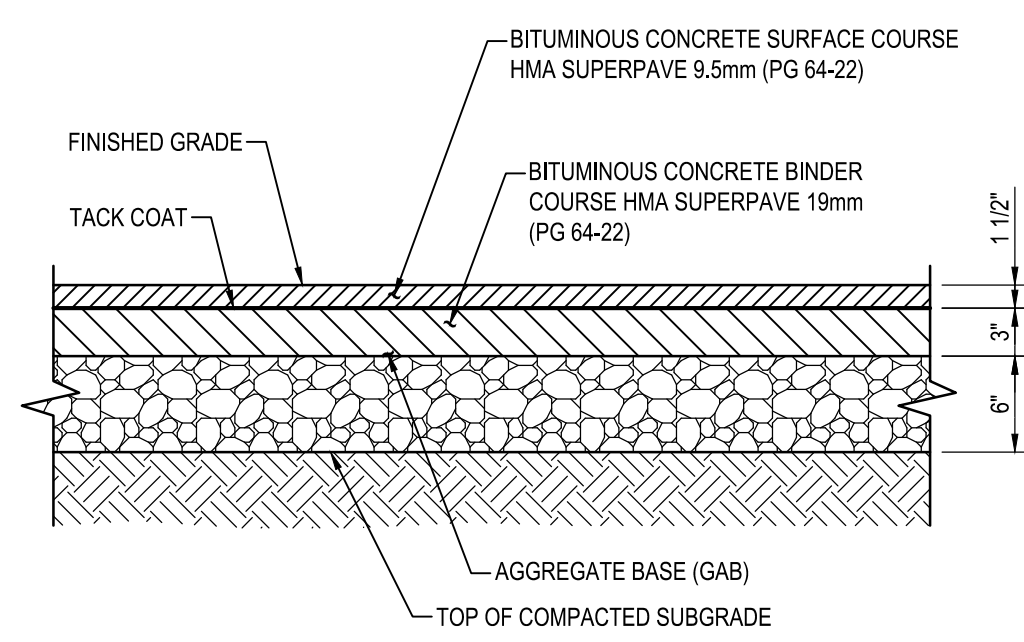
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SHEET NO. 07 OF 19			
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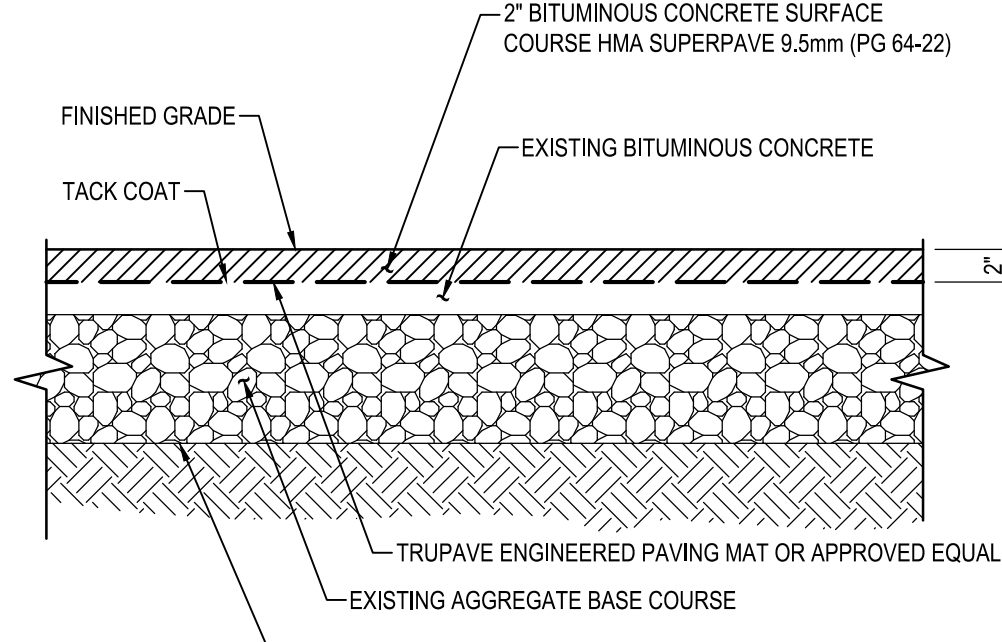


SECTION

1 BITUMINOUS CONCRETE PAVING

SCALE: 1" = 1'-0"

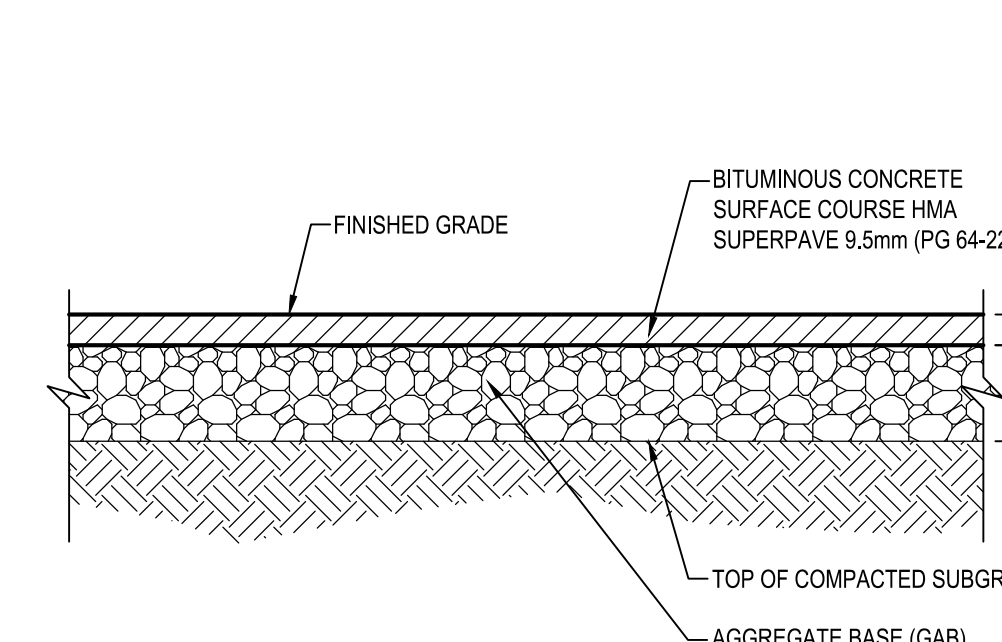
- NOTES:
1. MAINTAIN POSITIVE DRAINAGE AT ALL TIMES.
 2. AT PERIMETERS OF OVERLAY PAVING AREAS: MEET NEW ROAD PAVING SECTION FINISHED GRADE FLUSH.
 3. MILL THE TOP ZINCHES OF THE PARKING LOT AND ROADWAY SURFACE.
 4. EXAMINE THE MILLED SURFACE. CUT OUT ANY FAILED BASE COURSE AREA EXHIBITING ALLIGTOR OR PATCHWORK CRACKING, WHICH MAY HAVE BEEN HIDDEN BELOW THE SURFACE COURSE, TO EXPOSE THE UNDERLYING SOIL OR CRUSHED STONE BASE.
 5. CLEAN EXPOSED LINEAR CRACKS IN THE EXPOSED SURFACE. FILLING CRACKS THINNER THAN 1/4-INCH WIDTH WITH LIQUID ASPHALT AND FILLING CRACKS LARGER THAN 1/4-INCH WITH SAND/ASPHALT MIX.
 6. PLACE THE LIQUID ASPHALT TACK COAT AND APPROPRIATE PAVEMENT GRADE GEOTEXTILE FABRIC ACROSS THE ENTIRE OVERLAY AREA TO MEET MANUFACTURER'S REQUIREMENTS. PAVING FABRIC SHOULD BE INSTALLED BY AN APPROVED SPECIALTY CONTRACTOR.
 7. PLACE A 2-INCH THICK OVERLAY SECTION OF HOT-MIX ASPHALT (9.5MM SUPERPAVE, LEVEL 10) OVER THE ENTIRE OVERLAY AREA.



SECTION

2 MILL AND OVERLAY PAVING SECTION

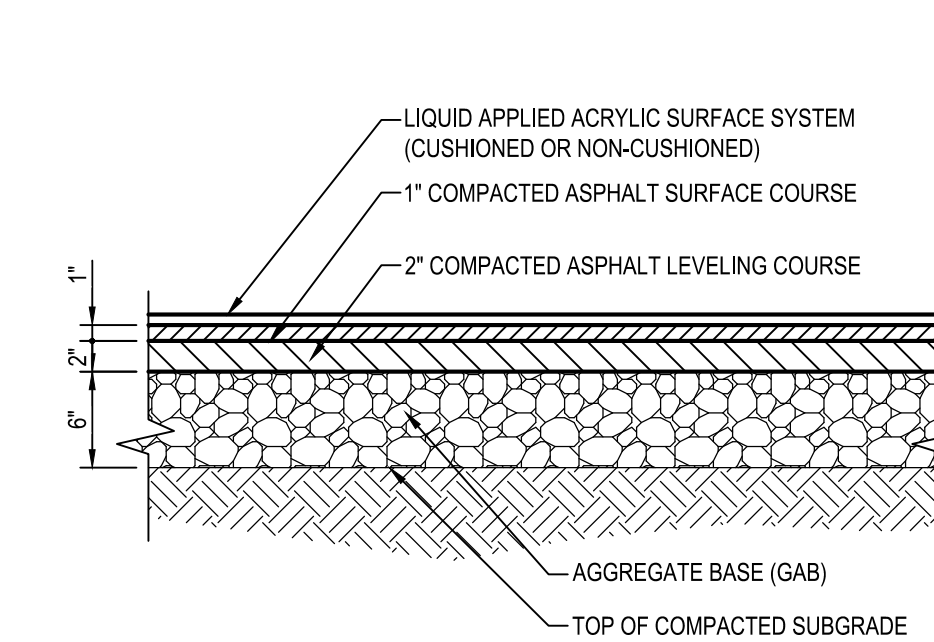
SCALE: 1" = 1'-0"



SECTION

3 BITUMINOUS CONCRETE WALK

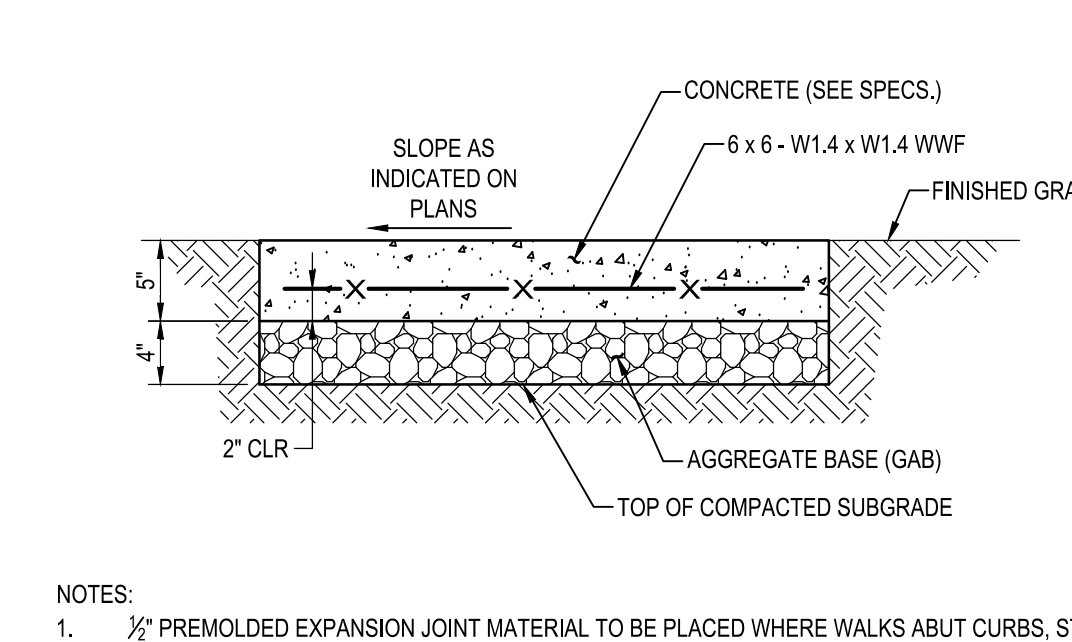
SCALE: 1" = 1'-0"



SECTION

4 ATHLETIC COURT SURFACE

SCALE: 1" = 1'-0"

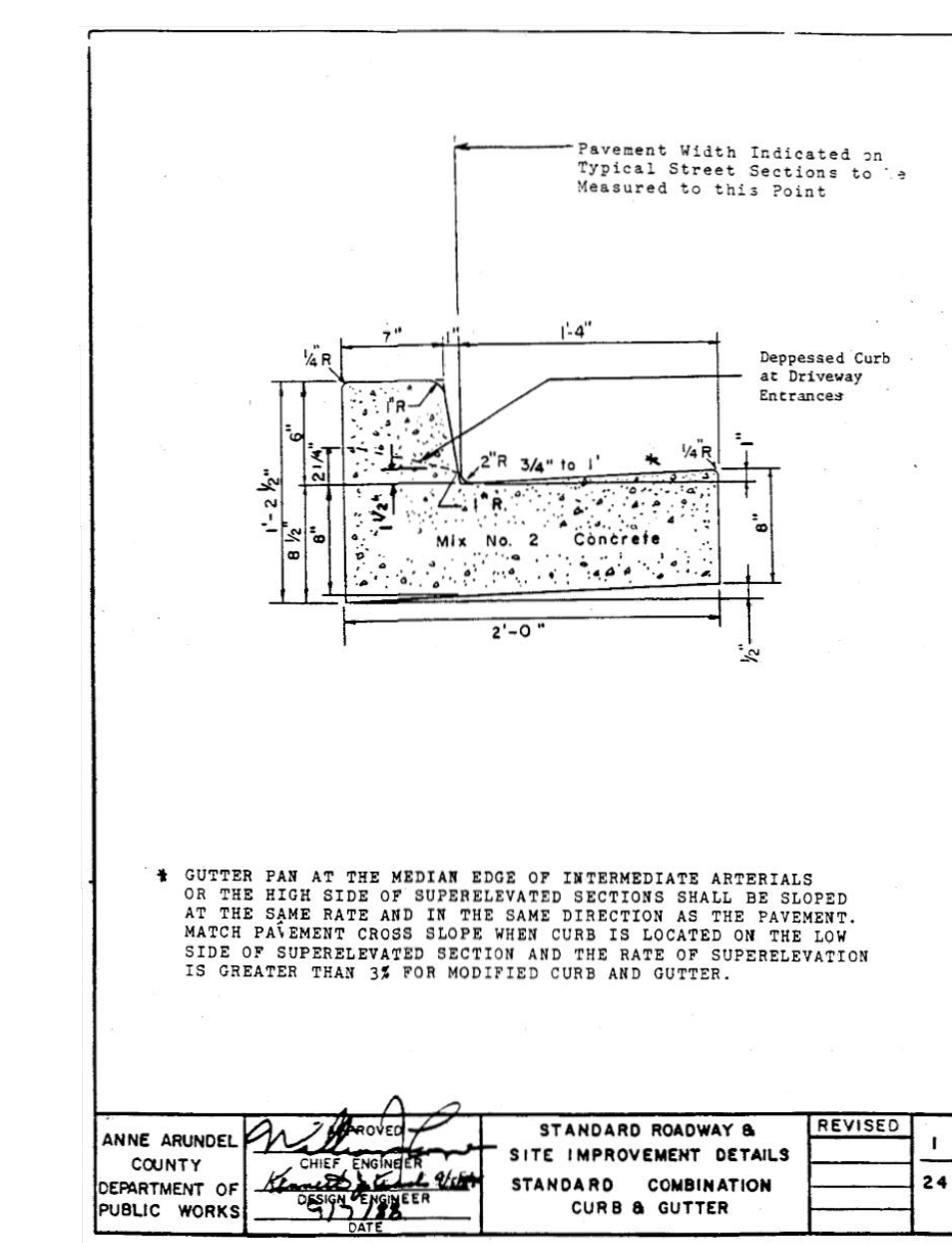


SECTION

5 CONCRETE WALK / PAD

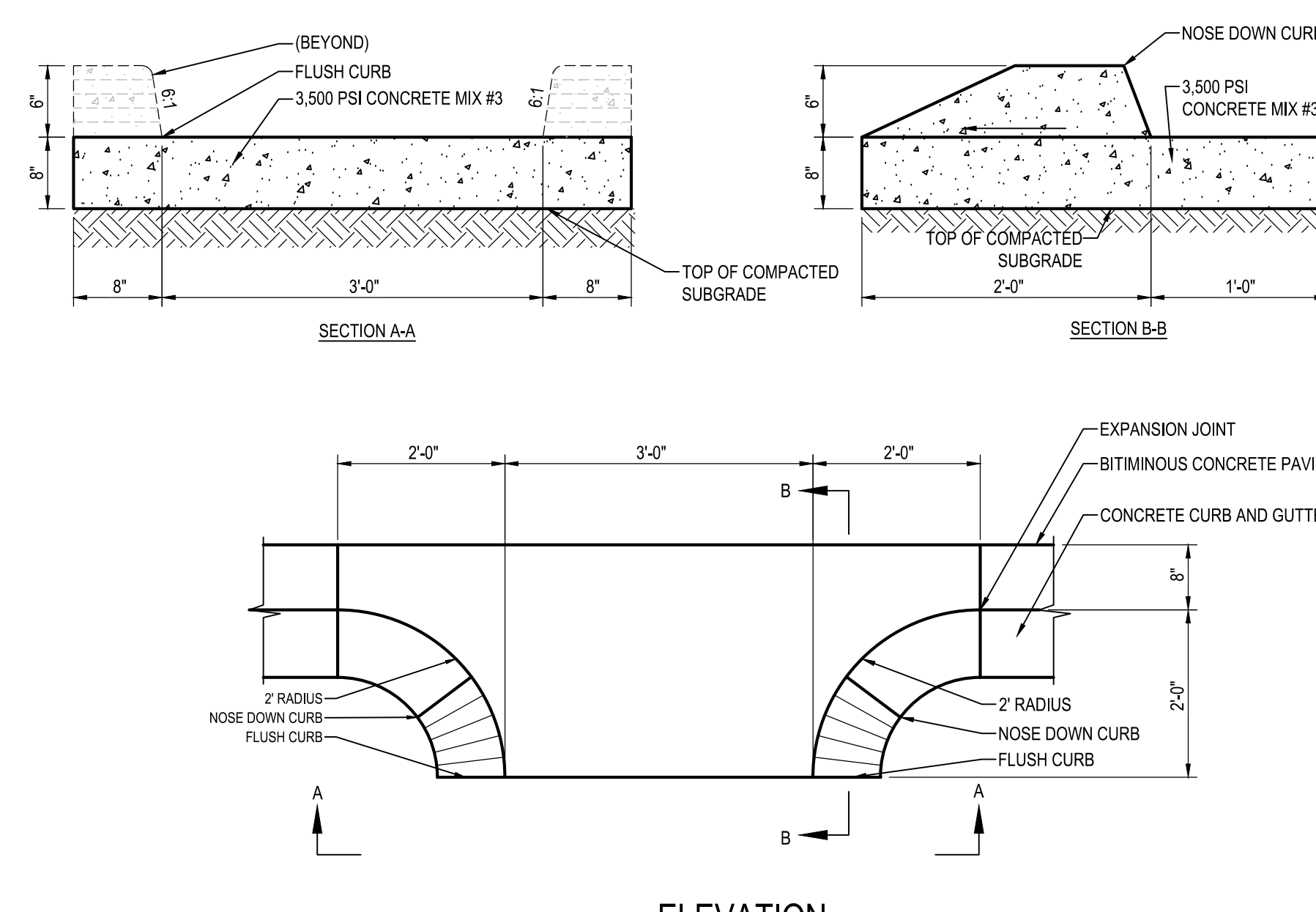
SCALE: 1" = 1'-0"

- NOTES:
1. 1/2" PREMOLDED EXPANSION JOINT MATERIAL TO BE PLACED WHERE WALKS ABUT CURBS, STEPS, BUILDINGS, OTHER WALKS, ETC. AND AT A MAXIMUM OF 20' INTERVALS ALONG THE WALK.
 2. SCORING SHALL BE PROVIDED AT 4' ON-CENTER FOR 4' & 8' WALKS, 5' ON-CENTER FOR 5' & 10' WALKS, AND 6' ON-CENTER FOR 6' AND LARGER NOT PREVIOUSLY MENTIONED.



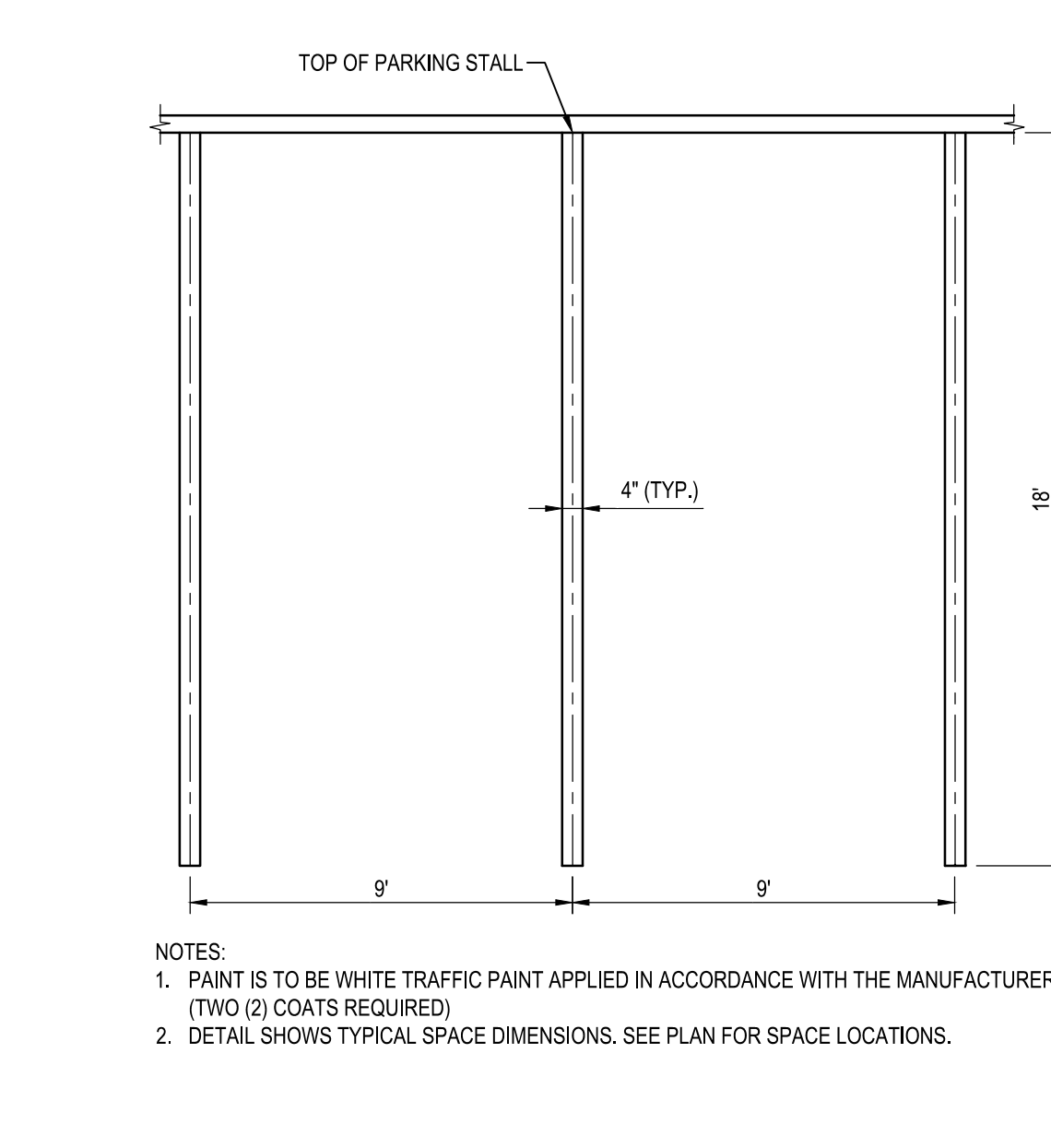
6 6" CURB AND GUTTER

NOT TO SCALE



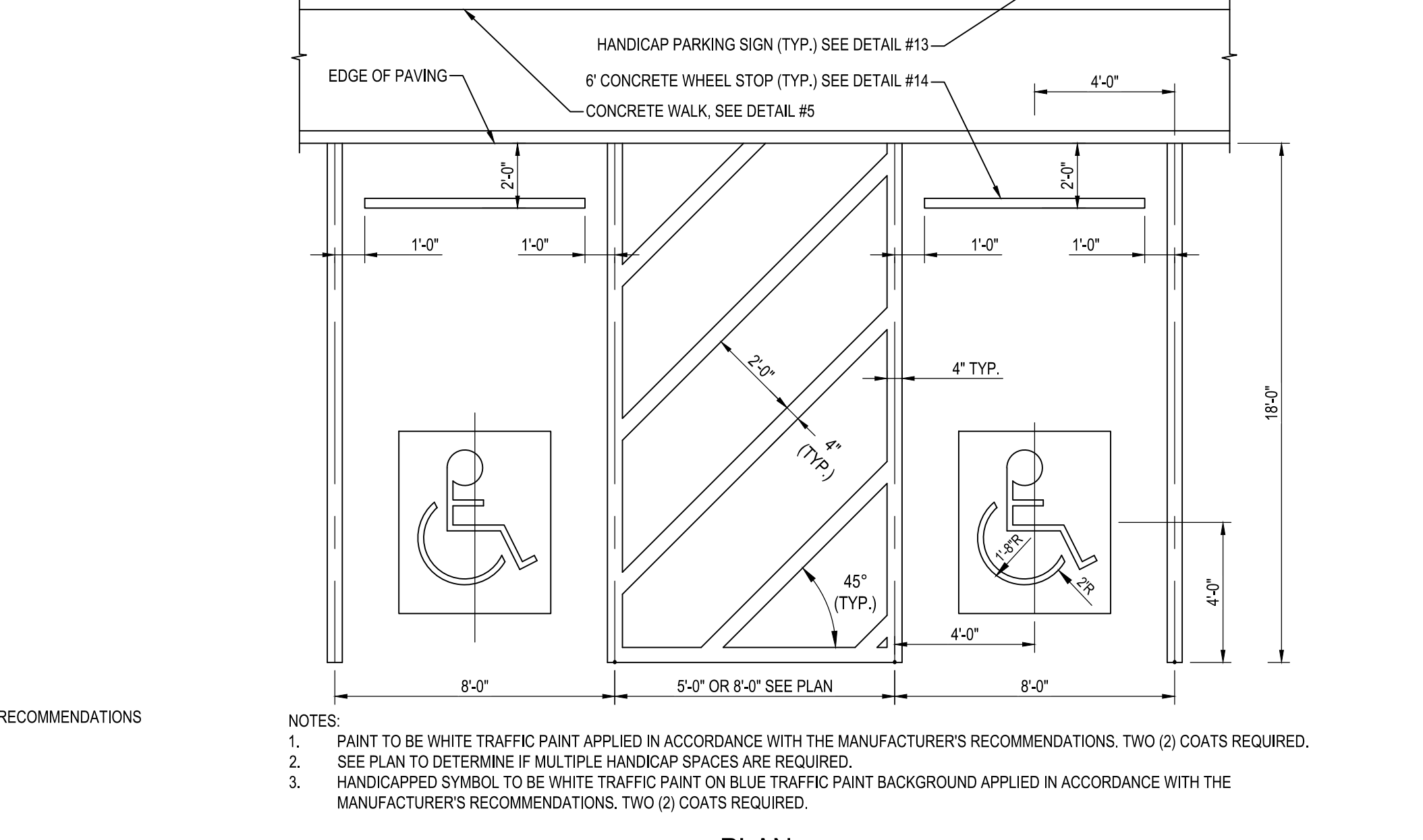
7 3' CONCRETE CURB OPENING

SCALE: 1" = 1'-0"



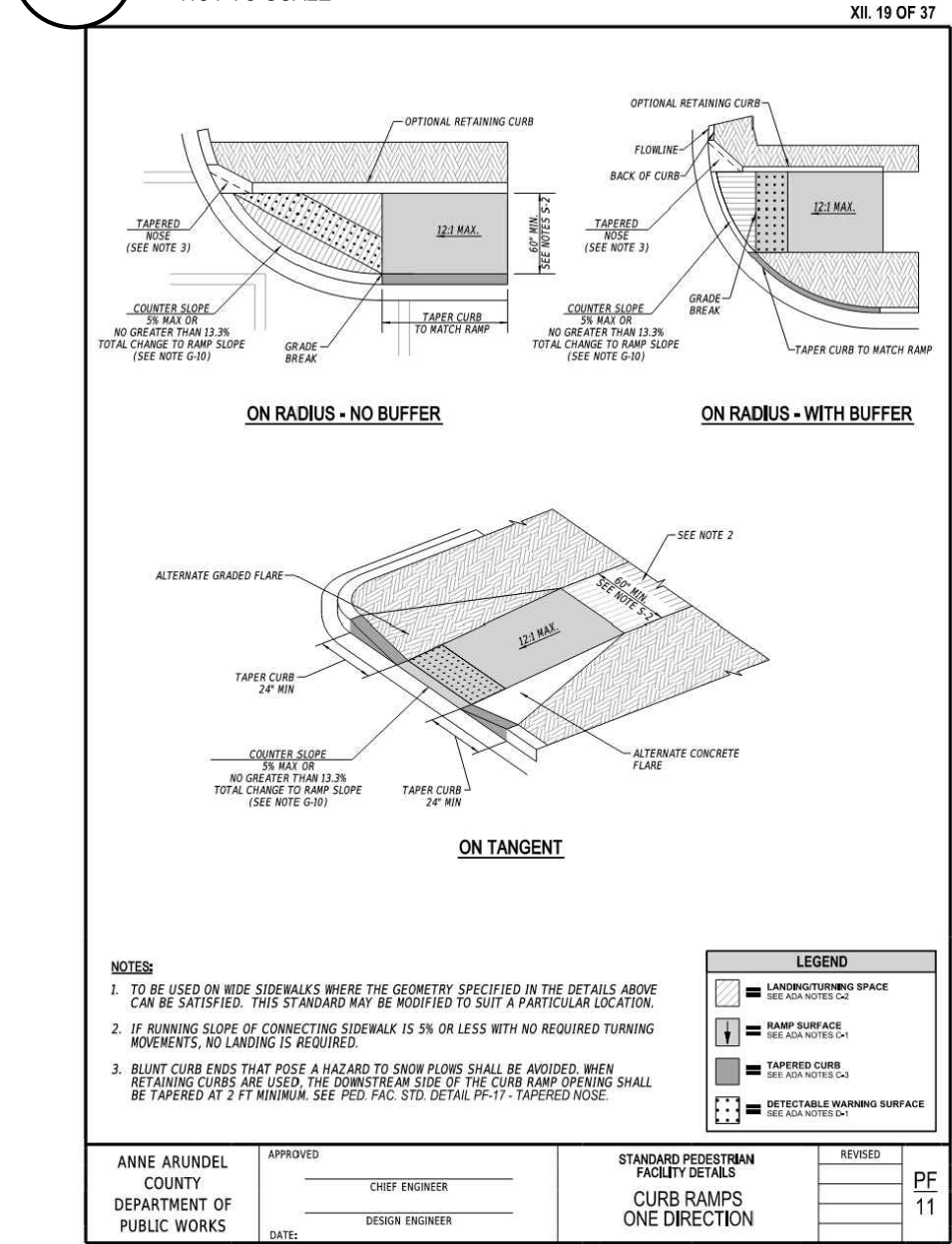
8 4" PAVEMENT MARKING

NOT TO SCALE



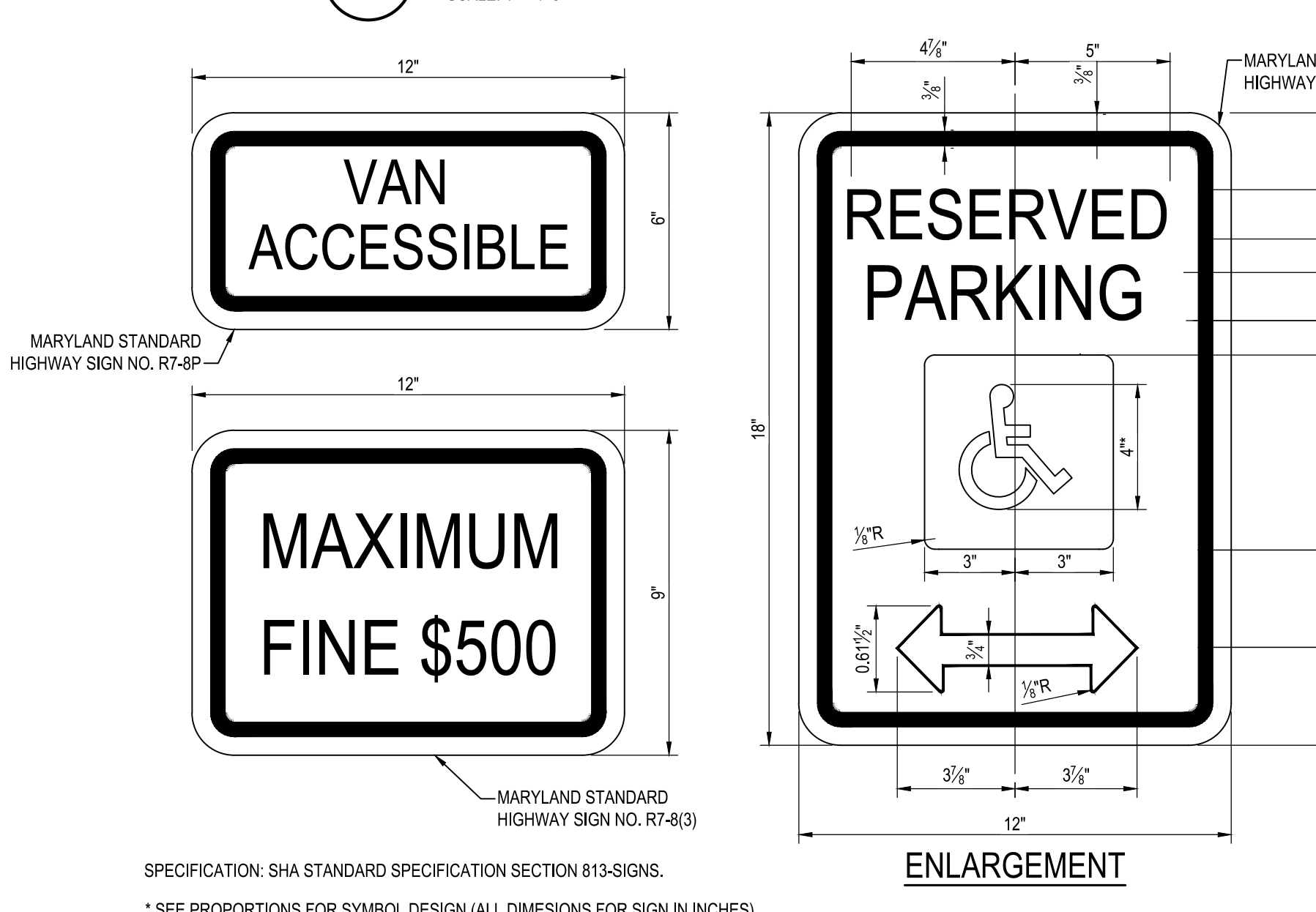
9 ADA ACCESSIBLE PARKING STRIPING

NOT TO SCALE



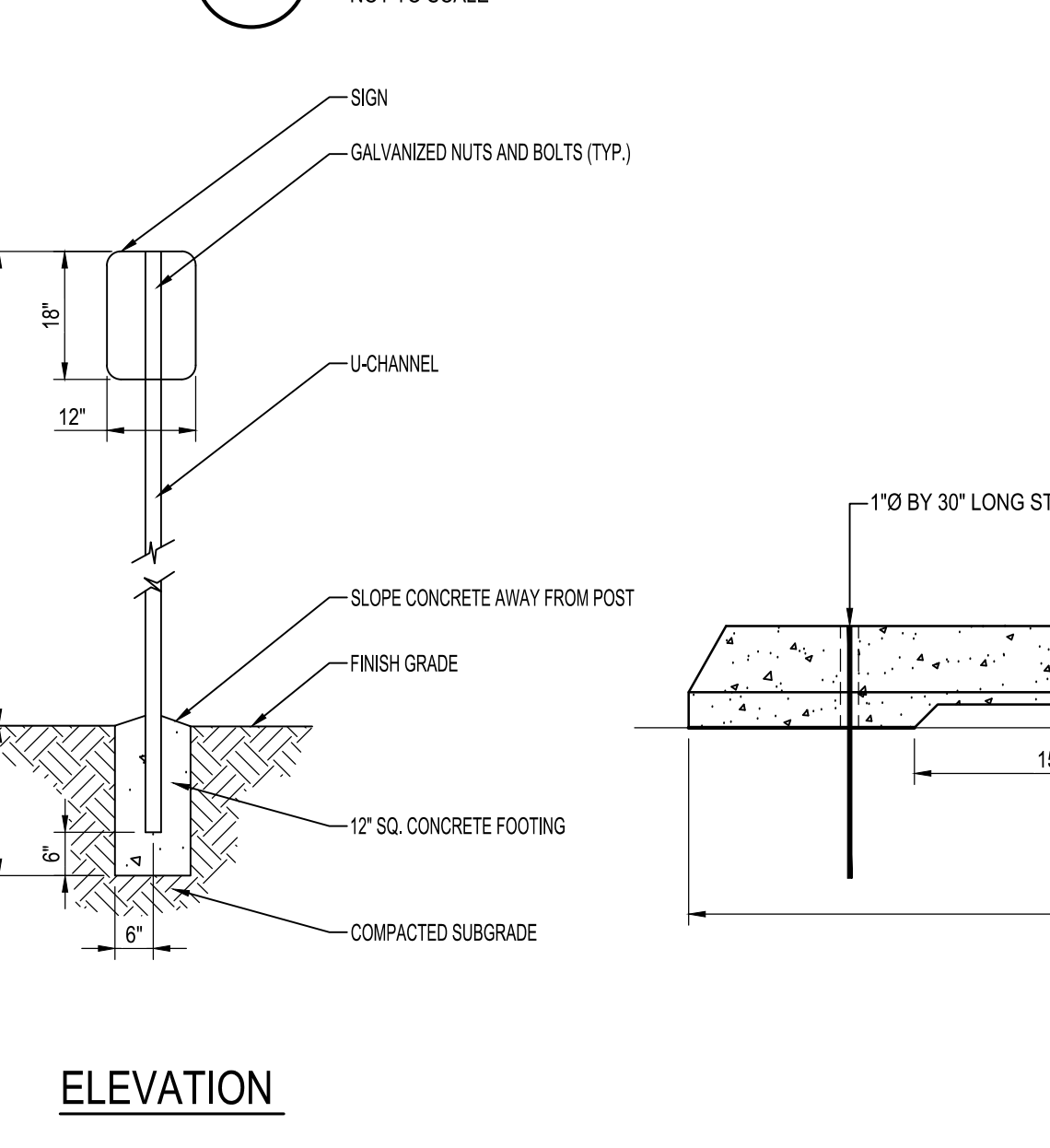
10 PEDESTRIAN RAMP

NOT TO SCALE



11 HANDICAP PARKING SIGN

NOT TO SCALE



12 CONCRETE WHEELSTOP

SCALE: 1" = 1'-0"

SPECIFICATION: SHA STANDARD SPECIFICATION SECTION 813-SIGNS.
 * SEE PROPORTIONS FOR SYMBOL DESIGN (ALL DIMENSIONS FOR SIGN IN INCHES)
 COLORS: LEGEND & BORDER-GREEN
 WHITE SYMBOL ON BLUE BACKGROUND,
 BACKGROUND-WHITE.

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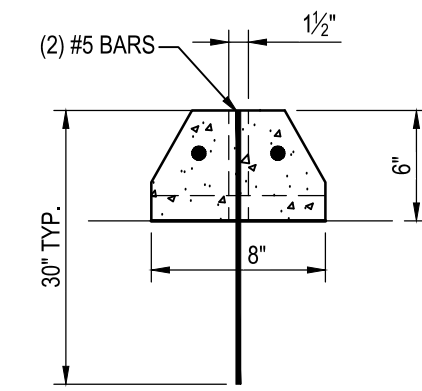
TRANSYSTEMS

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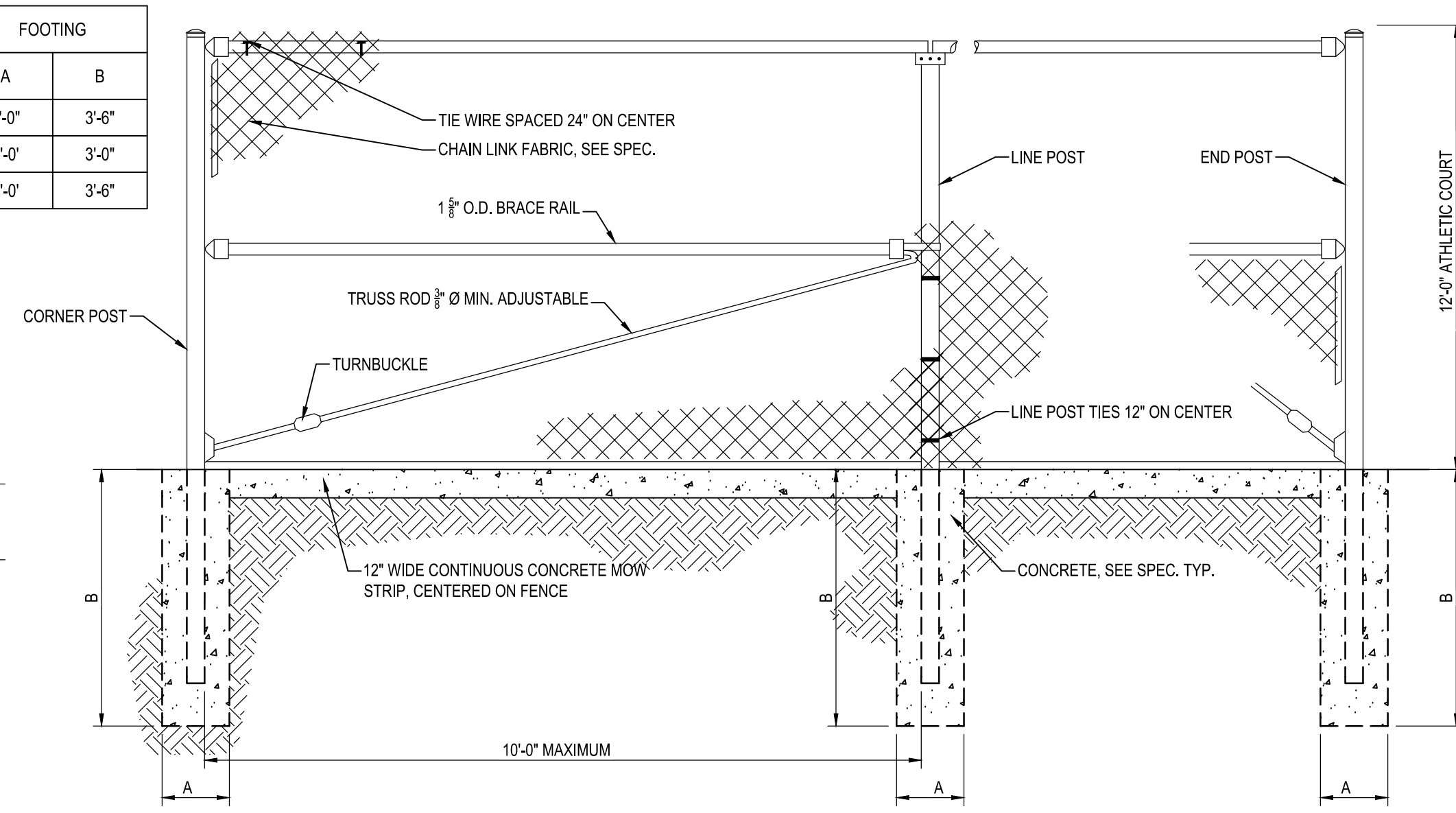
REVISIONS			
NO.	DESCRIPTION	BY	DATE

ANNE ARUNDEL COUNTY DEPARTMENT OF PUBLIC WORKS			
APPROVED	DATE	APPROVED	DATE
CHIEF ENGINEER		PROJECT MANAGER	
APPROVED	DATE	APPROVED	DATE
ASSISTANT CHIEF ENGINEER		CHIEF, RIGHT-OF-WAY	
SCALE: AS SHOWN	LAKE WATERFORD PARK		
DRAWN BY: R.S.S.			
CHECKED BY: R.W.H.			
SHEET NO. 08 OF 19			
PROJECT NO.: P591000			
CONTRACT NO.: P591001			

POST TYPE	POST DIA. O. D.	FOOTING	
		A	B
CORNER	4"	2'-0"	3'-6"
LINE	3"	1'-0"	3'-0"
END & GATE	4"	2'-0"	3'-6"



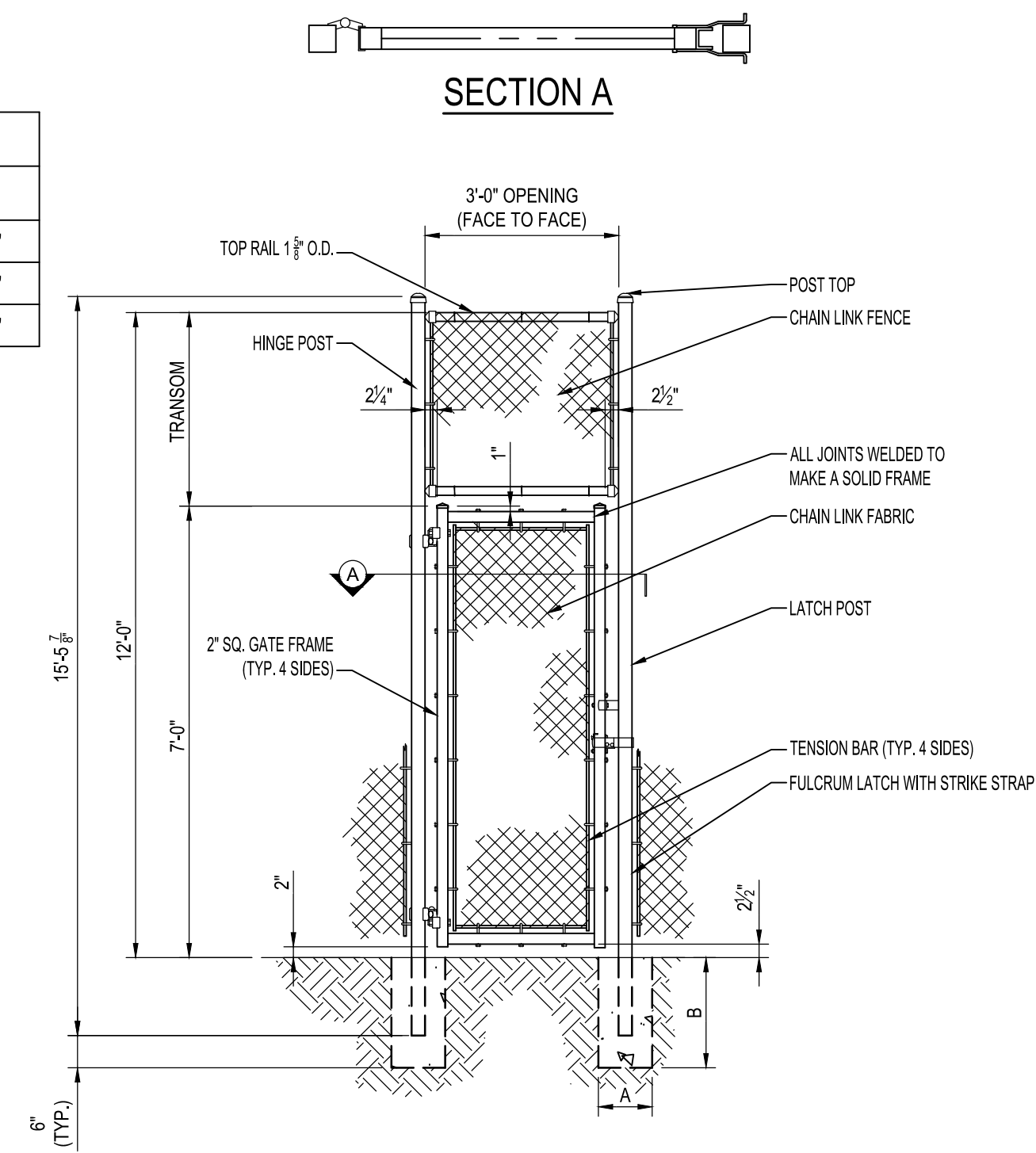
SECTION A-A



SECTION

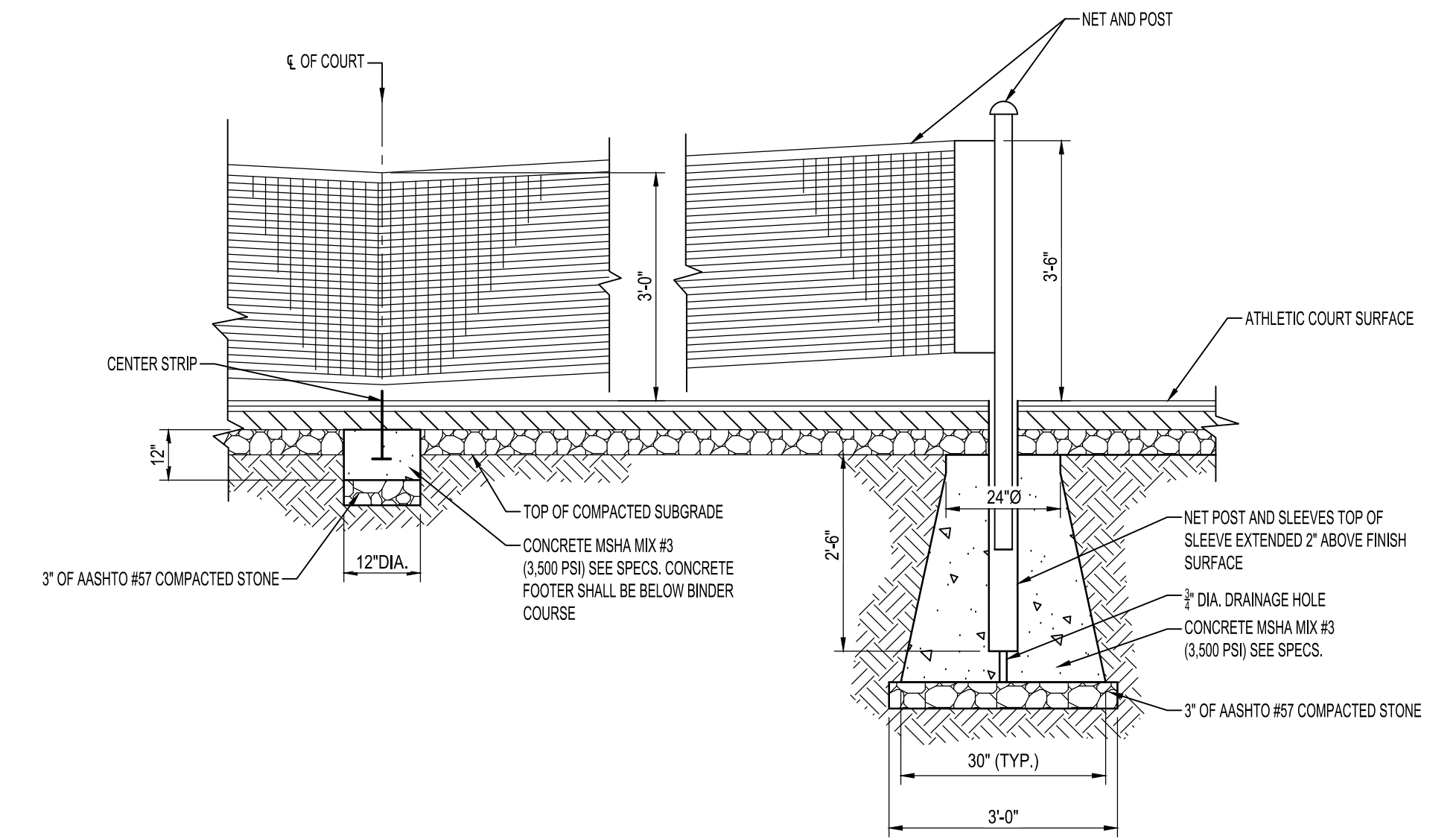
13 ATHLETIC COURT FENCE
NOT TO SCALE

POST TYPE	POST DIA. O. D.	FOOTING	
		A	B
CORNER	4"	2'-0"	3'-6"
LINE	3"	1'-0"	3'-0"
END & GATE	4"	2'-0"	3'-6"



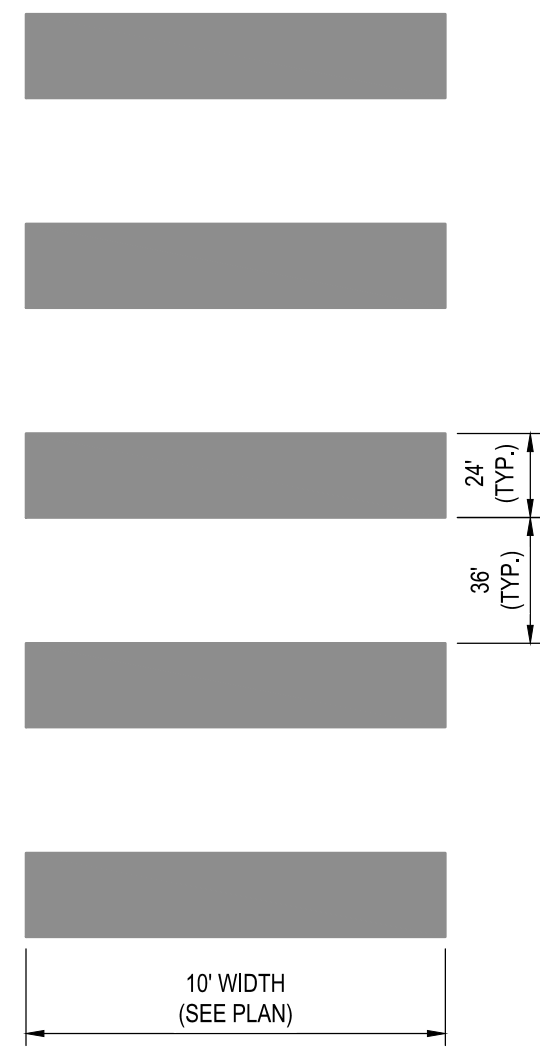
ELEVATION

14 ATHLETIC COURT SWING GATE
NOT TO SCALE



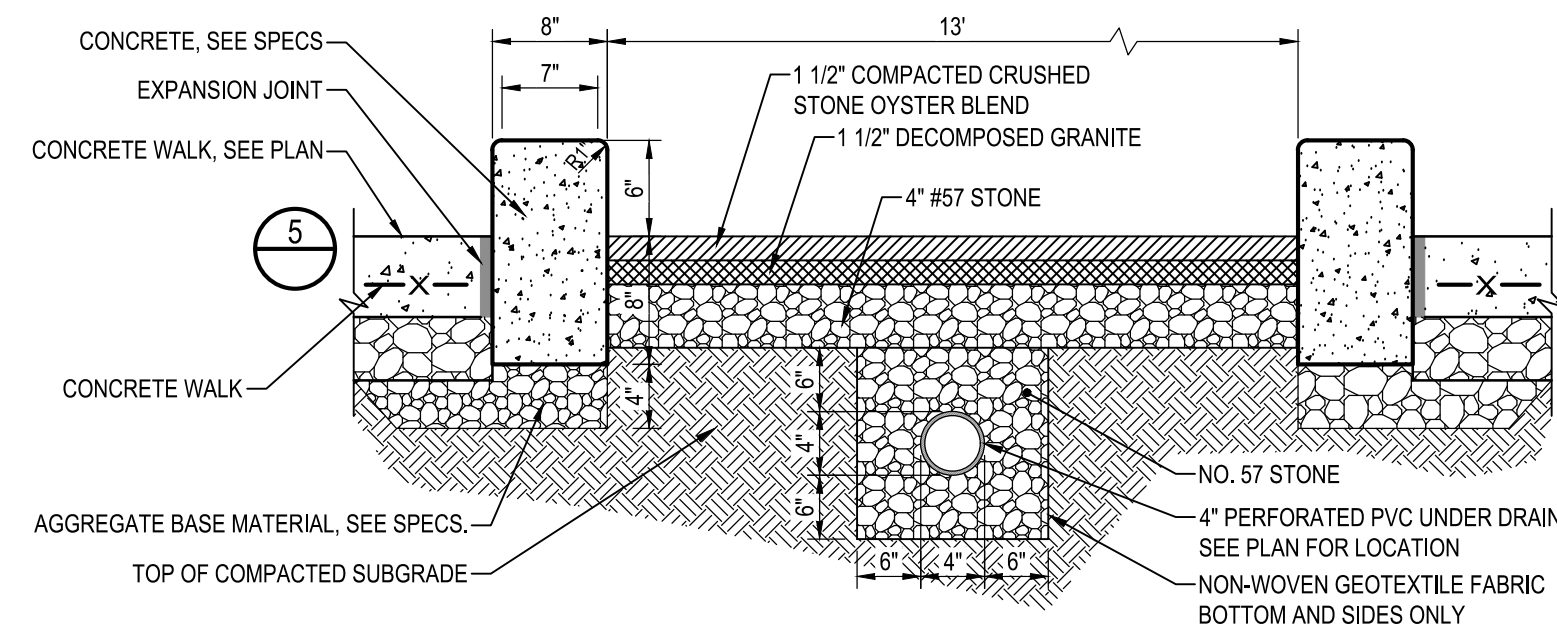
SECTION

15 NET POST DETAIL
NOT TO SCALE



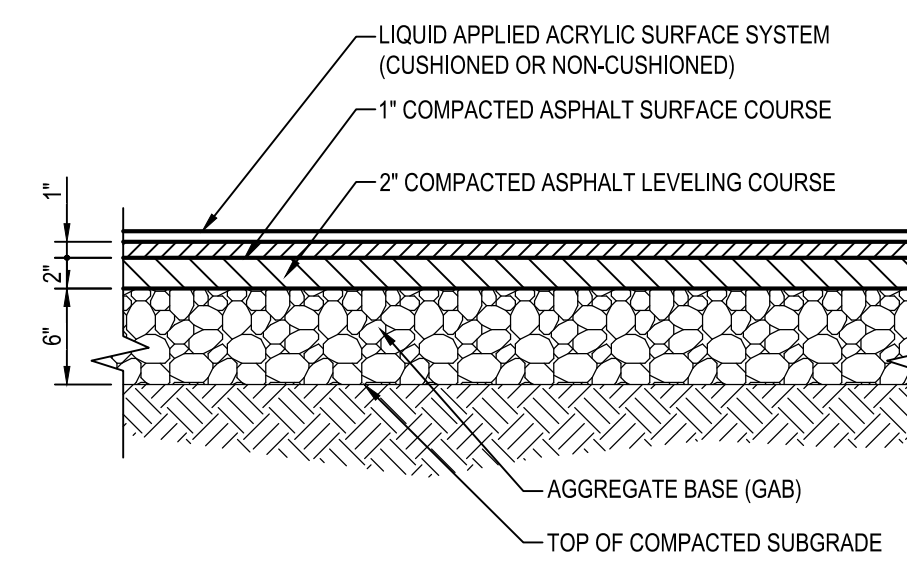
PLAN

16 PEDESTRIAN CROSSWALK
NOT TO SCALE



SECTION

17 BOCCE COURT SURFACE
NOT TO SCALE



SECTION

18 POWERCHAIR HOCKEY SURFACE
NOT TO SCALE

NOTES:
1. MARKINGS ARE TO BE WHITE THERMOPLASTIC APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

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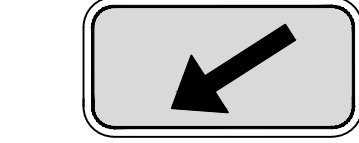
REVISIONS			
NO.	DESCRIPTION	BY	DATE

ANNE ARUNDEL COUNTY DEPARTMENT OF PUBLIC WORKS			
APPROVED	DATE	APPROVED	DATE
CHIEF ENGINEER		PROJECT MANAGER	
APPROVED	DATE	APPROVED	DATE
ASSISTANT CHIEF ENGINEER		CHIEF, RIGHT-OF-WAY	
SCALE: AS SHOWN	LAKE WATERFORD PARK		
DRAWN BY: R.S.S.			
CHECKED BY: R.W.H.			
SHEET NO. 09 OF 19			
PROJECT NO.: P591000			
CONTRACT NO.: P591001			

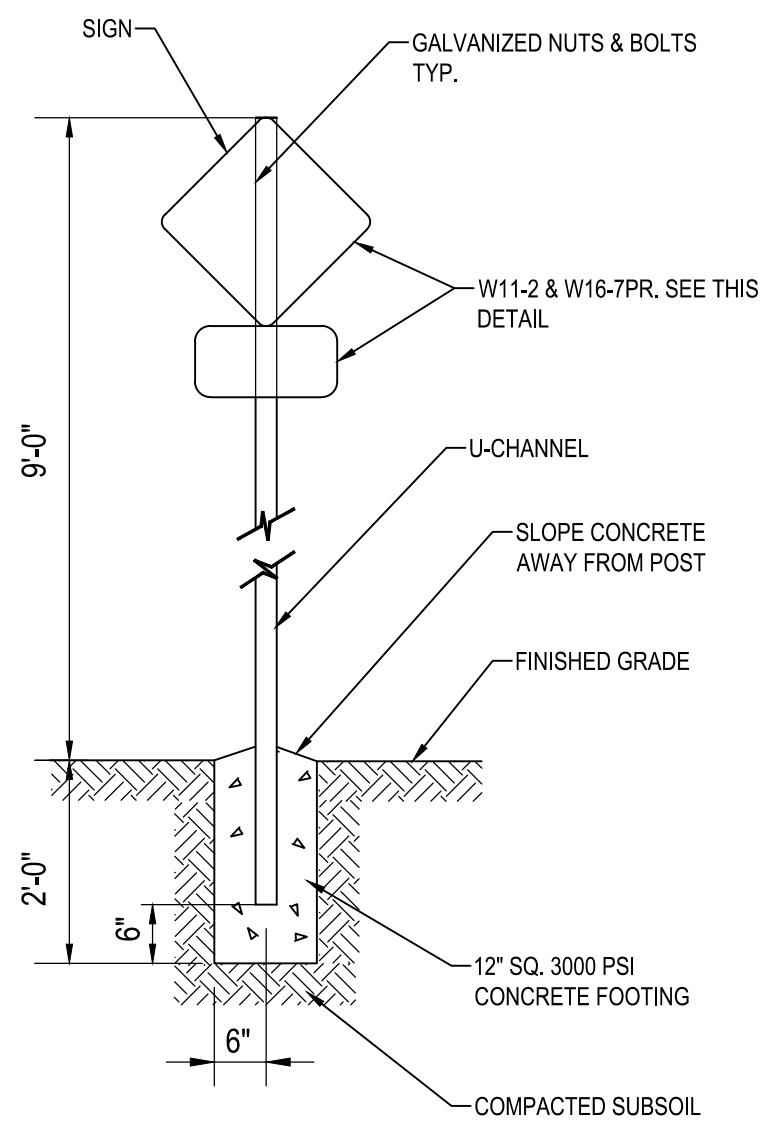
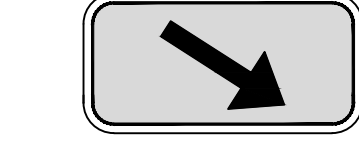
SITE DETAILS



W11-2
30" x 30"
W16-7PR
24" x 12"

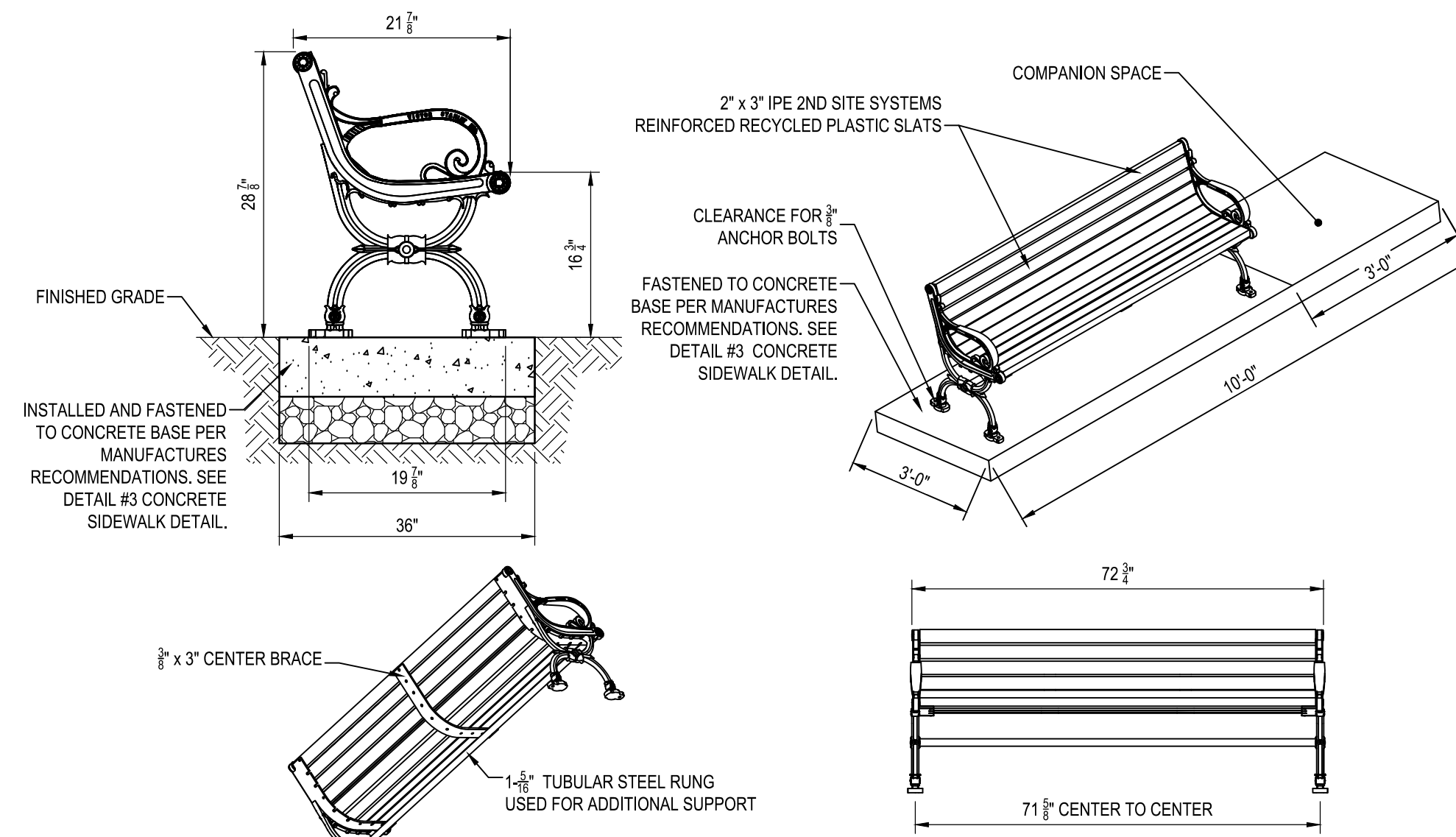


W11-2
30" x 30"
W16-7PR
24" x 12"



ELEVATION

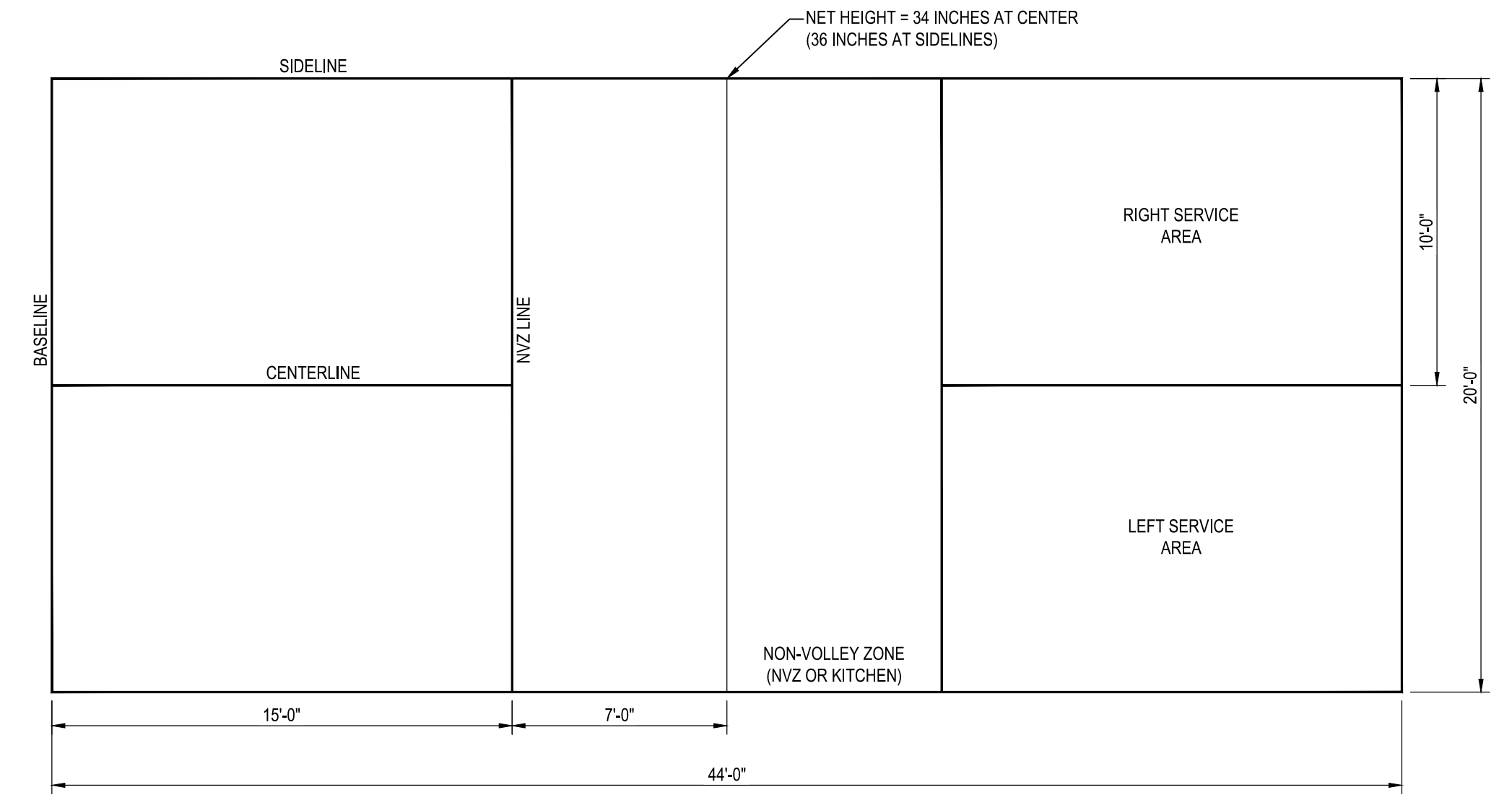
NOTES:
1. SIGNS ARE TO BE MOUNTED ON ONE POST FRONT TO BACK.



SLAT TYPES
RECYCLED PLASTIC: IPE 2ND SITE SYSTEMS REINFORCED RECYCLED PLASTIC SLATS
COLOR: GRAY, MAPLE, CHERRY, AND WALNUT (NOT AVAILABLE IN 8-FOOT LENGTHS)

MANUFACTURE: VICTOR STANLEY, CLASSIC SERIES

NOTES:
1. DUCTILE IRON CASTINGS COME WITH A TEN YEAR WARRANTY AGAINST BREAKAGE.
2. ALL FABRICATED METAL COMPONENTS ARE STEEL SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.G.I.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PRETREATED, PREHEATED AND COATED WHILE HOT TO FILL CREVICES AND BUILD COATING FILM. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURERS SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
3. IT IS NOT RECOMMENDED TO LOCATE ANCHOR BOLTS UNTIL BENCH IS IN PLACE. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
4. ANCHOR BOLTS NOT PROVIDED BY VICTOR STANLEY, INC., CONTRACTOR TO PROVIDE ANCHOR BOLTS PER MANUFACTURE RECOMMENDATIONS.



PLAN

22 PICKLEBALL COURT

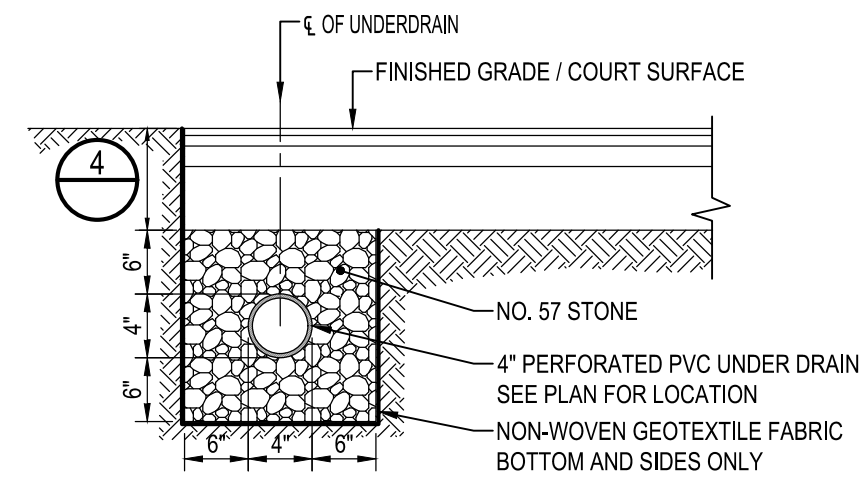
NOT TO SCALE

19 PEDESTRIAN CROSSING SIGN

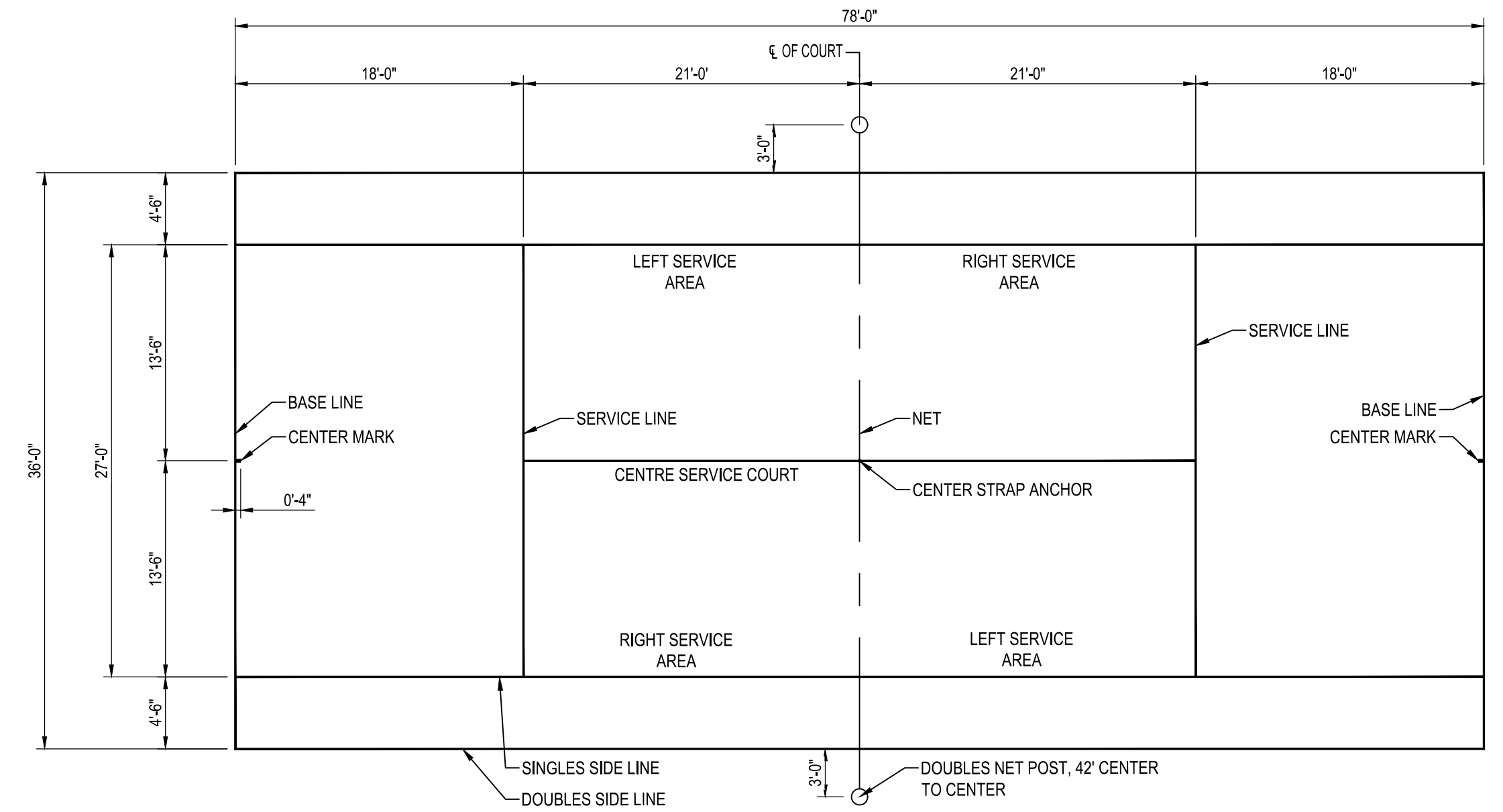
NOT TO SCALE

20 STANDARD BENCH ON CONCRETE PAD

NOT TO SCALE



COURT PAVING UNDERDRAIN SECTION

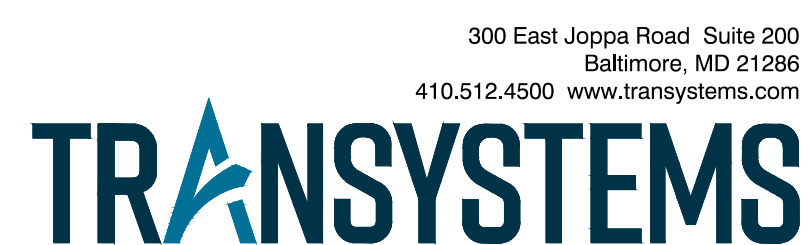


NOTES:
1. ALL DIMENSIONS ARE TO THE OUTSIDE EDGE OF LINES.
2. CENTER SERVICE LINE & CENTER MARK SHALL BE 2 INCHES WIDE. OTHER LINES SHALL BE BETWEEN 1" AND 2" WIDE, EXCEPT THE BASELINES MAY BE UP TO 4" WIDE.

PLAN

23 TENNIS COURT (78' COURT)

NOT TO SCALE



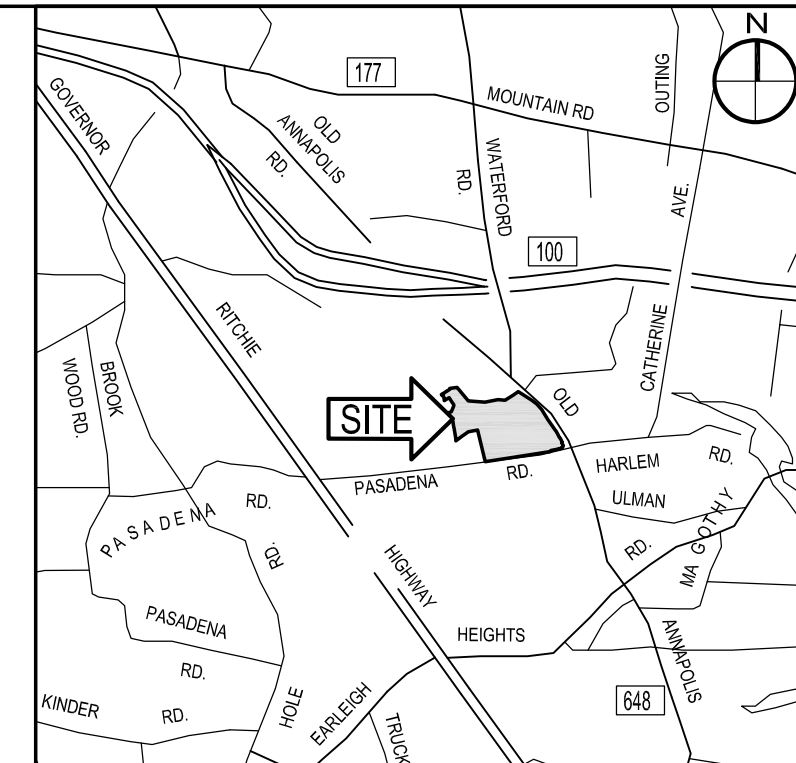
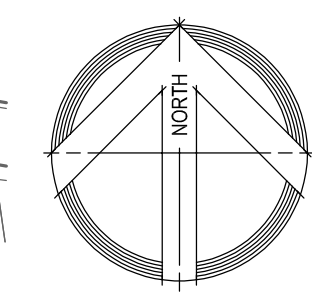
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License # 27734 Expiration Date: 07/12/28

REVISIONS			
NO.	DESCRIPTION	BY	DATE

ANNE ARUNDEL COUNTY DEPARTMENT OF PUBLIC WORKS			
APPROVED	DATE	APPROVED	DATE
CHIEF ENGINEER		PROJECT MANAGER	
APPROVED	DATE	APPROVED	DATE
ASSISTANT CHIEF ENGINEER		CHIEF, RIGHT-OF-WAY	
SCALE: AS SHOWN	LAKE WATERFORD PARK		
DRAWN BY: R.S.S.			
CHECKED BY: R.W.H.			
SHEET NO. 10 OF 19			
PROJECT NO.: P591000			
CONTRACT NO.: P591001			

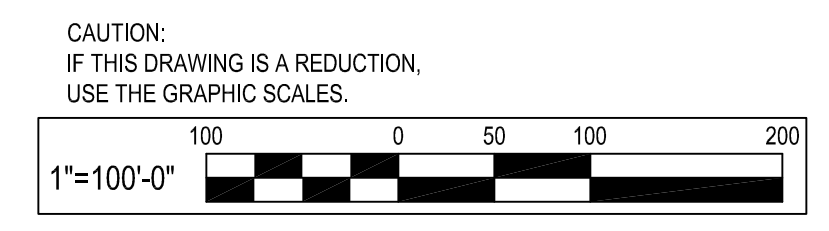
SITE DETAILS



VICINITY MAP
SCALE: 1" = 2,000'

DESCRIPTION	EXISTING	NEW
BUILDING	EX. BLDG	[Symbol]
BITUMINOUS CONCRETE PAVING	EX. MACADAM	[Symbol]
MACADAM WALK	MAC/ADAM WALK	[Symbol]
CONCRETE WALK	CONC WALK	[Symbol]
MILL AND OVERLAY	EX. MACADAM	[Symbol]
ATHLETIC COURT SURFACE		[Symbol]
CONC. CURB		[Symbol]
WALL		[Symbol]
METAL FENCE	X	X
WOOD FENCE		
SIGN (ONE-POST)		
SPOT ELEVATION	+ 50.5	+ 50.5
MAJOR CONTOUR	50	50
MINOR CONTOUR	51	51
O/H ELECTRIC	OHE	
U/G ELECTRIC	E	
U/G STORM	D	
U/G WATER	W	
PROPERTY LINE		
BLDG SETBACK LINE		
SOIL BORING	B#	
SURVEY LIMITS		
TREES	10" 5"	
TREE LINE		
DRAIN INLET	[Symbol]	[Symbol]
POWER POLE	[Symbol]	[Symbol]
STORM DRAIN MH	[Symbol]	[Symbol]
STREET LIGHT	[Symbol]	[Symbol]
TRAVERSE STATION	[Symbol]	[Symbol]
WELL	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]
SOIL LINE	P/B (A)	P/B (A)
STEEP SLOPES (15% - 25%)	[Symbol]	[Symbol]
STEEP SLOPES (25% OR GREATER)	[Symbol]	[Symbol]
LIMIT OF DISTURBANCE		LOD
FLOW ARROW		[Symbol]

G:\Projects_2024\BL720\720240037\Drawings\720240037-C301-Grading Plan.dwg Date: 19, 2024 - 2:24pm Plot By: remith



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REVISIONS			
NO.	DESCRIPTION	BY	DATE

ANNE ARUNDEL COUNTY
DEPARTMENT OF PUBLIC WORKS

APPROVED	DATE	APPROVED	DATE	SCALE: 1" = 100'	LAKE WATERFORD PARK OVERALL GRADING PLAN
CHIEF ENGINEER		PROJECT MANAGER		DRAWN BY: R.S.S.	
APPROVED	DATE	APPROVED	DATE	CHECKED BY: R.W.H.	
ASSISTANT CHIEF ENGINEER		CHIEF, RIGHT-OF-WAY		SHEET NO. 11 OF 19	
				PROJECT NO.: P591000	
				CONTRACT NO.: P591001	

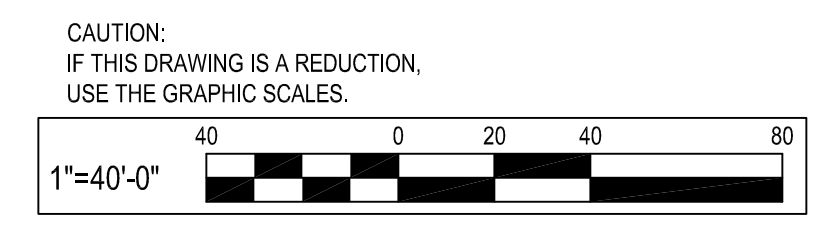


GRADING LEGEND

NEW MAJOR CONTOUR	— 50 —
NEW MINOR CONTOUR	— 51 —
NEW SPOT ELEVATION	— 51.50 —
FLOW ARROW	→
NEW STORM DRAIN	—
NEW INLET	□
NEW CLEAN OUT	CO #
NEW INLET	I #
NEW END SECTION	ES #
NEW OBSERVATION WELL	OS #

STORMDRAIN NOTES

SD-1	NEW 4" PERFORATED UNDER DRAIN PIPE.
SD-2	NEW 4" SOLID SCH 40 PVC PIPE.
SD-3	NEW 12" HDPE PIPE.
SD-4	NEW 15" HDPE PIPE.



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License # 27734 Expiration Date: 07/12/28

REVISIONS			
NO.	DESCRIPTION	BY	DATE

ANNE ARUNDEL COUNTY DEPARTMENT OF PUBLIC WORKS			
APPROVED	DATE	APPROVED	DATE
CHIEF ENGINEER		PROJECT MANAGER	
APPROVED	DATE	APPROVED	DATE
ASSISTANT CHIEF ENGINEER		CHIEF, RIGHT-OF-WAY	
SCALE: 1" = 40'		DRAWN BY: R.S.S.	
CHECKED BY: R.W.H.		SHEET NO. 12 OF 19	
PROJECT NO.: P591000		CONTRACT NO.: P591001	
LAKE WATERFORD PARK GRADING PLAN			

G:\Projects_2024\BL720\720240037\Drawings\720240037-C301-Grading Plan.dwg Dec 19, 2024 - 2:25pm Plot By: remith

G:\Projects_2024\BL720\720240037\Drawings\720240037-C301-Grading Plan.dwg Dec. 19, 2024 - 2:14pm Plot By: remith

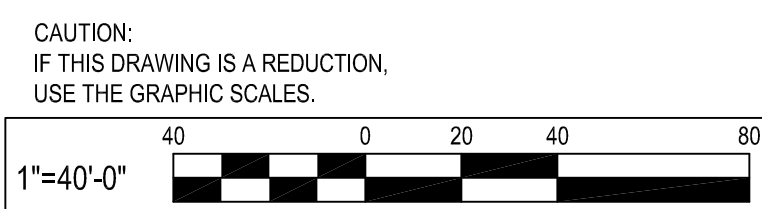


GRADING LEGEND

NEW MAJOR CONTOUR	— 50 —
NEW MINOR CONTOUR	— 51 —
NEW SPOT ELEVATION	51.50
FLOW ARROW	→
NEW STORM DRAIN	—
NEW INLET	□
NEW CLEAN OUT	CO #
NEW INLET	I #
NEW END SECTION	ES #
NEW OBSERVATION WELL	OS #

STORMDRAIN NOTES

SD-1	NEW 4" PERFORATED UNDER DRAIN PIPE.
SD-2	NEW 4" SOLID SCH 40 PVC PIPE.
SD-3	NEW 12" HDPE PIPE.
SD-4	NEW 15" HDPE PIPE.

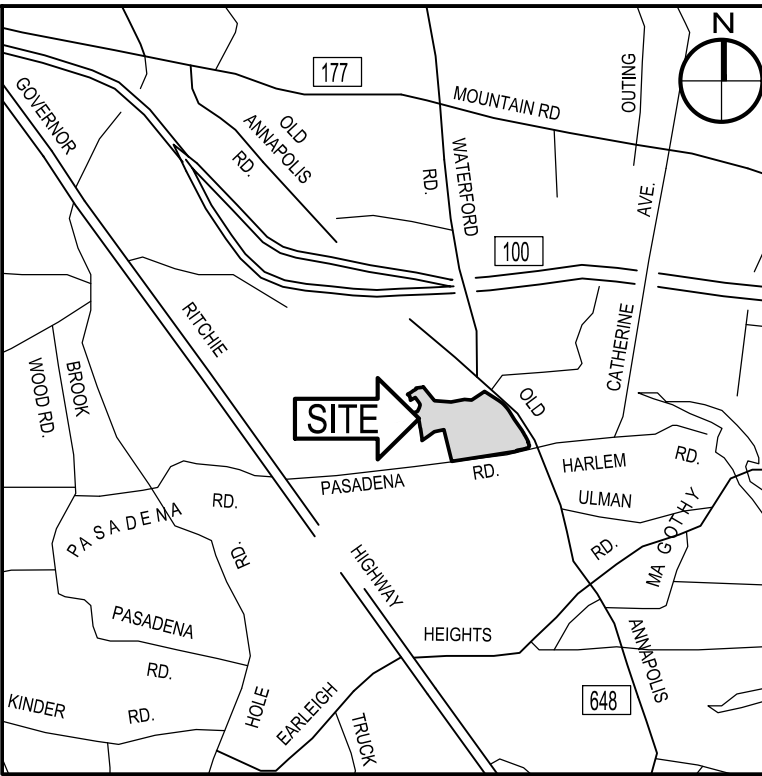


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REVISIONS			
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ANNE ARUNDEL COUNTY DEPARTMENT OF PUBLIC WORKS			
APPROVED	DATE	APPROVED	DATE
CHIEF ENGINEER		PROJECT MANAGER	
APPROVED	DATE	APPROVED	DATE
ASSISTANT CHIEF ENGINEER		CHIEF, RIGHT-OF-WAY	
SCALE: 1" = 40'		LAKE WATERFORD PARK	
DRAWN BY: R.S.S.		CHECKED BY: R.W.H.	
SHEET NO. 13 OF 19		PROJECT NO.: P591000	
CONTRACT NO.: P591001		GRADING PLAN	

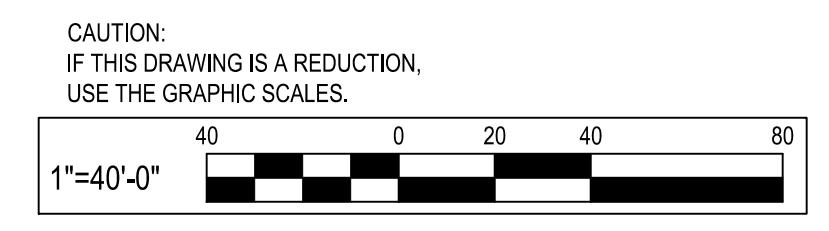


VICINITY MAP
SCALE: 1" = 2,000'



SWM LEGEND

ESD SWM FACILITY	
DRAINAGE AREA BOUNDARY	
IMPERVIOUS AREA TREATED BY SWM FACILITY	
SOIL BOUNDARY	
	PgB (A)
	PeB (A)



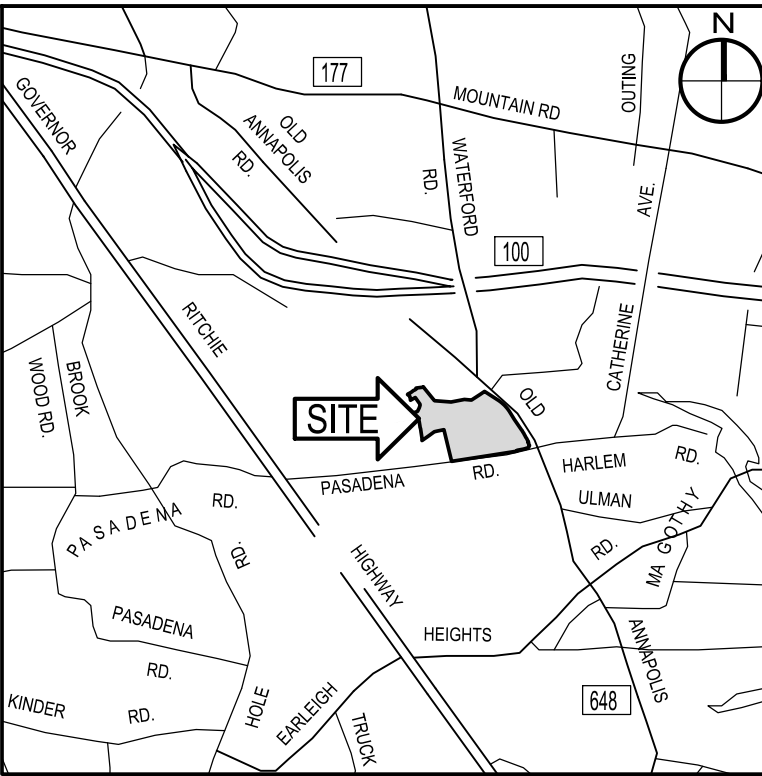
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Baltimore, MD 21286
410.512.4500 www.transystems.com

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License # 27734, Expiration Date: 07/12/28

REVISIONS			
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ANNE ARUNDEL COUNTY DEPARTMENT OF PUBLIC WORKS			
APPROVED	DATE	APPROVED	DATE
CHIEF ENGINEER		PROJECT MANAGER	
APPROVED	DATE	APPROVED	DATE
ASSISTANT CHIEF ENGINEER		CHIEF, RIGHT-OF-WAY	
SCALE: 1" = 100'		LAKE WATERFORD PARK	
DRAWN BY: R.S.S.		CHECKED BY: R.W.H.	
SHEET NO. 14 OF 19		PROJECT NO.: P591000	
CONTRACT NO.: P591001			

G:\Projects_2024\BL720\720240037\Drawings\720240037-C501-Stormwater management_Plan.dwg Dec 19, 2024 - 2:27pm Plot By: rsmith



VICINITY MAP
SCALE: 1" = 2,000'

ANNE ARUNDEL COUNTY FOREST CONSERVATION WORKSHEET (In Acres)

Variables	Unique Tract 1	
Site Information		
A. Growth Management Area	Outside Priority Funding Area	
B. Land Use Type	Institutional	
C. Total Unique Tract Area	61.3	
D. Universal Deductions (Critical Area or 100-Yr Floodplain)	15.1	
E. Impervious Surface Deductions for Targeted Growth and Priority Funding Areas	0.0	
F. Existing Forest Cover within Net Unique Tract Area	29.6	
G. Proposed Forest Clearing within Net Unique Tract Area	2.9	Total Net Tract Area
H. Net Unique Tract Area = (C)-(D)-(E)	46.1	46
I. Is Total Net Tract Area less than or equal to 5 Acres?	No	
Key for lookup table	Outside Priority Funding Area Institutional/No	
I. Conservation Threshold	20%	
J. Afforestation Threshold	15%	
Forest Conservation		
K. Conservation Threshold Area = (H) X (I)	9.2	
L. Area of Forest Above Conservation Threshold = (F) - (K)	20.3	
M. Breakeven Point (Amount of forest that must be retained so that no mitigation is required.)	16.0	
N. Forest Clearing Permitted without Mitigation = (F) - (M)	13.6	
O. Proposed Forest Retention = (F) - (G)	26.6	
P. Reforestation for Retention Above the Threshold	1.5	
Q. Credit for Retention Above the Threshold	17.4	
R. Reforestation for Retention Below the Threshold	0.0	
S. Total Reforestation Required = (P) + (R) - (Q)	0.0	
T. Afforestation Threshold Area = (H) X (J)	6.9	
U. Total Afforestation Required	0.0	Total Mitigation Required for Site (Acres)*
V. Total Mitigation Required By Tract = (S) + (U)	0.0	0.0

* These mitigation values represent required mitigation absent any other conditional mitigation such as mitigation to cure a violation of fulfill a conditional approval.

SPECIMEN TREE TABLE					
Point No.	Common Name	Species	DBH (in.)	CRZ	Condition
ST-1	Sothorn Red Oak	<i>Quercus falcata</i>	31	46.5	Poor
ST-2	Red Oak	<i>Quercus rubra</i>	35.5	53.25	Good
ST-3	Sothorn Red Oak	<i>Quercus falcata</i>	31	46.5	Good
ST-4	Sothorn Red Oak	<i>Quercus falcata</i>	31	46.5	Good
ST-5	Sothorn Red Oak	<i>Quercus falcata</i>	30.5	45.75	Poor
ST-6	Sothorn Red Oak	<i>Quercus falcata</i>	31	46.5	Good
ST-7	Sothorn Red Oak	<i>Quercus falcata</i>	37	55.5	Good
ST-8	Black Oak	<i>Quercus velutina</i>	41.5	62.25	Good
ST-9	Sothorn Red Oak	<i>Quercus falcata</i>	33	49.5	Good
ST-10	Red Oak	<i>Quercus rubra</i>	31.5	47.25	Good
ST-11	Sothorn Red Oak	<i>Quercus falcata</i>	31	46.5	Good
ST-12	Red Oak	<i>Quercus rubra</i>	33	49.5	Good
ST-13	Black Oak	<i>Quercus velutina</i>	33	49.5	Poor
ST-14	Tulip poplar	<i>Liriodendron tulipifera</i>	45	67.5	Good
ST-15	Sothorn Red Oak	<i>Quercus falcata</i>	30.5	45.75	Good
ST-16	Sothorn Red Oak	<i>Quercus falcata</i>	34	51	Good
ST-17	Black Oak	<i>Quercus velutina</i>	35	52.5	Poor
ST-18	Sothorn Red Oak	<i>Quercus falcata</i>	31.5	47.25	Good
ST-19	Sothorn Red Oak	<i>Quercus falcata</i>	30	45	Good
ST-20	Sothorn Red Oak	<i>Quercus falcata</i>	42	63	Good
ST-21	Sothorn Red Oak	<i>Quercus falcata</i>	33	49.5	Good

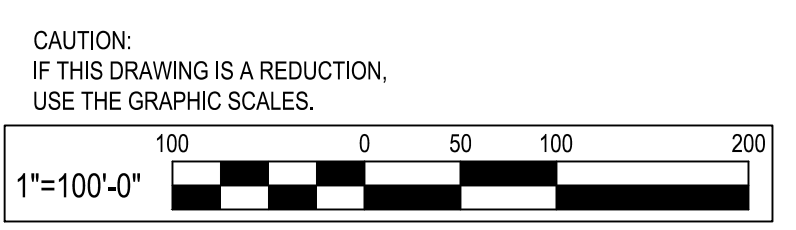
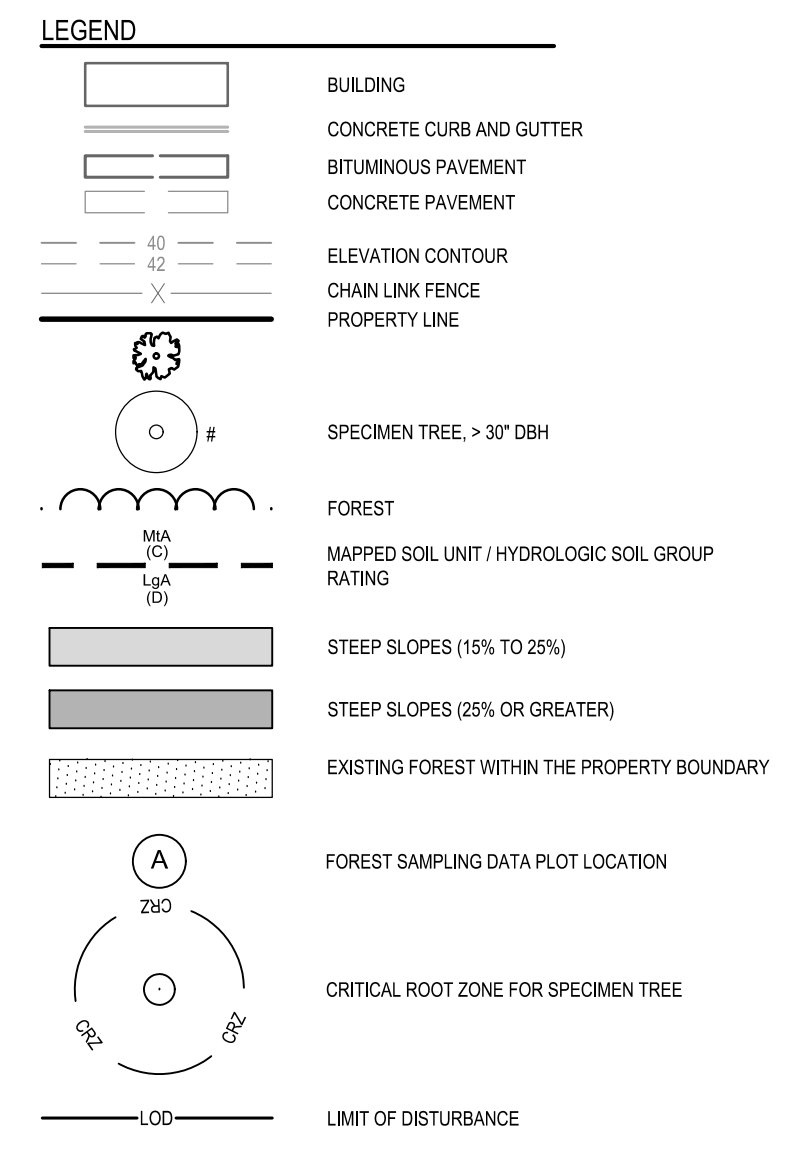


PARCEL 071
LIBER 02032 / FOLIO 00015
"LAKE WATERFORD PARK"
ANNE ARUNDEL COUNTY DEPT OF REC & PARKS
PO BOX 2700, ANNAPOLIS MARYLAND 2700
SITE ADDRESS: 830 PASADENA ROAD
PASADENA 21122
MAP 23, GRID 0006, PARCEL 0071
77.161 ACRES

- FOREST CONSERVATION NOTES:**
- EXISTING FOREST ON SITE = 29.53 AC.
 - EXISTING FOREST WITHIN PROJECT AREA, 2.93 AC.
 - THE TREE DELINEATION AND ENVIRONMENTAL DATA USED IN THIS SIMPLIFIED FSD WERE OBTAINED FROM A PLAN PREPARED BY ANNE ARUNDEL COUNTY DEPARTMENT OF PUBLIC WORKS.
 - ADDRESS: LAKE WATERFORD PARK, 830 PASADENA ROAD, PASADENA, MARYLAND 21122.
 - OWNER: ANNE ARUNDEL COUNTY DEPARTMENT OF RECREATION AND PARKS, P.O. BOX 2700, ANNAPOLIS, MARYLAND 21404-2700.
 - ZONING: OS, OPEN SPACE
TAX ID: 03-000-00477574
TAX MAP / GRID: 0023 / 0006
PARCEL: 0071
LIBER / FOLIO: 02032 / 00015
 - THIS PROJECT WILL REMOVE 127,817 SF OR 2.93 ACRES OF EXISTING FOREST FROM WITHIN THE NET TRACT AREA.
 - REFORESTATION PLANTING REQUIREMENTS PER THE FOREST CONSERVATION WORKSHEET 0
 - NO PLANTING REQUIREMENTS ARE PROPOSED TO BE MET THROUGH ON-SITE PLANTING OF 0 ACRES, 0 TOTAL TREES TO BE PLANTED BASED ON 350 TREES PER ACRE FOR 1 GALLON CONTAINER STOCK.

SOIL SUMMARY:

SYMBOL	MAP UNIT NAME	K RATING
PeB	Patasco-Evesboro-Fort Mott complex, 0 to 5%	0.02 Low erodibility
PgB	Patasco-Fort Mott-Urban land complex, 0 to 5%	0.02 Low erodibility
SME	Sassafras and Croom soils, 15 to 25%	0.15 Moderately low erodibility
ZBA	Zekiah and Issue soils, 0 to 2%, frequently flooded	0.32 Moderately high erodibility



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALIFIED PROFESSIONAL UNDER THE LAWS OF THE STATE OF MARYLAND.

SIGNATURE: _____
DATE: _____

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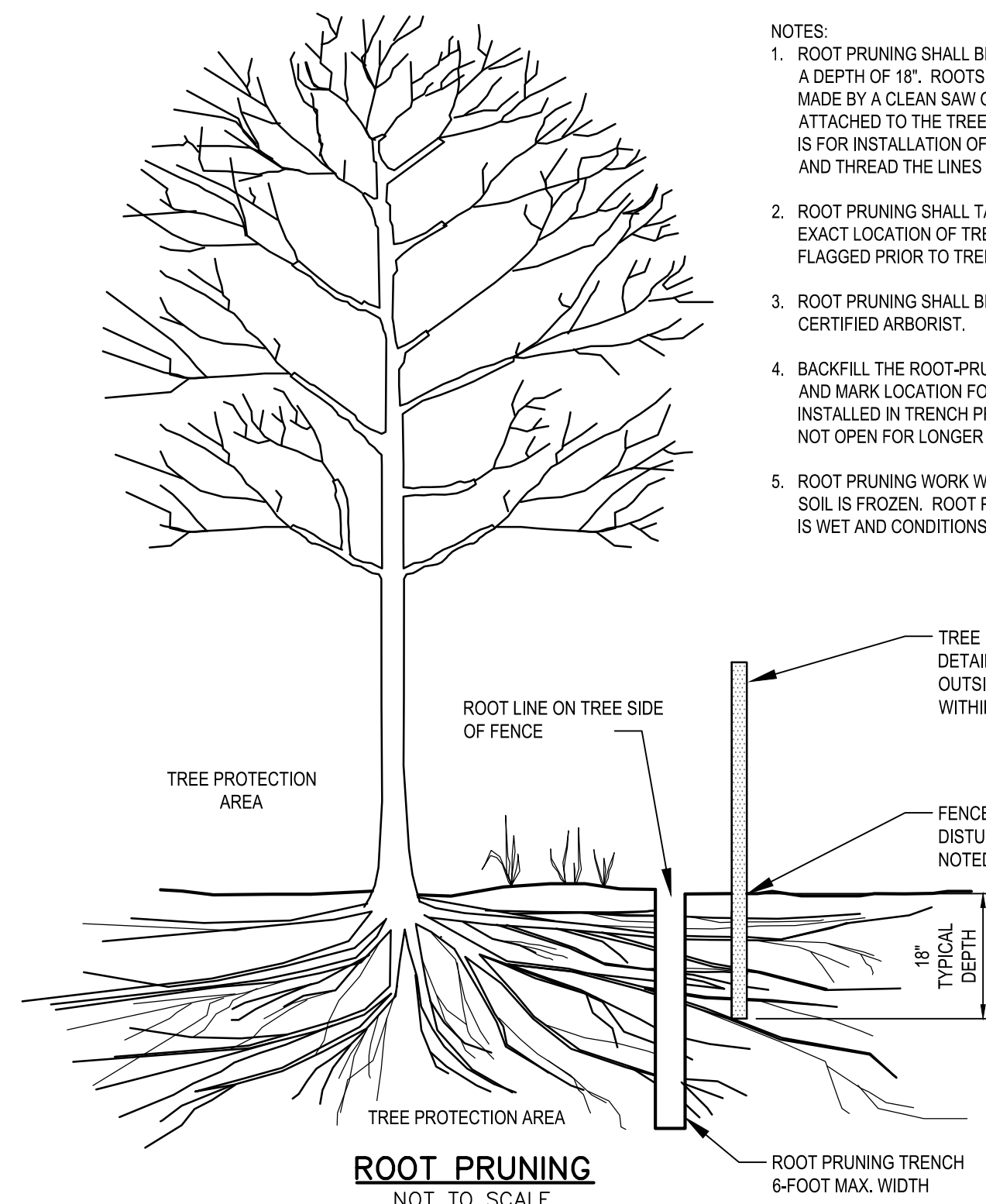
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License # 27734, Expiration Date: 07/12/28

REVISIONS			
NO.	DESCRIPTION	BY	DATE

ANNE ARUNDEL COUNTY DEPARTMENT OF PUBLIC WORKS

APPROVED	DATE	APPROVED	DATE	SCALE: 1" = 30'
CHIEF ENGINEER		PROJECT MANAGER		DRAWN BY: R.S.S.
APPROVED	DATE	APPROVED	DATE	CHECKED BY: R.W.H.
ASSISTANT CHIEF ENGINEER		CHIEF, RIGHT-OF-WAY		SHEET NO. 17 OF 19
				PROJECT NO.: P591000
				CONTRACT NO.: P591001

LAKE WATERFORD PARK
FOREST CONSERVATION PLAN



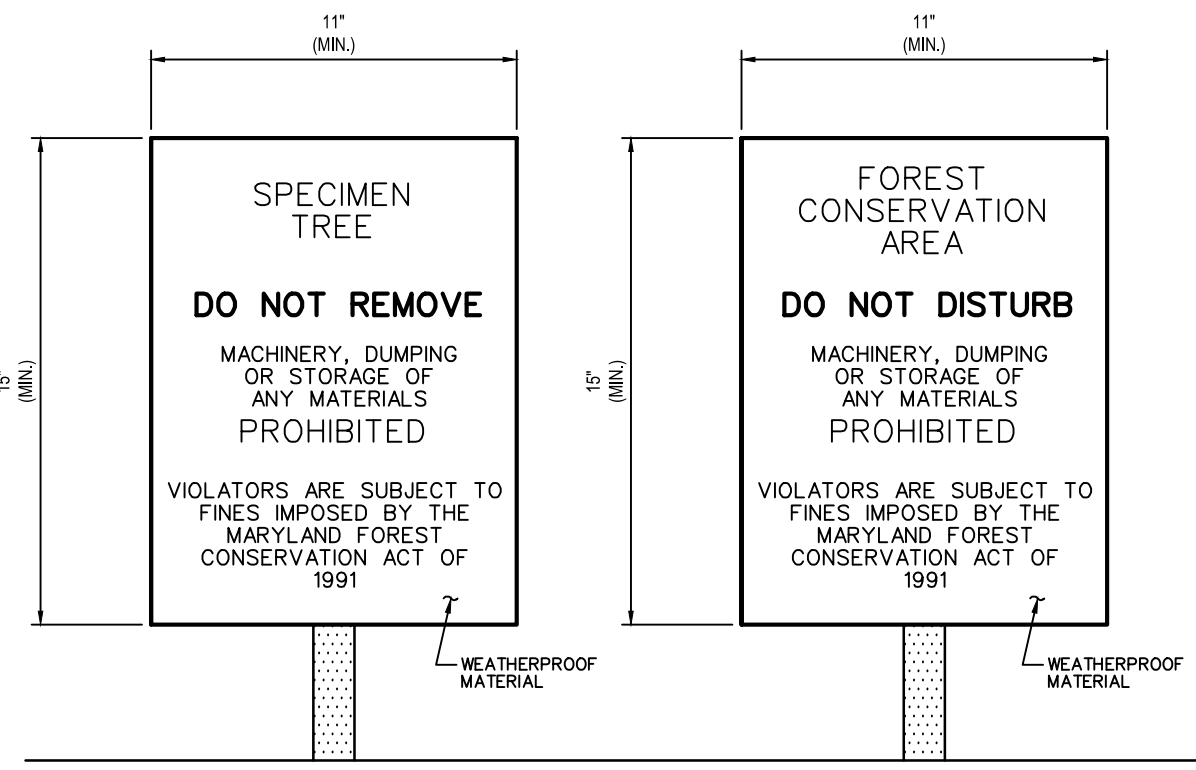
- NOTES:
1. ROOT PRUNING SHALL BE DONE WITH A TRENCHER OR VIBRATORY PLOW TO A DEPTH OF 18". ROOTS OVER 1.5" IN DIAMETER SHALL HAVE A CLEAN CUT MADE BY A CLEAN SAW ON THE SURFACE OF THE ROOT, WHICH IS STILL ATTACHED TO THE TREE. DO NOT PAINT THE CUT ROOT END. IF EXCAVATION IS FOR INSTALLATION OF UNDERGROUND UTILITIES, LEAVE THE ROOT INTACT AND THREAD THE LINES UNDERNEATH.
 2. ROOT PRUNING SHALL TAKE PLACE PRIOR TO ANY CLEARING AND GRADING. EXACT LOCATION OF TREE PROTECTION AREAS SHALL BE STAKED OR FLAGGED PRIOR TO TRENCHING.
 3. ROOT PRUNING SHALL BE CONDUCTED WITH THE SUPERVISION OF A CERTIFIED ARBORIST.
 4. BACKFILL THE ROOT-PRUNING TRENCH WITH EXCAVATED SOIL AND MULCH AND MARK LOCATION FOR FUTURE REFERENCE. SILT FENCE MAY BE INSTALLED IN TRENCH PRIOR TO BACKFILLING AS LONG AS THE TRENCH IS NOT OPEN FOR LONGER THAN 48 HOURS WITHOUT WATERING.
 5. ROOT PRUNING WORK WILL NOT BE DONE WHEN MORE THAN TOP 1 INCH OF SOIL IS FROZEN. ROOT PRUNING WILL NOT BE UNDERTAKEN WHEN THE SOIL IS WET AND CONDITIONS ARE MUDDY.

TREE PROTECTION FENCE (SEE DETAIL 24, THIS SHEET) MAY BE OUTSIDE OF TRENCH LINE OR WITHIN TRENCH

FENCE TO FOLLOW LIMIT OF DISTURBANCE (LOD) UNLESS NOTED OTHERWISE

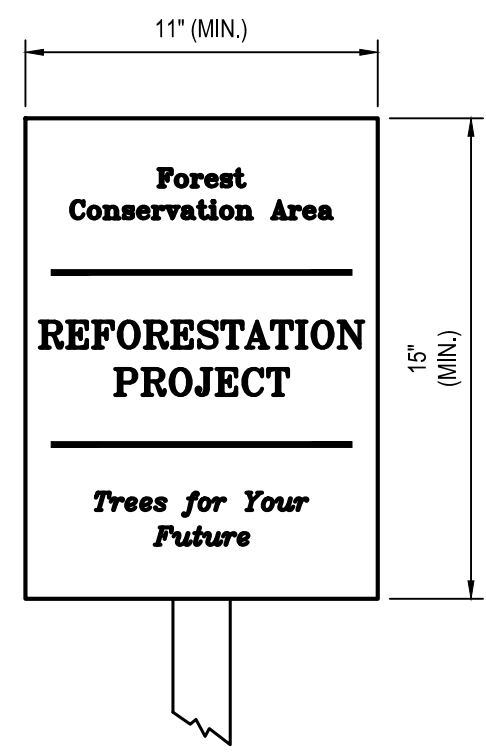
18" MIN. TRENCH DEPTH

ROOT PRUNING
NOT TO SCALE



- NOTES:
1. BOTTOM OF SIGNS TO BE HIGHER THAN TOP OF TREE PROTECTION FENCE.
 2. SIGNS TO BE PLACED APPROXIMATELY 100' APART ALONG THE LIMITS OF DISTURBANCE. CONDITIONS ON SITE AFFECTING VISIBILITY MAY WARRANT PLACING SIGNS CLOSER OR FARTHER APART.
 3. ATTACHMENT OF SIGNS TO TREES IS PROHIBITED.

CONSTRUCTION SIGNS
NOT TO SCALE

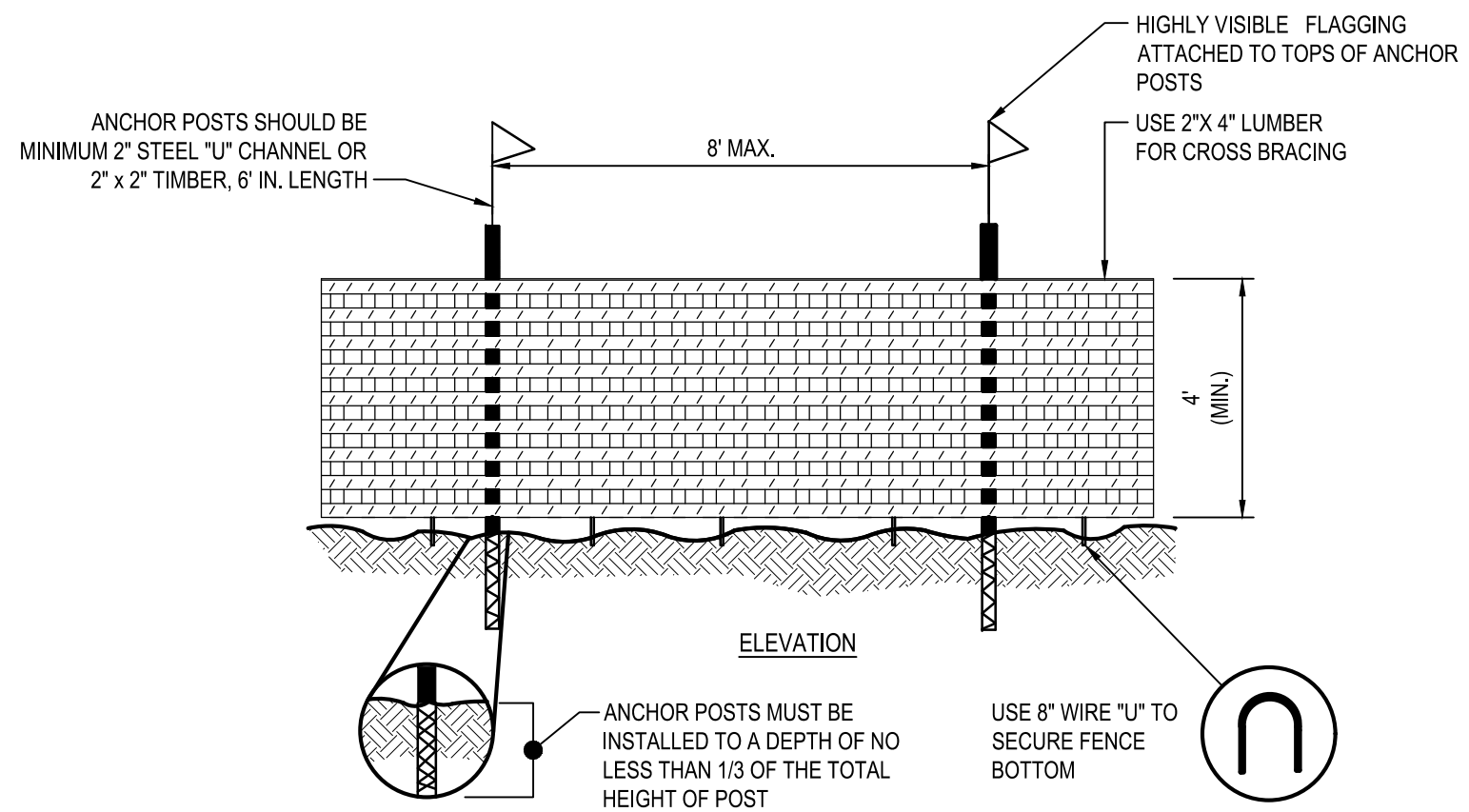


- NOTES:
1. SIGNAGE TO BE INSTALLED ALONG THE COMMON BOUNDARY OF THE TREE PROTECTION FENCE WITH REFORESTATION/AFFORESTATION/PLANTING AREAS.
 2. SIGNS TO BE INSTALLED A MAXIMUM OF 10' ON CENTER AND AT EVERY CORNER OF THE PROTECTED AREA.
 3. SIGNS TO BE MOUNTED AT A HEIGHT OF 4' ON 4"x4" PRESSURE TREATED POSTS.
 4. SIGNAGE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

AFFORESTATION PROTECTION SIGNAGE
NOT TO SCALE

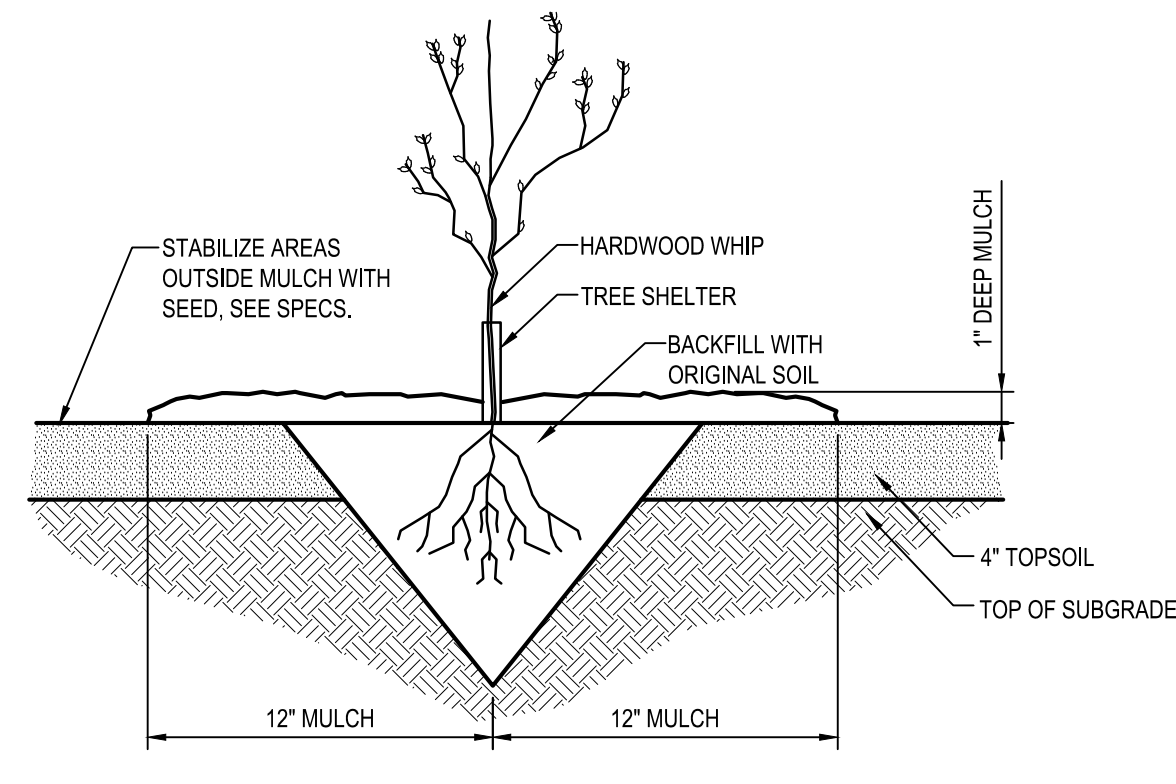
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SIGNATURE: _____
DATE: _____



- NOTES:
1. BLAZE ORANGE OR BLUE PLASTIC MESH FENCE FOR FOREST PROTECTION DEVICE ONLY.
 2. BOUNDARIES OF RETENTION AREA WILL BE ESTABLISHED AS PART OF THE FOREST CONSERVATION PLAN REVIEW PROCESS.
 3. BOUNDARIES OF RETENTION AREA SHALL BE STAKED AND FLAGGED PRIOR TO INSTALLING DEVICE.
 4. AVOID DAMAGE TO CRITICAL ROOT ZONE. DO NOT DAMAGE OR SEVER LARGE ROOTS WHEN INSTALLING POSTS.
 5. PROTECTION SIGNS ARE REQUIRED.
 6. DEVICE SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION.

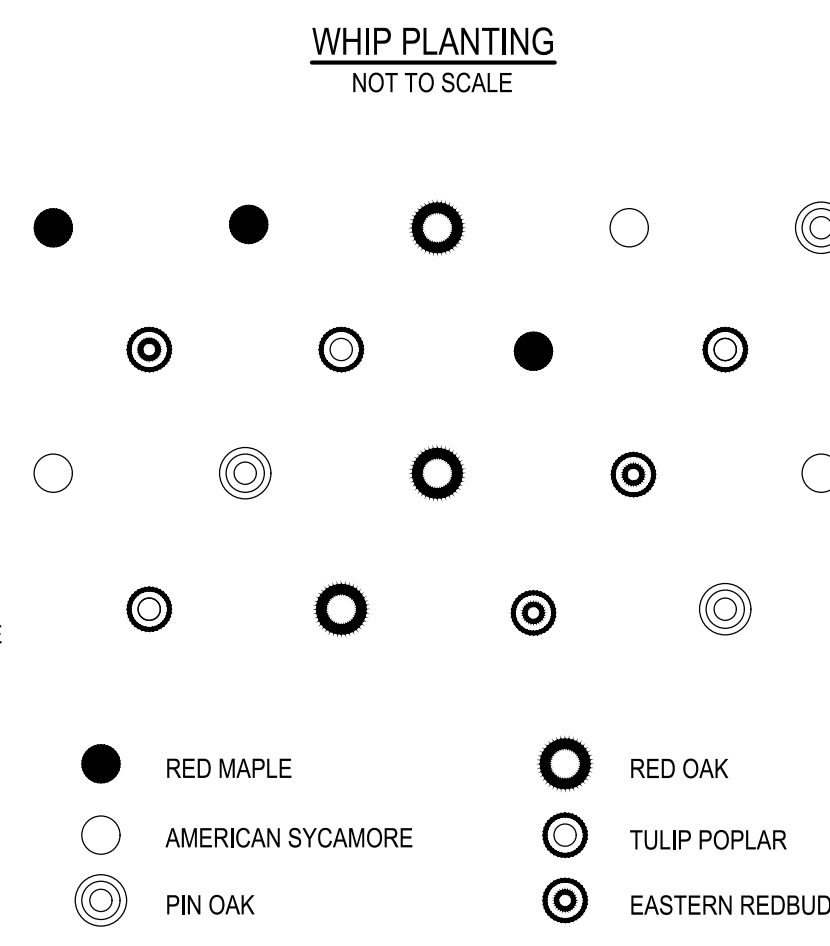
TREE PROTECTION FENCE
NOT TO SCALE



- NOTES:
1. EXTREME CARE SHALL BE TAKEN TO INSURE RETAINED MOISTURE OF THE ROOTS. A MOIST CARRYING CONTAINER SHALL BE USED WHEN TRANSPORTING WHIPS TO THE FIELD.
 2. DO NOT SUBMERGE ROOTS OF WHIPS IN WATER OVERNIGHT.

ELEVATION

TYPICAL PLANTING LAYOUT
NOT TO SCALE



- NOTE:
VARY PLANTING OF SPECIES TO ACHIEVE RANDOM PATTERN.

6 PLANT LAYOUT

AFFORESTATION OR REFORESTATION MAINTENANCE AND REPLACEMENT REQUIREMENTS

A TWO YEAR MAINTENANCE AND REPLACEMENT WARRANTY PERIOD IS REQUIRED FOR ALL NEWLY PLANTED MATERIALS. THE MAINTENANCE AND REPLACEMENT WARRANTY PERIOD SHALL COMMENCE UPON THE DATE OF THE WRITTEN ACCEPTANCE BY THE OWNER OF THE PLANTED AREAS. A WRITTEN WARRANTY WILL BE DELIVERED TO THE OWNER UPON ACCEPTANCE OF THE PLANTED AREAS. THE CONTRACTOR RESPONSIBLE FOR THE INITIAL PLANTING OPERATIONS AND RELATED WORK SHALL PROVIDE MAINTENANCE AND REPLACEMENT. ALL LANDSCAPE PLANT MATERIAL INCLUDED AS FOREST CONSERVATION CREDITS SHALL BE COVERED UNDER THE MAINTENANCE AND REPLACEMENT WARRANTY PERIOD.

MAINTENANCE
THE CONTRACTOR SHALL FIELD CHECK THE NEWLY PLANTED AREA(S) AND SHALL PROVIDE THE FOLLOWING MAINTENANCE ITEMS IN ACCORDANCE WITH THE FOLLOWING SCHEDULE WHICH SHALL BEGIN AFTER THE COMPLETION AND ACCEPTANCE OF THE INITIAL AFFORESTATION OR REFORESTATION PLANTING.

1. **WATERING:** WATERING OF ALL NEWLY PLANTED MATERIALS ONCE PER WEEK AS WEATHER PERMITS DURING THE ENTIRE INITIAL GROWING SEASON. FOLLOWING THE INITIAL GROWING SEASON, WATERING SHALL BE DONE ON AN "AS NEEDED" BASIS DEPENDING ON THE FREQUENCY OF NATURAL RAINFALL. DURING THE MONTHS OF JULY AND AUGUST AND PERIODS OF SEVERE DROUGHT, ALL NEWLY PLANTED MATERIALS SHALL BE WATERED THOROUGHLY ONCE EVERY WEEK. WATERING SHALL BE DONE DEEPLY AND SLOWLY USING AN OPEN END HOSE OR WATERING PROBE. AT LOW PRESSURE, ALLOWING THE WATER TO BE ABSORBED INTO THE SOIL UNTIL THOROUGHLY SATURATED. THE WATERED AREA SHALL INCLUDE THE WHOLE ROOT ZONE AS THE TREE BECOMES MORE ESTABLISHED.
2. **FERTILIZING:** FERTILIZING SHALL BE APPLIED ONLY AFTER THE SOIL HAS BEEN TESTED TO DETERMINE ITS NEEDS. ORGANIC FERTILIZER SHOULD BE APPLIED IN ACCORDANCE WITH THE AMOUNTS RECOMMENDED IN THE SOIL ANALYSIS REPORT. NO FERTILIZING OF NEW PLANTED TREES SHALL BE DONE WITHIN THE FIRST GROWING SEASON AFTER INITIAL PLANTING. FOLLOWING THE FIRST GROWING SEASON, APPLY FERTILIZER AS RECOMMENDED EITHER IN LATE FALL OR EARLY SPRING.
3. **SUPPLEMENTAL MULCH:** TO CONTROL UNDESIRABLE VEGETATION ADJACENT TO THE NEWLY PLANTED MATERIALS AND TO PREVENT TREE ROOTS FROM DRYING OUT, ADDITIONAL MULCH SHALL BE PLACED OVER THE EXISTING MULCH FIELD WHERE REQUIRED. CAREFULLY REMOVE ANY INVASIVE PLANTS, INCLUDING THE ROOT SYSTEM WITHIN THE MULCH FIELDS. DO NOT DAMAGE TREES IN ANY WAY DURING REMOVAL OF INVASIVE PLANTS OR MULCHING OPERATIONS.
4. **PRUNING:** REMOVE DEAD, DISEASED, DYING, AND BROKEN BRANCHES FROM ALL PLANT MATERIALS. PRUNING SHALL BE DONE CLEANLY, LEAVING NO RAGGED EDGES.

REPLACEMENT OF DEAD OR DYING MATERIALS

1. **SURVIVAL REQUIREMENT:** AREAS AT THE END OF THE SECOND GROWING SEASON SHALL MEET THE FOLLOWING MINIMUM PERCENTAGES OF TOTAL PLANTS SPECIFIED BY THE APPROVED PLAN.
 - A. BARE ROOT SEEDLINGS OR WHIPS- 55%
 - B. CONTAINER-GROWN SEEDLING TUBES OR WHIPS WITH TREE SHELTERS- 65%
 - C. CONTAINER-GROWN 1-2- AND 3- GALLON- 75%
 - D. CONTAINER-GROWN 5- AND 7- GALLON OF 1" CAL) B&B- 85%
 - E. 2" CAL B&B- 100%.
2. **INSPECTION:** CONTRACTOR SHALL SCHEDULE AN INSPECTION OF THE AFFORESTATION OR REFORESTATION AREA(S) BY A QUALIFIED REPRESENTATIVE OF THE DPZ AND BY THE QUALIFIED PROFESSIONAL WHO PREPARED THE PLAN, AT THE BEGINNING AND AT THE END OF THE GROWING SEASON TO OBSERVE ANY PROBLEMS, MONITOR SURVIVAL RATE AND SPECIFY NECESSARY REMEDIAL ACTIONS NEEDED TO CORRECT EXISTING PROBLEMS. THE INSPECTION SHOULD FOCUS ON THE FOLLOWING ITEMS WHEN DETERMINING SURVIVAL POTENTIAL:
 - A. VIGOR AND THREAT OF COMPETING VEGETATION
 - B. PLANT STRUCTURE
 - C. GROWTH RATE
 - D. CROWN DEVELOPMENT
 - E. TRUNK CONDITIONS AND HEALTH.
3. **PLANT CONDITION-CHECK SHEETS:** THE CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS ON APPROPRIATE FIELD DATA CHECK SHEETS WHICH SHALL INCLUDE ALL CONDITIONS OBSERVED RELATIVE TO THE HEALTH AND POTENTIAL SURVIVAL OF THE PLANT MATERIALS. SUCH CHECK SHEETS SHALL BE COMPLETED DURING EACH SCHEDULED MAINTENANCE SESSION DURING THE 24-MONTH MANAGEMENT AND MAINTENANCE PROGRAM. ONE COPY OF THE CHECK SHEETS SHALL BE SENT TO THE CLIENT, ONE COPY TO WBCM, AND ONE COPY SHALL BE SENT TO THE ANNE ARUNDEL COUNTY DEPARTMENT OF PLANNING AND ZONING.
4. **REPLACEMENT:** ANY PLANT MATERIALS WHICH ARE 25% DEAD OR MORE SHALL BE REPLACED DURING THE APPROPRIATE SPRING OR FALL PLANTING SEASONS IN ACCORDANCE WITH THE METHODS INDICATED IN THE PLANTING DETAILS. A TREE SHALL BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME GENUS, SPECIES, AND SIZE AS SPECIFIED ON THE PLANT LIST.
5. **INSPECTION/CERTIFICATION SCHEDULE:** THE CONTRACTOR SHALL SUBMIT WITH HIS BID A SCHEDULE FOR THE WORK WHICH SHALL INCLUDE INSPECTIONS BY WBCM AT THE CONCLUSION OF INSTALLATION AND AT THE START AND CONCLUSION OF EACH GROWING SEASON DURING THE TWO-YEAR WARRANTY PERIOD.
6. **PENALTY FOR VIOLATION:** A SITE INSPECTION BY THE CONTRACTOR, AND A REPRESENTATIVE OF WBCM SHALL TAKE PLACE AT THE END OF THE 24-MONTH MANAGEMENT AND MAINTENANCE AGREEMENT PERIOD. THE CONTRACTOR SHALL CONTACT WBCM AT LEAST ONE (1) MONTH IN ADVANCE OF SUCH INSPECTION FOR COORDINATION. IF THE SURVIVAL RATE OF THE AFFORESTATION OR REFORESTATION AREA(S) FALLS BELOW THE ESTABLISHED SURVIVAL REQUIREMENTS BY THE END OF THE 24-MONTH MANAGEMENT AND MAINTENANCE AGREEMENT, THE REMAINING AMOUNT OF THE CASH BOND OR OTHER SURETY MAY BE SUBJECT TO FORFEITURE, OR OTHER PENALTIES MAY BE IMPOSED.

SEQUENCE OF OPERATIONS

PRE-CONSTRUCTION SITE PREPARATION

ALL CONSTRUCTION ACTIVITIES, PRACTICES, TECHNIQUES, ETC., SHALL BE IN CONFORMANCE WITH THE MARYLAND FOREST CONSERVATION PROGRAM, AS SPECIFIED IN THE STATE FOREST CONSERVATION TECHNICAL MANUAL. (THIS MANUAL SUPERCEDES ANY DISCREPANCIES BETWEEN IT AND THESE PLANS).

1. INSTALL TREE PROTECTION FENCE AND IMPLEMENT TREE PROTECTION METHODS AS SHOWN.
2. MOW OR BRUSHHOG THE SITE WITHIN THE LIMITS OF THE PROPOSED REFORESTATION/AFFORESTATION AREA. DO NOT REMOVE OR DAMAGE ANY EXISTING TREES OR SAPLINGS UNLESS OTHERWISE INDICATED.
3. REMOVE OR TREAT WITH AN ACCEPTABLE METHOD, NOXIOUS PLANT MATERIAL SUCH AS MULTIFLORA ROSE, TEARHUMB, AND JOHNSON GRASS BEFORE INSTALLING REFORESTATION/AFFORESTATION PLANTS.
4. INSTALL TREE PROTECTION SIGNAGE.
5. STABILIZE ANY DISTURBED AREAS USING THE SPECIFIED STABILIZATION MIXTURE THAT ALLOWS FOR NATURAL REVEGETATION OF FOREST COMMUNITIES.

FOREST RETENTION SEQUENCE OF OPERATIONS

ALL CONSTRUCTION ACTIVITIES, PRACTICES, TECHNIQUES, ETC., SHALL BE IN CONFORMANCE WITH THE MARYLAND FOREST CONSERVATION PROGRAM, AS SPECIFIED IN THE STATE FOREST CONSERVATION TECHNICAL MANUAL. (THIS MANUAL SUPERCEDES ANY DISCREPANCIES BETWEEN IT AND THESE PLANS).

1. PRIOR TO BEGINNING ANY GRADING OPERATIONS ON THIS SITE OR ON A RESPECTIVE LOT, THERE SHALL BE A PRECONSTRUCTION MEETING HELD AT THE SITE, WHICH IS TO INCLUDE THE CONTRACTOR AND REPRESENTATIVES FROM WHITNEY, BAILEY, COX & MAGNANI, LLC (WBCM), THE ANNE ARUNDEL COUNTY DEPARTMENT OF PLANNING AND ZONING (DPZ) AND THE OWNER WILL BE NOTIFIED BY THE CONTRACTOR AS TO THE TIME AND PLACE OF THE FIELD MEETING. SHOULD THEY WISH TO SEND A REPRESENTATIVE. THE PURPOSE OF THIS MEETING WILL BE TO REVIEW THE APPROVED FCP AND TO FIELD VERIFY THE CORRECT LIMITS OF DISTURBANCE (LOD).
2. THE LIMITS OF DISTURBANCE (LOD) PERTINENT TO THE PRESERVATION OF WOODED AREAS SHALL BE STAKED IN THE FIELD WITH FINAL ADJUSTMENTS BEING MADE AS NECESSARY TO ENSURE ADEQUATE PROTECTION OF THE CRITICAL ROOT ZONE OF TREES DESIGNATED FOR RETENTION. STAKES TO BE USED SHALL BE THOSE SPECIFIED FOR THE "TREE PROTECTION DEVICES" TO WHICH APPROVED PROTECTIVE MATERIAL WILL BE ATTACHED. ALTERNATE MEANS OF DEFINING THE LOD MAY BE USED IF APPROVED BY THE DPZ.
3. ALL FOREST RETENTION AREAS SHALL BE PROTECTED BY HIGHLY VISIBLE, WELL-ANCHORED, TEMPORARY PROTECTION DEVICES (SEE DETAIL), WHICH SHALL BE SECURELY IN PLACE PRIOR TO ANY CLEARING OR GRADING OPERATIONS.
4. GRADING OPERATIONS OR OTHER CONSTRUCTION OPERATIONS THAT COULD DISLODGE OR OTHERWISE DAMAGE THE PROTECTIVE DEVICES SHALL BE AVOIDED ALONG THE EDGES OF THE LOD LINES IF POSSIBLE. THE CONTRACTOR SHALL PROPERLY REPAIR ANY PROTECTIVE DEVICES, WHICH ARE DAMAGED DURING SITE CONSTRUCTION OPERATIONS, IMMEDIATELY.
5. AFTER SITE GRADING AND CONSTRUCTION HAVE BEEN COMPLETED, ALL EXISTING TREES ADJACENT TO THE LOD LINE SHALL BE INSPECTED FOR INDICATIONS OF CROWN DIE-BACK (SUMMER INDICATOR), DAMAGE WITHIN RESPECTIVE CRITICAL ROOT ZONES, ANY DEAD WOOD OR OTHER CONDITIONS WHICH MIGHT BE HAZARDOUS SUCH AS TO PEDESTRIANS, BUILDINGS, UTILITY LINES, VEHICULAR ACCESS WAYS, OR PARKED VEHICLES.
 - A. SHOULD THERE BE EVIDENCE OF ANY DAMAGE TO TREE TRUNKS, BRANCHES, OR OTHER CRITICAL ROOT ZONE OF TREES WITHIN THE PROTECTED AREAS, OR TO ISOLATED SPECIMEN TREES TO BE PRESERVED, THE DAMAGE SHALL BE EXAMINED WITHIN A PERIOD OF TWO (2) DAYS FROM THE DATE OF OBSERVANCE BY A LICENSED TREE CARE PROFESSIONAL. EXPOSED ROOTS SHOULD BE COVERED IMMEDIATELY TO A DEPTH OF 6-8 INCHES WITH SOIL, PREFERABLY MIXED WITH 50% PEAT MOSS OR LEAF MOLD.
 - B. THE CONTRACTOR SHALL REMOVE DAMAGED, DEAD, OR DYING TREES OR LIMBS ONLY IF THE TREES OR LIMBS POSE AN IMMEDIATE SAFETY HAZARD TO BUILDINGS, UTILITY LINES, VEHICLES, OR ACCESS AND EGRESS DRIVES OR PEDESTRIAN AREAS. TREES DESIGNATED FOR PRUNING OR REMOVAL SHALL BE PRUNED OR REMOVED USING EQUIPMENT AND METHODS WHICH WILL NOT DAMAGE OR DESTROY ADJACENT LARGE TREES OR UNDERSTORY TREES OR SHRUBS DESIGNATED FOR RETENTION.
6. ALL TEMPORARY FOREST PROTECTION DEVICES WILL BE CAREFULLY REMOVED AFTER ALL GENERAL CONSTRUCTION, NECESSARY TREE SURGERY, REMOVAL OF DEBRIS, REGRADING AND RESEEDING OF SEDIMENT AND EROSION CONTROL DISTURBANCE HAVE BEEN COMPLETED AND ACCEPTANCE AND APPROVAL OF THE WORK AND SITE CONDITIONS HAVE BEEN GIVEN BY THE DPZ.

AFFORESTATION/REFORESTATION PLANTING SEQUENCE OF OPERATIONS

ALL CONSTRUCTION ACTIVITIES, PRACTICES, TECHNIQUES, ETC., SHALL BE IN CONFORMANCE WITH THE MARYLAND FOREST CONSERVATION PROGRAM, AS SPECIFIED IN THE STATE FOREST CONSERVATION TECHNICAL MANUAL. (THIS MANUAL SUPERCEDES ANY DISCREPANCIES BETWEEN IT AND THESE PLANS).

1. THE CONTRACTOR(S) SHALL INFORM THE ANNE ARUNDEL COUNTY DEPARTMENT OF PLANNING AND ZONING (DPZ) WHEN PLANTING OPERATIONS ARE TO BEGIN.
2. DETERMINE STORAGE AREAS FOR MATERIALS AND EQUIPMENT. OBTAIN APPROVAL OF LOCATION FROM OWNER AND THE DPZ.
3. PRIOR TO BEGINNING ANY PLANTING, THE SOILS WITHIN THE AREA(S) DESIGNATED FOR AFFORESTATION OR REFORESTATION SHALL BE ANALYZED REGARDING THE FOLLOWING FEATURES: NUTRIENT CONTENT, ORGANIC MATTER, STRUCTURE, PH AND CATION EXCHANGE CAPACITY. SOILS THAT HAVE BEEN ACTIVELY FORMED MAY REQUIRE EVALUATION FOR PESTICIDE OR HERBICIDE CONTAMINATION. THE LOCAL SOIL CONSERVATION SERVICE OR AGRICULTURAL EXTENSION SERVICE MAY PERFORM SUCH ANALYSIS. A MINIMUM OF THREE RANDOM SAMPLES SHOULD BE COLLECTED FOR THE ANALYSIS. AN ASSESSMENT OF SOIL MOISTURE SHOULD ALSO BE MADE AT THIS TIME. CORRECTIVE MEASURES SHALL BE MADE IN ACCORDANCE WITH ANALYSIS RESULTS AND RECOMMENDATIONS.
4. THE CONTRACTOR, ASSISTED BY A REPRESENTATIVE OF WHITNEY, BAILEY, COX & MAGNANI, LLC (WBCM) SHALL STAKE (OR WIRE-FLAG) PLANTING AREA LIMITS AND PLANT LOCATIONS IN ACCORDANCE WITH THE PLAN AND DETAILS.
5. PROVIDE AND PLANT ALL TREES OF THE SPECIES AND SIZES SPECIFIED AND IN ACCORDANCE WITH THE DETAIL(S) SHOWN ON THE FOREST CONSERVATION PLANS, UNLESS OTHERWISE DIRECTED BY THE ANNE ARUNDEL COUNTY DPZ. ANY SPECIES SUBSTITUTIONS SHALL BE APPROVED BY WBCM OR THE ANNE ARUNDEL COUNTY DPZ. THE CONTRACTOR IS URGED TO SEEK SUCH APPROVAL PRIOR TO ORDERING OR PLANTING.
6. AT THE COMPLETION OF PLANTING, REMOVE ALL EXCESS MATERIALS AND MISCELLANEOUS DEBRIS FROM THE RESPECTIVE AREA(S) OF WORK.
7. PROTECTION DEVICES: TO PREVENT DAMAGE WITHIN PLANTED AREAS, ALL REFORESTATION AND/OR AFFORESTATION SITES MUST BE POSTED WITH APPROPRIATE SIGNS AND THE AREA(S) DELINEATED WITH APPROPRIATE PROTECTIVE FENCING. NEITHER CONSTRUCTION EQUIPMENT NOR STORAGE OF MATERIALS SHALL BE PERMITTED WITHIN THE PLANTED AREAS. DETAILS ARE SHOWN ON THE FOREST CONSERVATION PLANS REGARDING TYPICAL SIGN SIZE AND WORDING. NO PEDESTRIAN TRAFFIC SHALL BE ALLOWED WITHIN THE PROTECTED AREAS.
8. ATTACHMENT OF SIGNS OR ANY OTHER OBJECTS TO TREES WITHIN THE PROTECTED AREAS IS PROHIBITED.

300 East Joppa Road Suite 200
Baltimore, MD 21286
410.512.4500 www.transystems.com

TRANSYSTEMS

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License # 27734 Expiration Date: 07/12/2026

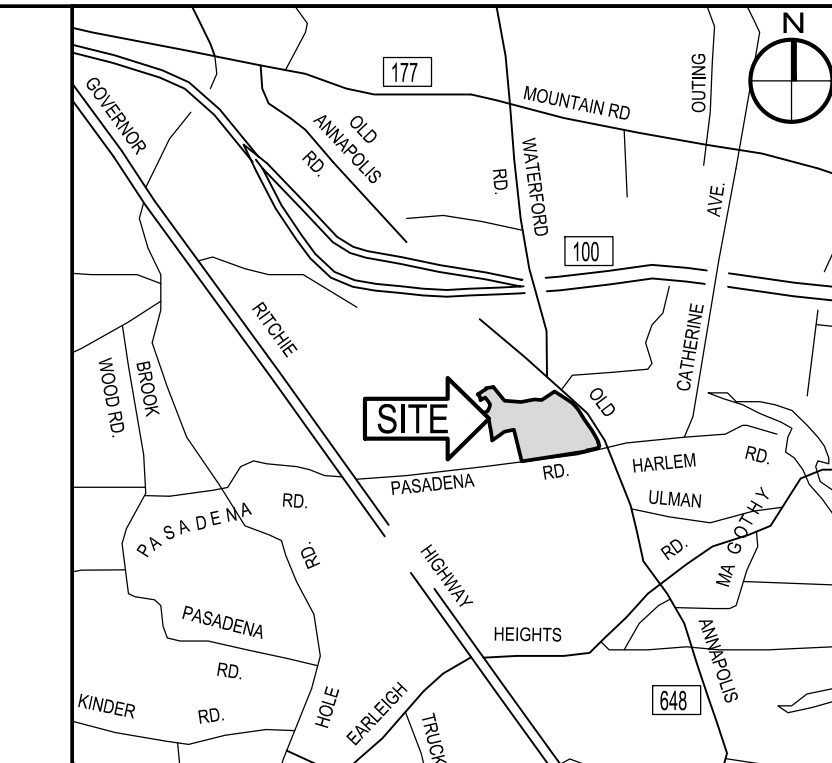
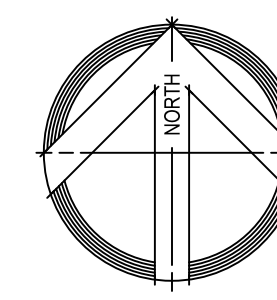
REVISIONS			
NO.	DESCRIPTION	BY	DATE

ANNE ARUNDEL COUNTY
DEPARTMENT OF PUBLIC WORKS

APPROVED	DATE	APPROVED	DATE
CHIEF ENGINEER		PROJECT MANAGER	
APPROVED	DATE	APPROVED	DATE
ASSISTANT CHIEF ENGINEER		CHIEF, RIGHT-OF-WAY	

SCALE: AS SHOWN
DRAWN BY: R.S.S.
CHECKED BY: R.W.H.
SHEET NO. 18 OF 19
PROJECT NO.: P591000
CONTRACT NO.: P591001

LAKE WATERFORD PARK
FOREST CONSERVATION NOTES AND DETAILS

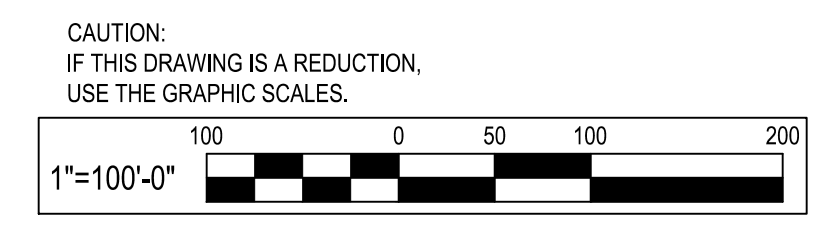


VICINITY MAP
SCALE: 1" = 2,000'

LEGEND:

'A' SOIL: 120,778 SQ.FT. 'C' SOIL: 7,364 SQ.FT.		NEW IMPERVIOUS AREA
'A' SOIL: 120,883 SQ.FT. 'C' SOIL: 11,179 SQ.FT.		PERVIOUS TO REMAIN
260,204 SQ.FT.		LIMITS OF DISTURBANCE

G:\Projects_2024\BL720\72024-0037\Drawings\72024-0037-Water Quality Map.dwg Dec 19, 2024 - 2:31pm Plot By: rsmith



300 East Joppa Road Suite 200
Baltimore, MD 21286
410.512.4500 www.transystems.com

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
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SCALE: 1" = 100'		DRAWN BY: R.S.S.	
		CHECKED BY: R.W.H.	
		SHEET NO. 19 OF 19	
		PROJECT NO.: P591000	
		CONTRACT NO.: P591001	

LAKE WATERFORD PARK
WATER QUALITY MAP