



303 Najoles Road - Suite 114  
Millersville, MD 21108

Phone: 410-987-6901  
Fax: 410-987-0589

October 10, 2024

Ms. Sterling Seay  
Anne Arundel County  
Office of Planning and Zoning  
2664 Riva Road  
Annapolis MD 21401

Re: 3018 Friends Road  
Annapolis, MD 21401  
T.M. 50 B. 23 P. 237

Dear Ms. Seay,

Please accept this as our formal variance request to the Subdivision and Development Regulations in Article 17 on behalf of our client regarding critical area law. The variance requests are to Article 17, Section 8-301(b) prohibiting disturbance in the 100' buffer and to Article 17, Section 8-201 to disturb steep slopes in the critical area.

We are requesting this variance to allow for an existing the house to go through a partial demo/remodel process. It is the intention of the owners, as shown on the proposed house plans to demo the first floor of the existing house and leave the foundation as is. There will be no increase in the foot print or impervious coverage of the lot. The proposed work can be done with little disturbance to the steep slopes and 100' critical area buffer. The renovation will require the existing foundation to be upgraded in order to support the proposed renovation. A structural engineer has designed a helical pile system to be installed to help support the existing foundation. This structural improvement can be done with in the walls of the foundation. For this reason, it is hard to determine the exact disturbance required. We believe that a conservative disturbance area would be approximately 10 feet around the perimeter of the existing house foot print which equates to approximately 2,210 square feet. The entirety of the house and decks are within the 100' critical area buffer or within slopes greater than 15%.

Explanation as required by Article 18, Section 16-305(b)

The topographical conditions of this lot cause implementation of the County's critical area program to cause unwarranted hardship on the property. A variance is necessary to partially demo and remodel an existing house.. Literal interpretation of COMAR, Title 27, Criteria for Local Critical Area Program Development or the County's critical area program and related ordinances will deprive the applicant of rights commonly enjoyed by other properties in similar areas and will not confer special privilege onto the applicant as adjacent residences have remodeled their homes t. These variance requests are not results of actions by the applicant and there has been no

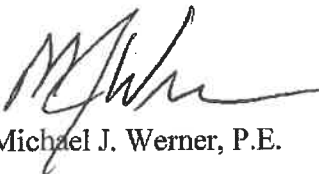
commencement of development before this application for a variance was filed and does not have any bearing or connection to building on neighboring properties. The granting of this variance will not adversely affect water quality and fish as the flow characteristics of the site remain unchanged in the proposed condition as the lot coverage will not be changed and all disturbance will be restored to natural condition. Wildlife or plant habitat will not be adversely affected as the granting of the variances will allow the disturbance to be proposed as the same foot print, minimizing any new clearing of trees and disturbance to wildlife habitat. There are no other site planning alternatives for this particular site as the request is to partially demo/remodel an existing home with same foot print which reduces the amount of disturbance as much as possible.

Explanation as required by Article 18, Section 16-305(c)

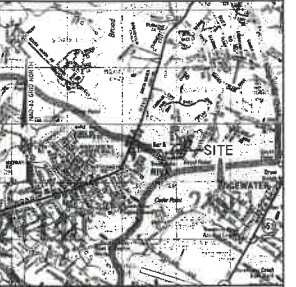
We believe the granting of this variance is warranted because the requested variance is the minimal necessary to afford relief because the proposed plan is the least intrusive way to remodel an existing house. The granting of this variance will not alter the character of the neighborhood as the proposal aims to only remodel an existing home which other adjacent properties also have done. This variance will not impair the appropriate use or development of the surrounding property as it will not deny access or the possibility to build on neighboring lots. The variance will not reduce forest cover in the LDA not be contrary to the acceptable clearing and replanting practices in the LDA as there is no clearing proposed. The granting of this variance will not be detrimental to the welfare of the public.

If you have any questions or need any additional information, please feel free to contact me at your convenience.

Sincerely,

A handwritten signature in black ink, appearing to read "M. J. Werner", written in a cursive style.

Michael J. Werner, P.E.



VICINITY MAP  
SCALE: 1" = 2,000'  
ASC MAP # SA-08D-14

- GENERAL NOTES**
- Total area of site is 19,454 sq. ft. 0.447 Ac. +/-
  - Existing Zoning is R-2. Setbacks: Front: 30' Rear: 25' Side: 7'
  - Existing Use of site is Existing 1-Story House & Ex. Garage w/ Pool-Deck.
  - Proposed Use of the site is: 2-Story House & Ex. Garage w/ Pool-Deck.
  - Site is known as: 3025 Friends Rd (Op. St. #4, Sec. A, Lta 3-4-5).
  - Water and Sewer to remain connected and to be utilized.
  - FEMA-FIRM Map # 24050303397, Zone AE; Elev. 7' (effective 2/18/2015)
  - Site is in the Critical Area 15A Zone.
  - A properly filed survey has not been completed to the date.
  - This site is located within the South River Watershed.
  - The contractor shall be responsible for resolving and rectifying any existing fences, driveways, etc. damaged or removed during construction.
  - The contractor shall notify "MDS UTILITY" (1-800-237-7977) 48 hours before starting work shown on these drawings.
  - This plan is intended to provide sediment and erosion control during the grading of the (new) and (old) and the construction of the house(s). Measures have been taken to prevent sediment from leaving the site.
  - Anex, Inc. has not field-verified existing utility information. It is the responsibility of the contractor to contact and obtain all records, information, and locations prior to commencement of utility operations. Any discrepancies shall be brought to Anex, Inc.'s attention immediately.
  - Contours shown on this plan are taken from a topographic survey completed by Kings Pointe Survey, dated Nov. 16, 2023, (on-site areas). For off-site areas they are taken from a A. G. Topo and Utility Drawings map. The contractor shall verify the elevations taken on collection prior to starting work. Any discrepancies shall be brought to Anex, Inc.'s attention immediately.
  - Any pertinent information within 100' of the property line is shown.
  - All roof areas shall drain through downspouts onto splash blocks and ultimately discharge to a vegetatively stabilized area, or drain to a Stormwater Management device as shown on these plans.

**LEGEND**

	EXISTING GRADE
	PROPOSED GRADE
	SPOT ELEVATION
	FLOW ARROW
	EX. HOUSE/CAR
	SOIL DISTURBANCE LINE
	FEMA FLOOD ZONE (AE)
	CRITICAL AREA BUFFER TO SHORELINE
	STEEP SLOPES (5% & steeper)

**PROPOSED PROJECT:**  
3025 FRIENDS RD, SECTION A, LOTS 3, 4, & 5  
ANNAPOLIS, MD 21401-7223  
DEED: 16229 / 00359  
TAX MAP # 50 OR 23 PARCEL 237  
T.A. # 02-154-1028400  
(R-2 Zoning)  
Surveyed Area = 12,654 sq. ft.  
S 18° 23' 28" W 6.09'

**OWNER/DEVELOPER**  
3025 LLC  
3025 FRIENDS RD  
ANNAPOLIS MD 21401-7223  
DEED: 16229 / 00359

PROFESSIONAL CERTIFICATION: I, Michael J. Wesner, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License # 33360, Expiration date 11/17/2026.

#	REVISIONS: Description	APPROVED BY:	DATE:
1			



SHEET 1 OF 1  
**SITE PLAN**  
CAPE ST JOHN, Section A,  
Lots 3, 4, & p/g 5  
SUBDIVISION #2023-00-0000  
TAX MAP # 50 OR 23 PARCEL 237 TAX ACCOUNT #02-154-1015905  
3025 Friends Rd, ANNAPOLIS, MD 21401-7223  
SECOND ASSESSMENT DISTRICT ANNE ARUNDEL COUNTY, MARYLAND 21401  
SCALE: 1" = 20' DATE: JANUARY, 2025

CRITICAL AREA COMMISSION  
 CHESAPEAKE AND ATLANTIC COASTAL BAYS  
 1804 WEST STREET, SUITE 100  
 ANNAPOLIS, MD 21401

PROJECT NOTIFICATION APPLICATION

**GENERAL PROJECT INFORMATION**

Jurisdiction: ANNE ARUNDEL COUNTY

Date: 1/16/2025

Tax Map #	Parcel #	Block #	Lot #	Section
<u>50</u>	<u>237</u>	<u>23</u>	<u>3.4 ap/05</u>	<u>A</u>

**FOR RESUBMITTAL ONLY**

- Corrections
- Redesign
- No Change
- Non-Critical Area

\*Complete Only Page 1  
 General Project Information

Tax ID: 02-154-10159905

Project Name (site name, subdivision name, or other) CAPE ST JOHN, SECTION A, LOT 3.4 ap/05

Project location/Address 3018 FRIENDS ROAD

City ANNAPOLIS Zip 21401

Local case number \_\_\_\_\_

Applicant: Last name SALKELD First name DANA

Company —

**Application Type (check all that apply):**

- |  |  |
|--|--|
| Building Permit <input type="checkbox"/>           | Variance <input checked="" type="checkbox"/> |
| Buffer Management Plan <input type="checkbox"/>    | Rezoning <input type="checkbox"/>            |
| Conditional Use <input type="checkbox"/>           | Site Plan <input type="checkbox"/>           |
| Consistency Report <input type="checkbox"/>        | Special Exception <input type="checkbox"/>   |
| Disturbance > 5,000 sq ft <input type="checkbox"/> | Subdivision <input type="checkbox"/>         |
| Grading Permit <input type="checkbox"/>            | Other <input type="checkbox"/>               |

**Local Jurisdiction Contact Information:**

Last name \_\_\_\_\_ First name \_\_\_\_\_

Phone # \_\_\_\_\_ Response from Commission Required By \_\_\_\_\_

Fax # \_\_\_\_\_ Hearing date \_\_\_\_\_

### SPECIFIC PROJECT INFORMATION

Describe Proposed use of project site:

RENOVATE EXISTING HOUSE TO ADD STORIES ABOVE

Intra-Family Transfer  Yes  
 Grandfathered Lot

Growth Allocation  Yes  
 Buffer Exemption Area

#### Project Type (check all that apply)

Commercial   
 Consistency Report   
 Industrial   
 Institutional   
 Mixed Use   
 Other

Recreational   
 Redevelopment   
 Residential   
 Shore Erosion Control   
 Water-Dependent Facility

### SITE INVENTORY (Enter acres or square feet)

	Acres	Sq Ft
IDA Area	0.45	
LDA Area		
RCA Area		
Total Area	0.45	

Total Disturbed Area 

Acres	
Sq Ft	3,471

# of Lots Created

	Acres	Sq Ft		Acres	Sq Ft
Existing Forest/Woodland/Trees	0.07		Existing Lot Coverage		8,846
Created Forest/Woodland/Trees	0		New Lot Coverage		-
Removed Forest/Woodland/Trees	0		Removed Lot Coverage		-
			Total Lot Coverage		8,846

### VARIANCE INFORMATION (Check all that apply)

	Acres	Sq Ft		Acres	Sq Ft
Buffer Disturbance		2991	Buffer Forest Clearing	0	0
Non-Buffer Disturbance		480	Mitigation	TBD	TBD

Variance Type

Buffer   
 Forest Clearing   
 HPA Impact   
 Lot Coverage   
 Expanded Buffer   
 Nontidal Wetlands   
 Setback   
 Steep Slopes   
 Other

Structure

Acc. Structure Addition   
 Barn   
 Deck   
 Dwelling   
 Dwelling Addition   
 Garage   
 Gazebo   
 Patio   
 Pool   
 Shed   
 Other

# Chesapeake Bay Critical Area Report

**3018 Friends Road**  
**Tax Map: 50 Grid: 23 Parcel: 237**  
**Lots: 3-4, & p/o 5**  
**Annapolis, MD**

**December 2024**

*Prepared for:*

3025 , LLC  
3025 Friends Road  
Annapolis, MD

*Prepared by:*

Holly Oak Consulting, LLC  
303 Sycamore Rd  
Severna Park, MD 21146  
khaines@hollyoakconsulting.com



## 1.0 - INTRODUCTION

The subject property is located at 3018 Friends Road in Annapolis, Maryland. The property is identified on Tax Map 50, Grid 23, as Parcel 237, Lots 3-4, p/o Lt 5. The site is zoned R2 per the Anne Arundel County Zoning Map. Field work for this report was completed on October 17, 2024 by Kevin C. Haines of Holly Oak Consulting, LLC.

## 2.0 – EXISTING CONDITIONS

The site contains 0.45-acre all of which is within the Chesapeake Bay Critical Area. More specifically, the site is mapped within the Intensley Developed Area (IDA). The site falls from east to west towards the South River. The property is entirely developed with a residence, driveway, and accessory structures.

The site is bordered to the north and south by residences, to the west by the South River, and to the east by Friends Road.

The United States Department of Agriculture Natural Resources Conservation Service has mapped the soils throughout Anne Arundel County and makes the mapped soils and descriptions available online through the Web Soil Survey. The data that was retrieved on October 2, 2024 and showed two (2) soil types exist in the study area. The soil type and description can be found below. A copy of the soil mapping can be found in Appendix A.

<i>Map Unit Symbol</i>	<i>Map Unit Name</i>	<i>Hydric (%)</i>	<i>K-Factor (Whole Soil)</i>
AsF	Annapolis Fine Sandy Loam, 25-40% slopes	5	0.24
AuD	Annapolis-Urban land complex, 5-15% slopes	0	-

## 3.0 – AERIAL IMAGERY REVIEW & SITE HISTORY

This site is located along the shores of the South River, near Riva, MD a suburb of the greater Baltimore and Annapolis areas. The surrounding area was largely used as a summering location from the 1920s through the 1950s, when the surrounding areas began to become developed with residential subdivisions. A copy of the USGS Topographical map can be found in Appendix A.

Per aerial photos from 1970-2024, the site has remained in a similar vegetative state. Aerial images are available upon request.

## 4.0 – PROPOSED CONDITIONS

The applicant proposes to add a second story addition to the structure. No ground disturbance is proposed.

Forest clearing and ground disturbance within the buffer are not proposed.

Stormwater management is not required for this project as the proposal does not include disturbance above 5,000 square feet, and forest clearing is not required.

## **5.0 – HABITAT PROTECTION AREAS**

State and County Critical Area Law identifies certain areas of high environmental value as habitat protection areas (HPAs). Below is a discussion of HPA's existing within the subject site.

### **5.1 - Steep Slopes**

Anne Arundel County designates steep slopes within the Critical Area as slopes of 15% that are at least 6' high. The site includes steep slopes and their buffer and disturbance to both areas is proposed. The disturbance is minimal and has been minimized to footer installation only for the deck.

### **5.2 - Rare, Threatened & Endangered Species**

A request for Environmental Review was submitted to the Maryland Department of Natural Resources Wildlife and Heritage Services on October 15, 2024 and a response is forthcoming. Per initial research of DNR records there does not appear to be records of RTEs within or adjacent to the boundary of this site. RTEs were not noted during the field visits to this site. The site is not mapped as FIDS habitat per MDDNR's MERLIN Online GIS Database.

### **5.3 - Wetlands, Streams, & 100-Year Floodplain**

The site does not contain tidal wetlands, non-tidal wetlands, or streams per the field observations. Furthermore, neither the USFWS National Wetland Inventory nor the MD DNR Wetland Inventory indicates the presence of wetlands or streams within the site boundary.

The site is located within the South River Watershed (MD 02131003 8-digit).

The site lies within Zone X (areas of minimal flood hazard) except for the dirtectly adjacent to the South River (zone AE) per FEMA Flood Insurance Rate Maps #24003C0229F (eff. 2/18/15).

### **5.4 –Buffer and Expanded Buffer**

The site contains the 100' buffer to Tidal Waters. The buffer is not expanded on site as the property lies within a buffer modified area.

### **5.5 – Other HPAs Not Contained within Study Area**

Several HPAs are not mapped within or adjacent to the study area. MDDNR's MERLIN online mapping database was reviewed and showed that the following HPA's are not located within or near the study area: Submerged aquatic vegetation, shellfish beds, historical waterfowl staging and concentration areas, sensitive species project review areas, and natural heritage areas.

## **6.0 – EXISTING VEGETATION & WILDLIFE**

Except for landscaping provided on site, no notable vegetation is present on site.



## References

- Brown, R.G. and M.L. Brown. 1972. *Woody Plants of Maryland*. Port City Press, Baltimore, Maryland.
- Eyre, F. H. (1980). *Forest cover types of the United States and Canada*. Washington, D.C. (5400 Grosvenor Lane, Washington, D.C. 20014): Society of American Foresters.
- Foell, Stephanie (2004). *McLean Property, Maryland Historical Trust Determination of Eligibility Form*. Baltimore, MD: Maryland Historical Trust.
- Jones, Claudia, McCann, Jim, & McConville, Susan. (2001). *A Guide to the Conservation of Forest Interior Dwelling Birds in the Chesapeake Bay Critical Area*.
- Kaufman, S. R., & Kaufman, W. (2013). *Invasive plants: a guide to identification, impacts, and control of common North American species*. Mechanicsburg, PA: Stackpole Books.
- Lerman, S., Nislow, K., Nowak, D., DeStefano, S., Kind, D. and Jones-Ferrand, T. (2017). *Using urban forest assessment tools to model bird habitat potential -*
- Maryland DNR (Department of Natural Resources). 1997. *State Forest Conservation Technical Manual*. Third Edition, Ginger Page Howell and Todd Ericson, Editors.



303 Sycamore Rd  
Severna Park, MD 21116  
P: (410) 906-3119  
Email: info@hollyoakconsulting.com

PROJECT

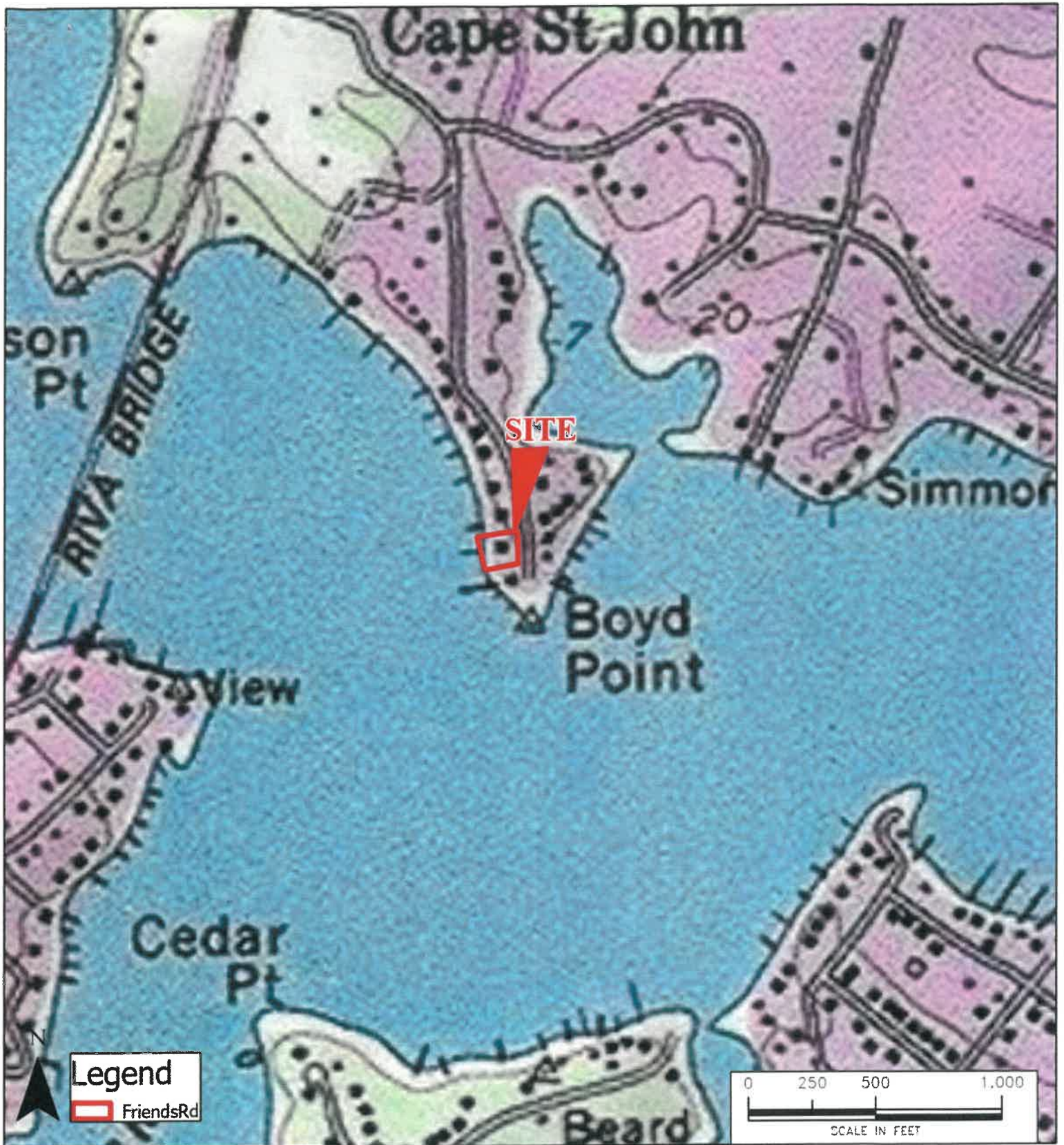
**3018 FRIENDS ROAD**


ANNAPOLIS, MD  
ANNE ARUNDEL CO.

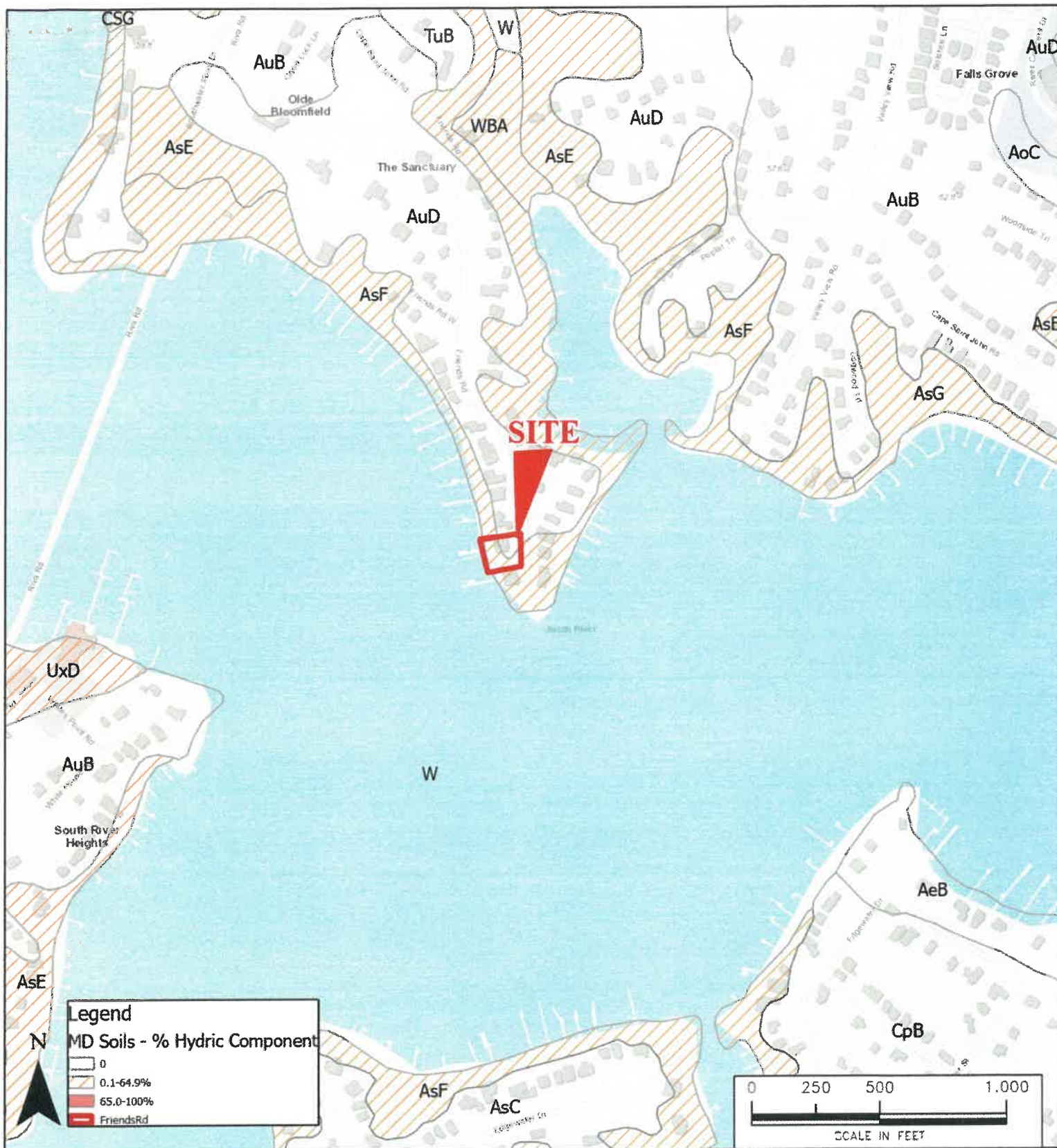
DRAWING TITLE

**VICINITY MAP**

PROJ. NO. 24-110	FIGURE <b>1</b>
DRAWN BY KCH	
SCALE 1" = 1,000'	
DATE 12/15/2024	



 303 Sycamore Rd Severna Park, MD 21116 P: (410) 906-3119 Email: info@hollyoakconsulting.com	PROJECT	DRAWING TITLE	PROJ. NO.	FIGURE
	3018 FRIENDS ROAD	USGS 24K TOPOGRAPHICAL MAP	24-110	2
	ANNAPOLIS, MD ANNE ARUNDEL CO.		DRAWN BY KCH	
				SCALE 1"=500'
			DATE 12/15/2024	

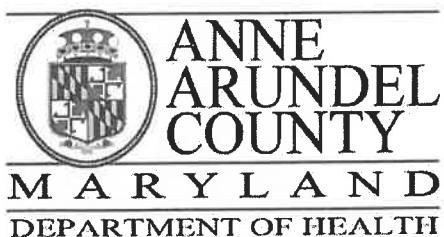



**HOLLY OAK CONSULTING, LLC**  
 303 Sycamore Rd  
 Severna Park, MD 21116  
 P: 410-390-9066  
 Email: info@hollyoakconsulting.com

**PROJECT**  
 3018 FRIENDS ROAD  
 ANNAPOLIS, MD  
 ANNE ARUNDEL CO.

**DRAWING TITLE**  
 USDA NRCS SOIL SURVEY

<b>PROJ. NO.</b> 24-110	<b>FIGURE</b> 3
<b>DRAWN BY</b> KCH	
<b>SCALE</b> 1"=500'	<b>DATE</b> 12/15/2024
<b>DATE</b>	




J. Howard Beard Health Services Building  
3 Harry S. Truman Parkway  
Annapolis, Maryland 21401  
Phone: 410-222-7095 Fax: 410-222-7294  
Maryland Relay (TTY): 711  
www.aahealth.org

**Tonii Gedin, RN, DNP**  
Health Officer

### MEMORANDUM

TO: Sadé Medina, Zoning Applications  
Planning and Zoning Department, MS-6301

FROM: Brian Chew, Program Manager  
Bureau of Environmental Health 

DATE: February 7, 2025

RE: 3025, LLC  
3018 Friends Road  
Annapolis, MD 21401

NUMBER: 2025-0010-V

SUBJECT: Variance/Special Exception/Rezoning

The Health Department has reviewed the above referenced variance to allow a dwelling addition (first floor renovation, second floor addition, third floor half-story attic) with less setbacks than required and with disturbance to slopes of 15% or greater.

The Health Department has reviewed the above-referenced request. The property is served by public water and sewer facilities. The Health Department has no objection to the above-referenced request.

If you have further questions or comments, please contact Brian Chew at 410-222-7413.

cc: Sterling Seay

# SALKELD RESIDENCE

ANNAPOLIS, MARYLAND

## CONSTRUCTION DRAWINGS

DESIGN CRITERIA PER 2018 IRC AND 2018 IECC

INSTALL FIRE SUPPRESSION SYSTEM IN ACCORDANCE WITH NFPA 13D

EXISTING FIRST FLOOR FINISHED AREA: 2,352 SQ.FT.  
REMODELED FIRST FLOOR AREA: 2,352 SQ.FT.  
EXISTING SECOND FLOOR FINISHED AREA: 0 SQ.FT.  
ADDITION SECOND FLOOR AREA: 1,615 SQ.FT.  
EXISTING FIRST & SECOND FLOOR FINISHED AREA: 3,523 SQ.FT.  
REMODELED AND ADDITION FIRST & SECOND FLOOR FINISHED AREA: 4,021 SQ.FT.  
EXISTING BASEMENT FINISHED: 930 SQ. FT.  
ADDITION BASEMENT FINISHED: 400 SQ. FT.  
REMODELED AND ADDITION BASEMENT FINISHED AREA: 1,330 SQ.FT.

### SCOPE OF WORK

DEMO PER SHEETS A000 - A001  
INSTALL NEW WINDOWS, ROOF & SIDING  
INSTALL NEW WALLS PER PLAN  
INSTALL NEW SECOND FLOOR PER PLAN  
INSTALL NEW ROOF PER PLAN  
INSTALL NEW HVAC, PLUMBING & ELECTRIC  
INSTALL NEW INSULATION & DRYWALL  
INSTALL NEW TRIM, FLOOR COVERING & PAINT  
INSTALL NEW CABINETS, TOPS & APPLIANCES

### DRAWING INDEX

#### ARCHITECTURAL:

001	COVER SHEET	NO SCALE
002	NOTES DIVISION 1 - 4	NO SCALE
003	NOTES DIVISION 5 - 16	NO SCALE
A001	FRONT ELEVATION	1/4" = 1'-0"
A002	REAR ELEVATION	1/4" = 1'-0"
A003	REAR & SIDE ELEVATIONS	3/16" = 1'-0"
A004	FIRST FLOOR PLAN	1/4" = 1'-0"
A005	SECOND FLOOR PLAN	1/4" = 1'-0"
A007	FOUNDATION PLAN	1/4" = 1'-0"
A008	EXISTING FRONT & REAR ELEVATIONS	1/4" = 1'-0"
A009	EXISTING SIDE ELEVATIONS	3/16" = 1'-0"
A010	EXISTING FIRST FLOOR PLAN	1/4" = 1'-0"
A011	EXISTING FOUNDATION PLAN	1/4" = 1'-0"
S001	FIRST FLOOR FRAMING PLAN	1/4" = 1'-0"
S002	SECOND FLOOR FRAMING PLAN	1/4" = 1'-0"
S003	ROOF FRAMING PLAN	1/4" = 1'-0"
S004	SECTION 1	3/8" = 1'-0"
S005	SECTION 2	3/8" = 1'-0"
S006	SECTION 3	1/2" = 1'-0"
S007	SECTION 4	1/2" = 1'-0"
S008	SECTION 4	1/2" = 1'-0"
S009	SECTION 4	1/2" = 1'-0"
	CALCS	NO SCALE
E001	FIRST FLOOR ELECTRICAL	1/4" = 1'-0"
E002	SECOND FLOOR ELECTRICAL	1/4" = 1'-0"
E003	BASEMENT ELECTRICAL	1/4" = 1'-0"

PROFESSIONAL CERTIFICATION I HEREBY  
CERTIFY THAT THESE DRAWINGS WERE  
PREPARED OR APPROVED BY ME, AND THAT I  
AM A LICENSED PROFESSIONAL ARCHITECT  
UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 10249, EXPIRATION DATE 10/31/24



DATE: 12/15/23  
REVISIONS:

SUNSET DESIGN

851 MORAN COURT  
ANNAPOLIS, MD 21401  
PHONE: 443-939-5395  
DRAWN BY: MICHAEL STEVENSON

ADDITION/REMODEL FOR  
SALKELD FAMILY RETREAT  
BUILDING SITE:

3018 FRIENDS ROAD  
ANNAPOLIS, MD 21401

SHEET  
001

**DIVISION 1 - GENERAL REQUIREMENTS**

- ALL CONSTRUCTION SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE (IRC 2018 EDITION) AND THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC 2018 EDITION). ALL MECHANICAL, ELECTRICAL, AND PLUMBING ARE TO BE INSTALLED PER F.P.C., E.C., AND I.C.C. 308.2.
- THE SCOPE OF THE WORK SHALL BE DESCRIBED IN STRICT ACCORDANCE WITH THE REGULATIONS AND CODES OF THE LOCAL, STATE, AND FEDERAL REGULATIONS.
- THE CONSTRUCTION DOCUMENTS FOR THIS PROJECT SHALL CONSIST OF THESE DRAWINGS AND SPECIFICATIONS. THE CONTRACT FOR CONSTRUCTION AND SUPPLEMENTAL AGREEMENTS SHALL BE PROVIDED BY THE OWNER.
- THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE DESIGNER ARE INSTRUMENTS OF SERVICE DELIVERED THROUGH THESE DOCUMENTS TO BE EXECUTED IN ORDER. THE DESIGNER IS NOT THE AUTHOR OF THESE DOCUMENTS AND RETAINS ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS INCLUDING COPYRIGHT OWNERSHIP. THESE DOCUMENTS ARE TO BE USED ONLY WITH REFERENCE TO THIS PROJECT AND ARE NOT TO BE USED OUTSIDE OF THIS SCOPE WITHOUT THE WRITTEN CONSENT FROM THE DESIGNER. COPYING, REPRODUCING AND/OR OTHER REPRODUCTION OF THESE DOCUMENTS OR PARTS OF IS PROHIBITED.
- THE INTENT OF THESE DOCUMENTS IS TO PROVIDE A FINISHED BUILDING, WITH THE EXCEPTION OF THOSE ITEMS SHOWN ON THE DRAWINGS AS BEING FINISHED BY THE OWNER. THE CONTRACTOR SHALL INCLUDE ALL NECESSARY ACCESSORIES, EQUIPMENT, LABOR, ETC. TO COMPLETE THE WORKS EVEN THOUGH SUCH ITEMS MAY NOT BE INDICATED ON THE DOCUMENTS BUT COULD REASONABLY BE ASSUMED TO BE PART OF THE COMPLETED WORK.
- THE DESIGNER SHALL HAVE NO SUPERVISORY AND/OR INSPECTION PRESENCE IN THE FIELD DURING THE CONSTRUCTION OF THE PROJECT. ACCORDINGLY, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE AIA DOCUMENT A191, "STANDARD CONDITIONS OF THE CONTRACT FOR CONSTRUCTION," AND PROVIDER HIS SERVICES IN ACCORDANCE WITH SAID DOCUMENT RECOMMENDATIONS THAT THE DESIGNER'S SERVICES AS DESCRIBED UNDER ARTICLE 7 ARE NOT PART OF THE SCOPE OF THE WORK FOR THIS PROJECT.
- THOSE ARTICLES OR MATERIALS SPECIFIED BY TRADE NAME OR MANUFACTURER ARE DEEMED TO BE THE BEST AVAILABLE. ALTERNATE MATERIALS ARE ALLOWED PROVIDED THE ALTERNATE MATERIAL IS AN APPROVED EQUAL AND IS ACCEPTABLE TO THE OWNER. ACCEPTANCE OF AN APPROVED EQUAL IS ENTIRELY AT THE DISCRETION OF THE OWNER AND IS SUBJECT TO THE FOLLOWING QUALIFICATIONS:
  - EQUAL IN QUALITY OF MATERIAL, SPECIFIED BOTH IN STRUCTURAL STRENGTH AND IN DETAIL OF CONSTRUCTION AS EQUAL IN PERFORMANCE, BOTH MECHANICALLY AND TECHNICALLY.
  - EQUAL IN FINISH OR IN CHARACTERISTICS PERTAINING SPECIFIED FINISH TO BE APPLIED.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTY INCLUDING TREES AND PLANTINGS DURING CONSTRUCTION OF THIS PROJECT. EXISTING PLANTINGS AND SITE NOT INDICATED ON DRAWINGS SHALL NOT BE DISTURBED.
- CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS THROUGHOUT TO GUARD AGAINST AND ELIMINATE FIRE HAZARDS ON THE SITE.
- CONTRACTOR SHALL CAREFULLY CUT PIERCING CLEANING OF CONSTRUCTION WASTE TO KEEP FREE OF DEBRIS.
- DEBRIS SHALL BE REMOVED FROM EXISTING CONSTRUCTED WALLS ARE FACE TO FACE, OR CENTER, UNLESS OTHERWISE NOTED ON PLANS.
- DEBRIS GIVEN TO COURTS, BARRIERS, TRAILERS, SECELSHALL, ETC. ARE HOPIWALL. CONTRACTOR SHALL VERIFY ACTUAL USES FROM MANUFACTURERS.
- DO NOT SCALE DRAWINGS FOR DIMENSIONS. DESIGNER IS TO BE ADVISED OF ANY METHOD DIMENSIONS NOT INDICATED ON DRAWINGS.
- CONTRACTORS SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS WHICH MAY AFFECT THE DIMENSIONS OF THEIR PART OF WORK. THE DESIGNER SHALL BE NOTIFIED OF ANY CONDITIONS WHICH ARE NOT IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. COMPLIANCE WITH CODES OR STANDARDS SHALL BE SUBSTANTIALLY EFFECT THE CONSTRUCTION AS SHOWN.
- THE DESIGNER WILL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OVER CONSTRUCTION METHODS, TECHNIQUES, PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE FAILURE OF ANYONE PROVIDING ANY WORK TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
- FINISH DESIGN LOADS
 

A. ROOF	30 PSF (LIVE) + 11 PSF (DEAD)
B. FLOOR	40 PSF (LIVE) + 10 PSF (DEAD)
C. FLOOR (CERAMIC AREAS)	30 PSF (LIVE) + 10 PSF (DEAD)
D. EXTERIOR DECK	40 PSF (LIVE) + 10 PSF (DEAD)
E. GARAGE	100 PSF (LIVE) + 10 PSF (DEAD)
F. ATTIC (NO STORAGE)	10 PSF (LIVE) + 10 PSF (DEAD)
G. ATTIC (LIFTED STORAGE)	30 PSF (LIVE) + 10 PSF (DEAD)
H. STAIRS	40 PSF (LIVE) + 10 PSF (DEAD)
I. BALCONY	40 PSF (LIVE) + 10 PSF (DEAD)
J. HANDICAP	NATIONAL FORCE OF 500 PSF AT ANY GIVEN POINT
K. WIND SPEED	95 MPH
L. SEISMIC DESIGN	SEISMIC DESIGN B
- CONSTRUCTION CLASSIFICATION
 

A. USE GROUP	R-3 (RESIDENTIAL)
B. CONSTRUCTION TYPE	I-2 (CONCRETE/STUCCO UNPROTECTED)
- FIRE SEPARATIONS
 

A. EXTERIOR WALLS (FIREWALLS)	0 HOUR
B. EXTERIOR WALLS (NON-FIREWALLS)	0 HOUR
C. EXTERIOR WALLS (NON-FIREWALLS)	0 HOUR
D. EXTERIOR WALLS (NON-FIREWALLS)	0 HOUR
E. FLOOR CONSTRUCTION	0 HOUR
F. FLOOR CONSTRUCTION	0 HOUR
G. FLOOR CONSTRUCTION	0 HOUR
H. GARAGE (SEPARATION TO HOME)	1 HOUR
I. GARAGE CEILING	1 HOUR
- CLIMATE AND GEOGRAPHIC DESIGN CRITERIA
 

A. ROOF WIND LOAD	30 PSF
B. FROST LINE DEPTH	30"
- WALL DRAGS
  - WALL BRAGS TO BE IN ACCORDANCE WITH 2018 INTERNATIONAL BUILDING CODE SECTION R602.10

**DIVISION 2 - SITE WORK**

- PREPARE SITE, INCLUDING EXISTING AND PROPOSED FILL. IT SHALL BE THE OWNER'S RESPONSIBILITY TO VERIFY THAT THE SOILS CAPACITY IS OBTAINABLE PRIOR TO START OF CONSTRUCTION.
- DEWATER EARTH SUFFICIENTLY TO PROVIDE PROPER CURING AND DIMENSION AS SHOWN ON THE DRAWINGS. ALLOWING ADEQUATE REST FOR INSTALLATION OF FORMS AND SERVICES. NO EXCAVATION SHALL BE MADE DEEPER THAN THE FOOTING IS GREATER THAN ONE-HALF THE HORIZONTAL DISTANCE FROM THE NEAREST EDGE OF THE FOOTING.
- DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENGAGE THE SERVICES OF A SOILS ENGINEER TO CERTIFY THAT THE BEARING CAPACITY AND COMPACTION REQUIREMENTS ARE MET.
- BOTTOM OF ALL EXTERIOR FOOTINGS SHALL EXTEND DOWN BELOW FROSTVALS PROTECT LINE TO DRY UNDISTURBED SOILS OR TO SOIL COMPACTED TO 95% OF THE MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AND HAVING DRAINING CAPACITY OF 1000 PPM. FOOTINGS SHALL NOT BE PLACED IN CLAY, PEAT, ORGANIC MATERIALS OR FROZEN SURFACES.
- ALL MATERIAL SHALL BE OBTAINED FROM AN SITE EXCAVATION OR FURNISHED BY THE CONTRACTOR FROM OTHER SOURCES. ALL MATERIAL SHALL BE FREE OF DEBRIS, ROOTS, STUMPS, ORGANIC MATERIAL AND FROZEN MATERIAL. ALL WORK SHALL BE DONE AFTER PERMANENT UTILITY SERVICES HAVE BEEN INSTALLED. ALL EARTH IS TO BE PLACED IN LAYERS NOT EXCEEDING 10" DEPTH AND SHALL BE COMPACTED BY POWER OPERATED MECHANICAL EQUIPMENT TO A MINIMUM OF 98% STANDARD PROCTOR.
- FREE DRAINAGE GRANULAR BACKFILL (COMPACTION ON ONE SIDED) SHALL BE USED AGAINST FOUNDATION WALLS. EQUIVALENT FLOOD PRESSURE OF BACKFILL SHALL NOT EXCEED 30 PCF. IF BACKFILL PRESSURE EXCEEDS 30 PCF,

- CONCRETE NOT EXPOSED TO WEATHER SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
- EXPOSED INTERIOR CONCRETE SHALL BE AIR ENCLOSED WITH MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI. TOTAL AIR CONTENT SHALL NOT BE LESS THAN 4 PERCENT OR GREATER THAN 7 PERCENT INCLUDING GARAGE SLABS.
- ALL CONCRETE WORK SHALL COMPLY WITH **DIVISION 5 - CONCRETE** SHALL CONFORM TO AC-308.
- WORKING FRESH SHALL CONFORM TO ASTM A-419. WIRE REINFORCEMENT SHALL BE LOCATED 7" BELOW SLAB SURFACE AND LAPPED 6" IN EACH DIRECTION.
- REINFORCING STEEL SHALL CONFORM TO ASTM A-618, GRADE 60. REINFORCING STEEL SHALL HAVE CONCRETE COVER AS FOLLOWS:
 

A. FOOTINGS	4"
B. WALLS (INTERIOR FACE)	2"
C. WALLS (EXTERIOR FACE)	2"
D. SLABS	2"
- ALL STEEL REINFORCEMENT, ANCHOR BOLTS, INSERTS, ETC. SHALL BE GALVANIZED AND PLACED IN ACCORDANCE WITH AC-308-96 MANUAL. REINFORCING BARS AND ALL REINFORCING ACCESSORIES IN ACCORDANCE WITH CRSI STANDARDS.

- SLABS ON GRADE, UNLESS NOTED OTHERWISE ON DRAWINGS, SHALL BE 4" THICK WITH 6" X 6" @ 14" X 14" WOVEN WIRE MESH OR 6" POLYETHYLENE VAPOUR BARRIER. PROVIDE 4" WOUND STRIPS BELOW BARRETT PLANS. REFER TO DRAWINGS FOR LOCATION OF 1" ROAD ISOLATION AT FRONT LINES.
- CONTRACTOR SHALL HAVE PROVISIONS TO PROTECT ALL CONCRETE WORK FROM FROST AND/OR FREEZING DAMAGE. WITH SPECIAL ATTENTION BEING PAID TO FOOTINGS AND OTHER ON-SITE WORK PRIOR TO BACKFILLING AND ENCLOSING OF THE STRUCTURE.
- POURED CONCRETE WALLS SHALL BE CONSTRUCTED AS FOLLOWS: (1" MIN HEIGHT ABOVE TOP OF BARRETT SLAB WITH POINT UNBALANCED EARLY FULL OF 10")
 

30 PCF	CONCRETE SHALL BE WITH 1" MIN HEIGHT ABOVE TOP OF BARRETT SLAB WITH POINT UNBALANCED EARLY FULL OF 10")
45 PCF	BY CAST IN-PLACE CONCRETE
60 PCF	BY CAST IN-PLACE CONCRETE WITH 14 BARS SPACED 24" ON CENTER HORIZONTALLY AND 14 BARS SPACED 36" ON CENTER VERTICALLY
	BY CAST IN-PLACE CONCRETE WITH 14 BARS SPACED 36" ON CENTER HORIZONTALLY AND 14 BARS SPACED 18" ON CENTER VERTICALLY

**DIVISION 4 - MASONRY**

- CONCRETE MASONRY UNITS SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AND CONFORM TO THE FOLLOWING:
 

A. ABOVE GRADE	ASTM C-90
B. BELOW GRADE	ASTM C-140
- MORTAR SHALL BE TYPE "N" WITH MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI. MATERIAL SHALL BE AS FOLLOWS:
 

A. PORTLAND CEMENT	ASTM C-150
B. MASONRY SAND	ASTM C-144
C. WATER	ASTM C-1071

 D. SAND SHALL BE CLEAN, WELL DRAINED AND FREE OF ANY DELICIOUS SUBSTANCES.  
 E. WATER SHALL BE CLEAN AND POTABLE.
- BRICK SHALL CONFORM TO ASTM C-90. BRICK VENEER SHALL BE ATTACHED TO BLOCK CONSTRUCTION WITH MINIMUM 1" SOLID 2" GAPS SHALL BE COMPACTED METAL WIRE SPACED 16" ON CENTER VERTICALLY AND 16" ON CENTER HORIZONTALLY. PROVIDE 1/4" FLOORING FELT VAPOUR BARRIER OVER WALL BRAGINGS AND DRAINAGE WEEP HOLES SPACED 24" ON CENTER AT LOWER COURSE ABOVE FINISH GRADE.
- ALL STEEL ANCHORS IN MASONRY WALLS SHALL BE PAINTED AND FLAME WITH 30 TH. PVC PLASING AND DRAINAGE WEEP HOLES SPACED 24" ON CENTER.
- ALL MASONRY WORK SHALL BE PROTECTED FROM FREEZING FOR NOT LESS THAN 48 HOURS AFTER INSTALLATION AND SHALL NOT BE CONSTRUCTED BELOW 20 DEGREES FAHRENHEIT WITHOUT PRECAUTIONS NECESSARY TO PREVENT FREEZING. WHEN AIR TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT BUT ABOVE 20 DEGREES FAHRENHEIT, SAND AND FRESH WATER SHALL BE PREHEATED TO A MINIMUM TEMPERATURE OF 10 DEGREES FAHRENHEIT AND A MASONRY TEMPERATURE OF 10 DEGREES FAHRENHEIT. NO ANTIFREEZE ADDITIVES SHALL BE ADDED TO THE MORTAR.

PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER AND THAT I AM NOT PROVIDING ENGINEERING SERVICES TO ANY OTHER PROJECTS AT THE SAME TIME AS THIS PROJECT. LICENSE NO. 10344, EXPIRATION DATE 10/31/24



DATE: 12/13/23  
REVISIONS

**SUNSET DESIGN**  
987 MORAN COURT  
ANNAPOLIS, MD 21401  
PHONE 443-985-5585  
DRAWING BY: MICHAEL STEVENSON

**ADDITION/REMODEL FOR  
SALKELD FAMILY RETREAT  
BUILDING SITE:**  
3018 FRIENDS ROAD  
ANNAPOLIS, MD 21401

**DIVISION 5 - METALS/STRUCTURAL STEEL**

1. STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36 (GRADE 50) OR ASTM A-572 (GRADE 50) AND BE IN ACCORDANCE WITH THE AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS. NO MODIFICATIONS ARE TO BE MADE TO THE STRUCTURAL STEEL AFTER THE SHOP DRAWINGS HAVE BEEN APPROVED OR THE MATERIAL DIRECTED WITHOUT THE APPROVAL FROM THE CONTRACTOR OR A STRUCTURAL ENGINEER.
2. ALL WELDS SHALL COMPLY WITH AISC STANDARDS AND PROCEDURES. ALL CONNECTIONS SHALL BE PER AISC STANDARDS.
3. ALL STEEL ANCHOR BOLTS AND JOIST HANGERS SHALL BE COR2 APPROVED AND GALVANNEAL. PROVIDE BASE PLATE FOR ALL STRUCTURAL STEEL BEARING ON CONCRETE OR MASONRY. PROVIDE STANDARD ANCHORS AND INSERTS FOR CLIPS, ANCHORS, BOLTS, HANGERS, BOLTS, BEARING PLATES AND OTHER HARDWARE AND FASTENING DEVICES AS THEY BE REQUIRED OR INDICATED ON DRAWINGS.
4. STEEL PIPE COLUMNS SHALL CONFORM TO ASTM A-500.
5. STEEL ANGLE LINTLS SHALL HAVE A MINIMUM 4" BEARING EACH END. ALLOWABLE SPANS FOR LINTLS SUPPORTING 4" NOMINAL DIAMETER VENTS AS PER FOLLOWING:
  - A. OPENINGS 10" X 10"      3 @ 10' 0" MAX. SPAN
  - B. OPENINGS 12" X 10"      4 @ 10' 0" MAX. SPAN
  - C. OPENINGS 14" X 10"      5 @ 10' 0" MAX. SPAN
6. UNLESS NOTED OTHERWISE ON DRAWINGS, ALL STEEL PLATE BRACKETS SHALL BE ASSEMBLED WITH 3 ROWS OF 1/2" ROUND BOLTS. TOP ROW SHALL BE SPACED 12" ON CENTER AND BOTTOM ROW SPACED 24" ON CENTER WITH ROWS STAGGERED 18". THERE SHALL BE A BOLT 6" FROM EACH END OF BEAM, TOP AND BOTTOM.

**DIVISION 5 - WOOD**

1. ALL FRAMING LUMBER SUCH AS JOIST, HEADER AND TRIMMERS SHALL BE 2" SPRUCE/PINE/1.5" RESISTANCE CORRECT. OTHER PLY FORMS SHALL BE 1/2" OR 5/8" THICK. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS OR BETTER. DO NOT USE WOOD WITH ANY DEFECTS OR WEAK SPOTS. ALL WOOD SHALL BE IN ACCORDANCE WITH AIA AND NHPA SPECIFICATIONS. ALL JOIST AND ANCHOR BOLTS TO BE 1/2" DIAMETER YELLOW PINE OR BETTER. JOIST BRACKETS SHALL MEET OR EXCEED THE REQUIREMENTS NOTED ABOVE.
2. ALL ROOF TRUSS EXTERIOR JOISTS SHALL BE LATERALLY BRACED WITH CONTINUOUS STRUCTURAL BRACING AS INDICATED ON THE WALL BRACING PLANS OR DRAWINGS. PROVIDE CONTINUOUS DOUBLE TOP PLATE AT ALL BEARING ENDS AND ALL INTERMEDIATE JOIST CONNECTIONS. PROVIDE JOIST BRACKETS AT CENTER SPAN OF JOIST AND BRACE AT LEAST ONE END OF EACH JOIST.
3. ALL LAMINATED VENEER LUMBER (LVL) OR MICRO-LAM ON DRAWINGS SHALL HAVE THE FOLLOWING PROPERTIES: FEM-3000 PSI, P-1750 PSI, E-2000,000 PSI (EQUivalent TO VERNACULAR 2X6 @ 12' SP).
4. MANUFACTURED WOOD AND WOOD TRIMMERS, HEADERS AND OTHER TRIMMERS SHALL BE DESIGNED BY THE TRUSS MANUFACTURER TO CARRY THE DESIGN LIVE LOADS INDICATED. TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS AND CALCULATIONS REVIEWED BY A STRUCTURAL ENGINEER. ALL TRUSS AND BRACKET SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS, ROOF TRIMMERS AND ALL BRACING AND/OR LATERAL BRACING REQUIRED FOR STRUCTURAL INTEGRITY OF ROOF FROM SYSTEM SHALL BE OBTAINED BY THE TRUSS MANUFACTURER AND INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.
5. ALL WOOD EXPOSED TO THE WEATHER, WITHIN 4" OF FINISH GRADE OR DRAINAGE DIRECTLY ON CONCRETE OR MASONRY SHALL BE TREATED WITH APPROVED MATERIALS TO PREVENT DECAY AND INFESTATION BY PESTS AND INSECTS AND SHALL MEET ASTM STANDARDS.
6. REE 2X10" ALL DUCT CLIMBER, REARER, LAMBER, CHAIRS AND DIMETS AT EACH FLOOR. ALL PARTITIONS OVER REE 2X10" SHALL HAVE PER BLOCKS INSTALLED AT THE BRACING BREAK OR 8" ABOVE FINISH FLOOR. ALL JOIST ENDS SHALL BE BLOCKED EITHER WITH CONTINUOUS BEAM OR JOIST BLOCKS.
7. SUBFLOORING SHALL BE 1/2" TYPICAL AND GRADE STRUCTURAL GRADE, GLEED AND NAIL TO FLOOR FRAMING WITH AN APPROVED STRUCTURAL ADHESIVE AND 8-D RING NAILS OR SPIRAL TREAD NAILS SPACED 6" ON CENTER AT PANEL CORNERS AND 18" ON CENTER AT INTERMEDIATE SUPPORTS. THE JOIST ENDS SHALL BE LAG AT RIGHT ANGLES TO THE JOISTS AND TRIMMERS AND PARALLEL TO THE STUDS.
8. ROOF SHEATHING SHALL BE 1/2" EXTERIOR PLYWOOD OR AS NOTED ON DRAWINGS.
9. ALL WALL BOLT PLATES SHALL BE HEAVY DUTY AND SHALL BE ANCHORED INTO FOUNDATION WALLS WITH APPROVED GALVANIZED STEEL ANCHORS WITHIN 8" OF UNBROKEN CONCRETE AND 1" INTO UNBROKEN CONCRETE MASONRY WITH 1/2" HEAVY DUTY ANCHORS FOR THE INTERIOR USE.
10. ALL FLOORING JOIST AND BEAMS NOT FRAMED OVER SUPPORTING MEMBERS SHALL BE SUPPORTED BY BEAMS OF METAL HANGERS DESIGNED FOR THE INTERIOR USE.
11. NO STRUCTURAL MEMBER SHALL BE OMITTED, NOTCHED, CUT OUT OR RELOCATED WITHOUT APPROVAL BY THE DESIGNER.
12. PARTITIONS
  - A. DOUBLE JOIST CENTERED UNDER ALL PARTITIONS TO PARALLEL TO FLOOR JOIST.
  - B. PROVIDE SOLID BLOCKS AT 4" ON CENTER BETWEEN THE JOIST AND WHERE INTERIOR PARALLEL JOIST.
  - C. SPICES OF THE TOP AND BOTTOM PORTION OF DOUBLE TOP PLATE MUST BE STAGGERED A MINIMUM OF 4".
  - D. SPICES SHALL COVER ALL CORNERS AND INTERSECTIONS.
  - E. LAP TOP PLATES AT CORNERS AND INTERSECTIONS.
13. WOOD STAIRS AND RAMPING
  - A. STAIRWAYS SHALL BE DESIGNED TO SUPPORT THE MINIMUM DESIGN LOADS LISTED IN DIVISION 1 AND SHALL HAVE A MINIMUM 36" CLEAR WIDTH AND 8" MINIMUM HEIGHT MEASURED VERTICALLY FROM THE SURFACE PLANE OF THE STAIR NOSE.
  - B. STAIRS SHALL HAVE A MAXIMUM RISE PER HEIGHT OF 7" AND MINIMUM TREAD DEPTH OF 10" MEASURED HORIZONTALLY FROM NOSE TO NOSE.
  - C. HANDRAILS SHALL BE PROVIDED ON ONE SIDE OF STAIRWAY HAVING TWO OR MORE RISERS. HANDRAIL HEIGHT MEASURED VERTICALLY ABOVE STAIR NOSE SHALL BE MINIMUM 34" BUT NOT GREATER THAN 38". HANDRAILS SHALL BE CONTINUED FOR THE FULL LENGTH OF THE STAIRWAY. HANDRAIL SHALL HAVE A RISE SIZE OF 1" DIAMETER AND 1" DIAMETER HANGERS.
  - D. GUARDRAILS SHALL BE PROVIDED ON OPEN SIDE OF STAIRWAYS HAVING A TOTAL RISE HEIGHT OF 30". GUARDRAILS SHALL BE PROVIDED ON FINISH FLOOR AND BE LOCATED IN THE PLUMB LINE OF THE TREAD NOSE AND SHALL HAVE PROTECTIVE SPACING AS TO NOT ALLOW A GLOBE 4" DIAMETER TO PASS THROUGH.
14. VERTICAL LOAD TRANSFER: ALL STRUCTURAL PORT MUST BE VERTICALLY ALIGNED AND BLOCKED TO PROVIDE CONTINUOUS BEARING TO FOUNDATION. PROVIDE DOUBLE BLOCK AT ENDS OF ALL BEAMS AND LINTLS UNLESS OTHERWISE NOTED. COLUMNS SHALL BE ANCHORED 12" TO PREVENT LATERAL DISPLACEMENT.
15. CUTTING OR NOTCHING OF WOOD MEMBERS: HOLES BORED INTO STUDS SHALL NOT EXCEED 1/3 THE DEPTH OF THE STUD NOTCH DEPTH IN THE TOP OR BOTTOM OF JOIST AND SHALL NOT EXCEED 1/4 THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE 1/3 OF THE SPAN. HOLES BORED OR CUT INTO JOIST SHALL NOT BE CLOSER THAN 1" TO THE TOP OR BOTTOM OF THE JOIST WITH THE DIAMETER NOT TO EXCEED 1/3 OF THE JOIST DEPTH. REINFORCE TOP PLATED WITH IR G-100. 1" METAL TIES SHOULD CUTTING EXCEEDS MORE THAN 1" THEIR DEPTH.
16. JOIST QUANTITY NUMBER FOR HEADERS IS NUMBER OF JACK STUDS. ADD 1 ROW TO OPENING LESS THAN 4" AND 2 ROWS STUDS FOR OPENING GREATER THAN 4".

**DIVISION 7 - THERMAL AND MOISTURE PROTECTION**

1. ROOFING MATERIAL: TWENTY (20) YEAR PROGRAM SELF SEALING MEMBRANE OVER ONE LAYER OF 3/4" ASPHALT SATURATED FELT. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
2. FRESHEN INSULATION: ALL SLABS ON GRADE IN HABITABLE SPACES SHALL BE INSULATED WITH FRESHEN R-10 RIGID INSULATION FROM TOP OF SLAB DOWNWARD 2" BELOW SLAB OR INWARD 2" FROM EXTERIOR FACE OF SLAB AT ALL SLAB PERIMETER AREAS IN HABITABLE AREAS.
3. WATERPROOFING/DAMP-PROOFING: WATERPROOF ALL EXTERIOR FOUNDATION WALLS BELOW GRADE INCLUDING HABITABLE SPACES AS SPECIFIED BY CODE AT EXTERIOR FACE OF WALL. DAMP-PROOF ALL EXTERIOR FOUNDATION WALLS INCLUDING BASEMENT AND CRAWL SPACES WITH DAMP-PROOFING AS SPECIFIED BY CODE AT EXTERIOR FACE OF WALL.
4. FLASHING CODE: APPROVED CORROSION RESISTANT FLASHING SHALL BE PROVIDED AT TOP AND BOTTOM OF ALL EXTERIOR WINDOWS AND DOOR OPENINGS. ANGULAR FLASHING SHALL BE INSTALLED AT THE INTERSECTION OF CONCRETE OR OTHER MASONRY CONSTRUCTION WITH FRAME WALLS, WINDOWS AND AT ENDS OF MASONRY, ROOF OR METAL COLLARS AND SHALL CONTINUE ABOVE ALL PROJECTING WOOD TRIM, AT WALL AND ROOF INTERSECTIONS, AT INTERSECTIONS OF CONCRETE AND ROOF AND IN ALL ROOF VALLEYS AND AREAS AROUND ALL ROOF OPENINGS.
5. BUILDING PAPER: AT BRICK VENEER APPLICATION, 5/8" ROOFING FELT OR PAPER SHALL BE ATTACHED TO WALL BEARING WITH FLASHING UNLESS NECESSARY TO PREVENT MOISTURE PENETRATION BEHIND THE VENEER.
6. ALL EXTERIOR WALLS TO HAVE VAPOR BARRIER INSTALLED OVER INSULATION.
7. INSULATION FRESHEN INSULATION REQUIREMENTS TO BE AS NOTED ON DRAWINGS.
8. GUTTERS AND DOWNSPOUTS: 6"X3" PREPARED ALUMINUM GUTTERS AND 6"X4" PREPARED ALUMINUM DOWNSPOUTS.
9. VENTILATION: MECHANICAL TRASH SPACES AND EXHAUST ROOF BATTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE WITH SCREEN VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF PESTS AND RAIN IN ACCORDANCE WITH THE IRC 308.1 CODE.

**DIVISION 8 - DOORS AND WINDOWS**

1. WINDOWS: WINDOW SIZES ON THE DRAWINGS DENOTE THE INDICATED DIMENSION SIZE AND TYPE BY INDICATING SLASH OPENINGS IN FEET AND INCHES. CONTRACTOR SHALL VERIFY THAT WINDOWS TO BE INSTALLED COMPLY WITH CODES FOR ENERGY LIGHT AND INSULATION. PROVIDE TEMPORARY SAFETY GLASS WHERE NOTED ON DRAWINGS AND/OR AT HAZARDOUS LOCATIONS. PROVIDE EGRESS AND DRILLS FOR ALL WINDOWS AS INDICATED ON THE DRAWINGS.
2. DOORWAY PROVISIONS: 36" WIDE DOOR OR APPROVED EQUIVALENT AT HOME TO GARAGE ENTRY.

**DIVISION 9 - FINISHES**

1. GYPSUM WALLBOARD: ALL GYPSUM WALLBOARD SHALL BE INSTALLED IN ACCORDANCE WITH GYPSUM ASSOCIATION GYPSUM ASSOCIATION (G.A.) 905. GYPSUM WALLBOARD SHALL BE INSTALLED WITH WEATHER PROTECTION FOR THE INSTALLATION IS PROVIDED. STORAGE SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. PROVIDE MOISTURE RESISTANT OVERLAP JOINT BOARD AT TRUSS AND HANGER.
2. ATTACHED GARAGE COVERAGE: THE GARAGE SHALL BE SEPARATED FROM THE HOUSE AND ITS ATTIC AREA WITH 1/2" GYPSUM BOARD APPLIED ON THE GARAGE SIDE. GARAGE BENCH HANGERS SHALL HAVE 30" REINFORCE OVERLAP JOINT APPLIED ON GARAGE CEILING AND 1/2" GYPSUM BOARD ON ALL BEARING WALLS SUPPORTING FLOORING/CONSTRUCTION ABOVE GARAGE.

**DIVISION 10 - SPECIALTIES**

1. METAL PRE-FABRICATED SHALL BE APPROVED BY UNDERWRITERS LABORATORY AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
2. HEARTH EXTENSIONS SHALL NOT BE LESS THAN 3/8" THICK AND BE OF AN APPROVED NON-COMBUSTIBLE MATERIAL.

**DIVISION 11 - EQUIPMENT**

NOT APPLICABLE

**DIVISION 12 - FURNISHINGS**

NOT APPLICABLE

**DIVISION 13 - SPECIAL CONSTRUCTION**

NOT APPLICABLE

**DIVISION 14 - CONVEYING SYSTEMS**

NOT APPLICABLE

**DIVISION 15 - MECHANICAL/PLUMBING**

1. ALL WORK AND MATERIAL SHALL CONFORM TO INTERNATIONAL MECHANICAL CODE (IMC) SECTION 900.
2. ALL WORK AND MATERIAL SHALL CONFORM TO INTERNATIONAL MECHANICAL CODE (IMC) SECTION 900.
3. THE MECHANICAL AND PLUMBING SYSTEMS SHALL BE DESIGNED AND COORDINATED WITH THE ARCHITECTURAL DRAWINGS INCLUDING OPENINGS IN JOISTS, TRIMMERS, CONCRETE, ETC. CONTRACTOR SHALL OBTAIN THE NECESSARY COORDINATED DRAWINGS FOR THEIR RESPECTED TRADES. ALL CONTRACTOR SHALL BE LICENSED IN THE STATE AND LOCAL JURISDICTION IN WHICH THE PROJECT IS BEING CONSTRUCTED.
4. EXTERIOR HOSE ENDS SHALL BE FREEZE PROOF TYPE.
5. ALL DUCT CHIMNEY, BULLHEAD, LAUNDRY CHIMNEY, METAL FLUES AND VERTICAL SHAFTS SHALL BE DRAFT STOPPED AT EACH FLOOR/CEILING LEVEL.
6. ALL BATHROOMS, EXCLUSIONS THEREIN OPERABLE AND/OR SHALL BE MECHANICALLY VENTED TO EXTERIOR THROUGH 1/2" GYPSUM BOARD PAW.
7. PURCHASE SHALL BE HIGH EFFICIENCY UNIT (ENERGY RATIO 80)

**DIVISION 16 - ELECTRICAL**

1. ALL WORK AND MATERIAL SHALL CONFORM TO NATIONAL ELECTRICAL CODE FOR ONE AND TWO FAMILY DWELLING, NFPA 70E (2008 EDITION).
2. ALL RECEPTACLES AT KITCHEN COUNTERS, VANITIES AND BEHIND REFRIGERATOR SHALL BE MOUNTED AT ABOVE FINISH FLOOR. ALL OTHER RECEPTACLES SHOWN NOTED OTHERWISE ON DRAWINGS SHALL BE MOUNTED 17" VERTICALLY ABOVE FINISH FLOOR AND 12" ON CENTER HORIZONTALLY. ALL RECEPTACLES WITHIN 6" OF SINKS, VANITIES, TUBS, ETC. SHALL BE SPECIFIED TO A GROUND FAULT INTERRUPTER (GFI) IN ACCORDANCE TO ELECTRICAL CODE.
3. ALL RECEPTACLES IN BEDROOMS TO BE 50% FAULT TYPE.
4. ALL SWITCHES, DIMERS NOTED OTHERWISE ON DRAWINGS SHALL BE MOUNTED AT ABOVE FINISH FLOOR.
5. ALL WIRETRAYS AND ACCESSORIES INSTALLED OUTDOORS AND EXPOSED TO THE WEATHER SHALL BE WEATHERPROOF.
6. SMOKE DETECTORS SHALL BE PROVIDED IN EACH SLEEPING AREA AND ON EACH LEVEL. DETECTORS SHALL HAVE BATTERY BACK-UP AND BE WIRED TOGETHER FOR SIMULTANEOUS ACTIVATION.

PROFESSIONAL CERTIFICATION (HEREBY I HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MARYLAND, AND THAT I HAVE REVIEWED AND APPROVED BY ME, AND THAT I AM NOT PROVIDING ANY SERVICES TO THE STATE OF MARYLAND, UNDER LICENSE NO. 16246, EXPIRATION DATE 11/04/24.



DATE: 12/13/23

REVISIONS

SUNSET DESIGN

591 MORAN COURT  
ANNAPOLIS, MD 21401  
PHONE 410-938-2585  
DRAIN BY: MICHAEL STEVENSON

ADDITION/REMODEL FOR

SALKELD FAMILY RETREAT  
BUILDING SITE  
3018 FRIENDS ROAD  
ANNAPOLIS, MD 21401





FRONT ELEVATION

SCALE: 1/4" = 1'-0"

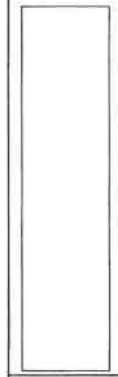
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT I AM THE DESIGNER OF THIS PROJECT AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 10346, EXPIRATION DATE 10/31/24



DATE: 12/13/23  
REVISIONS

SUNSET DESIGN  
841 MORAN COURT  
ANNAPOLIS, MD 21401  
PHONE 443-938-9585  
DRAWN BY: MICHAEL STEVENSON

ADDITION/REMODEL FOR  
SALKELD FAMILY RETREAT  
BUILDING SITE:  
3018 FRIENDS ROAD  
ANNAPOLIS, MD 21401



SHEET  
A001



REAR ELEVATION

SCALE: 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION I HEREBY  
 CERTIFY THAT THIS DOCUMENT IS  
 PREPARED OR APPROVED BY ME AND THAT I  
 AM A LICENSED PROFESSIONAL ARCHITECT  
 UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 10346, EXPIRATION DATE 11/30/24



DATE: 12/13/23  
 REVISIONS:

**SUNSET DESIGN**  
 551 MORAN COURT  
 ANNAPOLIS, MD 21401  
 PHONE: 410-339-9585  
 DRAWN BY: MICHAEL STEVENSON

ADDITION/REMODEL FOR  
**SALKELD FAMILY RETREAT**  
 BUILDING SITE  
 3018 FRIENDS ROAD  
 ANNAPOLIS, MD 21401

SHEET  
**A002**



**LEFT SIDE ELEVATION**

SCALE: 3/16" = 1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 3/16" = 1'-0"

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THE DESIGN AND DRAWINGS PREPARED ON THIS PROJECT BY ME AND I AM A FULLY LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MARYLAND LICENSE NO. 16346, EXPIRATION DATE 11/30/24

DATE: 12/13/23  
REVISIONS:



**SUNSET DESIGN**

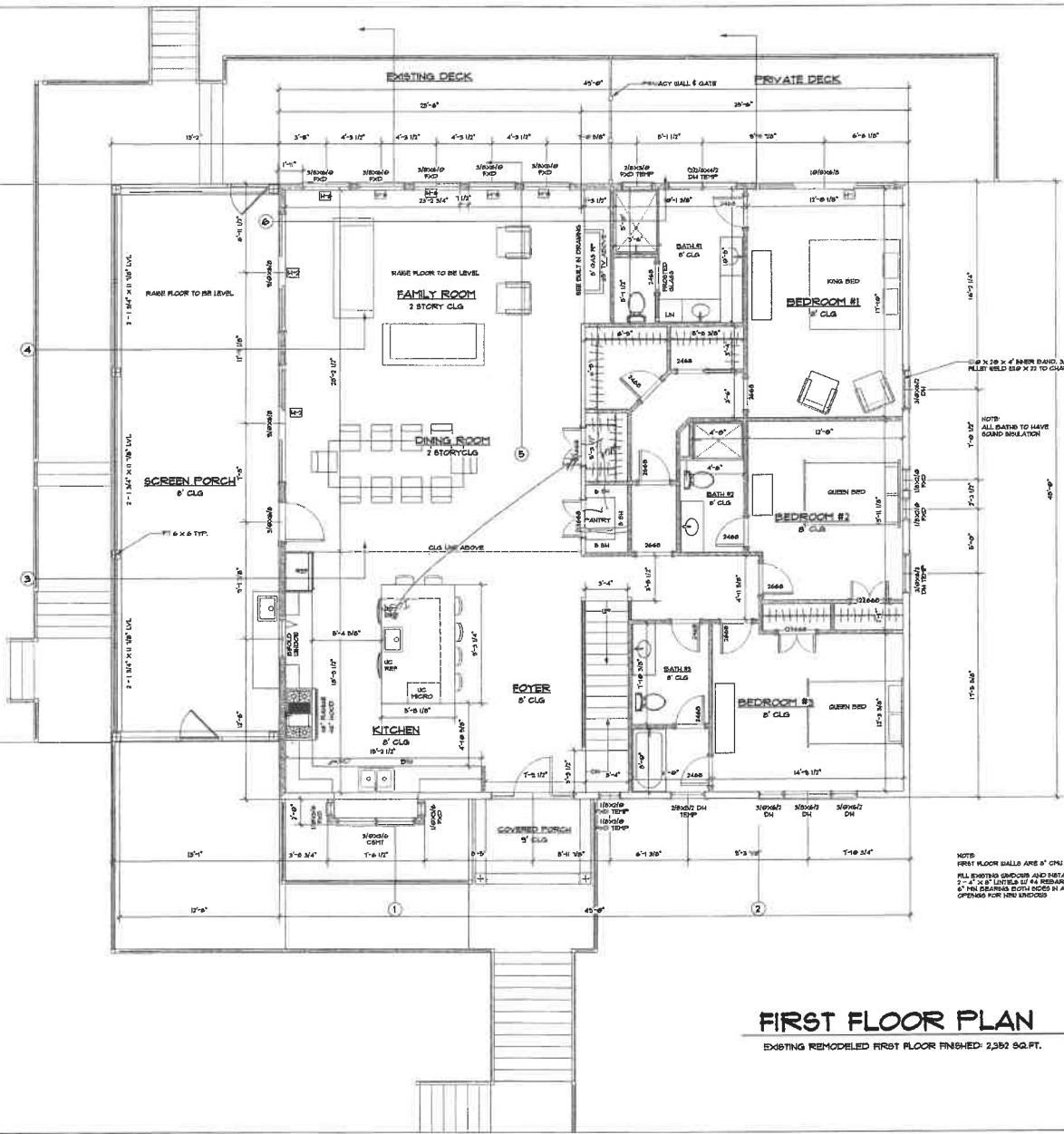
99 MORAN COURT  
ANNAPOLIS, MD 21401  
PHONE: 443-395-9989

DRAWN BY: MICHAEL STEVENSON

**ADDITION/REMODEL FOR  
SALKELD FAMILY RETREAT**

BUILDING SITE:  
3016 FRIENDS ROAD  
ANNAPOLIS, MD 21401

SHEET  
**A003**



**NOTES:**

PROVIDE 10 CFM EXHAUST FANS IN ALL BATHS VENTED TO EXTERIOR.

DOOR FROM HOURS TO GARAGE SHALL BE 1 3/4" WOOD OR RATED.

■ NOTES LOAD BEARING FLOOR WITH NUMBER OF STUDS

**HEADERS:**

ALL HEADERS SHALL BE 2" X 12" WITH DEEL JACK UNLESS OTHERWISE NOTED.

H1	3 - 1 3/4" X 11 1/8" LVL W/ 3 - 2 X 6 BS
H2	3 - 1 3/4" X 11 1/8" LVL W/ 5 - 2 X 6 BS
H3	3 - 1 3/4" X 14" LVL W/ 3 - 2 X 6 BS
H4	3 - 1 3/4" X 14" LVL W/ 2 - 2 X 6 BS
H5	3 - 1 3/4" X 11 1/4" LVL W/ 3 - 2 X 6 BS
H6	3 - 2 X 8 W/ 10" ON CENTER CONCEALED FLANGE HANGERS

INTERIOR WALLS TO BE 2 X 4 @ STUDS 16" O/C UNLESS OTHERWISE NOTED

EXTERIOR WALLS TO BE 2 X 6 @ STUDS 16" O/C IF 1/2" GYPSUM BOARD UNLESS OTHERWISE NOTED

STRAPPING IS REQUIRED WHERE BRACING DOES NOT LAP OVER END JOIST.

USE APPROX 1 1/2" X 6 AT SECOND FLOOR DECK LAPPING 12" ON FIRST FLOOR WALLS AND 12" ON SECOND FLOOR WALLS @ 6" O/C

USE APPROX 1 1/2" X 4 AT FIRST FLOOR DECK LAPPING 12" ON FIRST FLOOR WALLS @ 6" O/C

INSULATION AS FOLLOWS MEETING TABLE N1693.1.1 OF THE 2018 IRC

- WINDOW U FACTOR TO BE .32
- WINDOW SHGC FACTOR TO BE .35
- SOLID DOORS U FACTOR TO BE .22
- GLASS DOORS U FACTOR TO BE .32
- CEILING TO BE R-10 UNLESS OTHERWISE NOTED
- FRAMED WALLS TO BE R-10
- BASEMENT WALLS TO BE R-10 CONT. OR R-5 BATT @ 16" O/C WALLS
- FLOOR OVER UNCONDITIONED TO BE R-10

NOTE: FIRST FLOOR WALLS ARE 8" O/C FULL BRICKING SPOUNDER AND INSTALL 7" X 4" X 8" LATHES @ 14" REBAR @ 6" MIN SPACING BOTH SIDES IN ALL OPENINGS FOR NEW WINDOWS

**FIRST FLOOR PLAN** SCALE: 1/4" = 1'-0"  
EXISTING REMODELED FIRST FLOOR FINISHED: 2,352 SQ.FT.

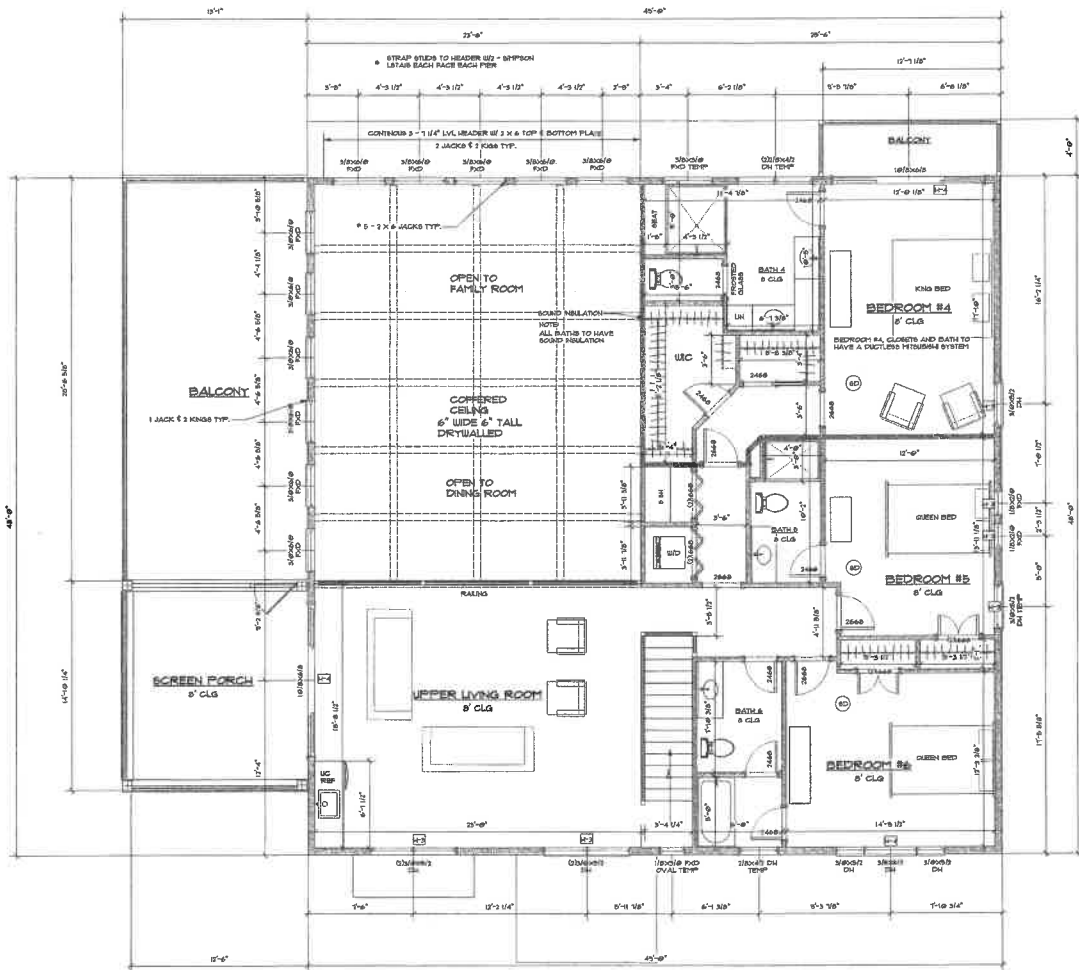
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 10346. EXPIRATION DATE 11/1/24



DATE: 12/19/23  
REVISIONS:

**SUNSET DESIGN**  
551 MORAN COURT  
ANNAPOLIS, MD 21401  
PHONE: 443-389-9889  
DRAWN BY: MICHAEL STEVENSON

**ADDITION/REMODEL FOR  
SALKELD FAMILY RETREAT  
BUILDING SITE**  
3018 FRIENDS ROAD  
ANNAPOLIS, MD 21401



**SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

- ADDED SECOND FLOOR FINISHED: 1,675 SQ. FT.
- ADDED SECOND FLOOR SCREEN PORCH: 185 SQ. FT.
- ADDED SECOND FLOOR OPEN BALCONY: 384 SQ. FT.
- ADDED SECOND FLOOR OPEN BR#4 BALCONY: 50 SQ. FT.

**NOTES:**

ALL HEADERS SHALL BE AT 61" ABOVE FLOOR LEVEL UNLESS OTHERWISE NOTED.  
 PROVIDE 100 CFM EXHAUST FAN IN ALL BATHS VENTED TO EXTERIOR.

NOTED LOAD BEARERS POST WITH NUMBER OF STUDS

**HEADERS:**

ALL HEADERS SHALL BE 2" X 3" X 10' WITH DEL JACK UNLESS OTHERWISE NOTED.

- 1 2" X 1 3/4" X 8' 10" LVL W/ 2" X 2" X 6" BS
- 2 3" X 1 3/4" X 8' 10" LVL W/ 2" X 2" X 6" BS
- 2 2" X 1 3/4" X 9' 11" LVL W/ 2" X 2" X 6" BS
- 3 2" X 1 3/4" X 9' 11" LVL W/ 2" X 2" X 6" BS

INTERIOR WALLS TO BE 2" X 4" STUDS 16" O/C UNLESS OTHERWISE NOTED

EXTERIOR WALLS TO BE 2" X 4" STUDS 16" O/C W/ 1/2" GYPSUM BOARD UNLESS OTHERWISE NOTED

STRAPPING IS REQUIRED WHERE BRACING DOES NOT LAP OVER RSI JOIST.

USE BRIPRON LETA-16 AT SECOND FLOOR DECK LAPING 17" ON FIRST FLOOR WALLS AND 17" ON SECOND FLOOR WALLS 48" O/C

USE BRIPRON LETA-14 AT FIRST FLOOR DECK LAPING 17" ON FIRST FLOOR WALLS 48" O/C

INSULATION AS FOLLOWS MEETING TABLE N1022.1.1 OF THE 2015 IRC

- WINDOW U FACTOR TO BE .37
- WINDOW SHGC FACTOR TO BE .25
- SOLID DOORS U FACTOR TO BE .32
- GLASS DOORS U FACTOR TO BE .33
- CEILING TO BE R-49 W/4" TRUSS HEEL
- FRAMED WALLS TO BE R-20
- BASEMENT WALLS TO BE R-10 CONT. OR R-13 BATT @ 8" STUD WALLS
- FLOOR OVER UNCONDITIONED TO BE R-19

PROFESSIONAL CERTIFICATION (I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MARYLAND UNDER THE JOBS OF PROFESSIONAL ENGINEER. LICENSE NO. 16246, EXPIRATION DATE 10/31/24)



DATE: 12/13/23

REVISIONS

**SUNSET DESIGN**

151 MORAN COURT  
 ANNAPOLIS, MD 21401  
 PHONE: 443-359-9585

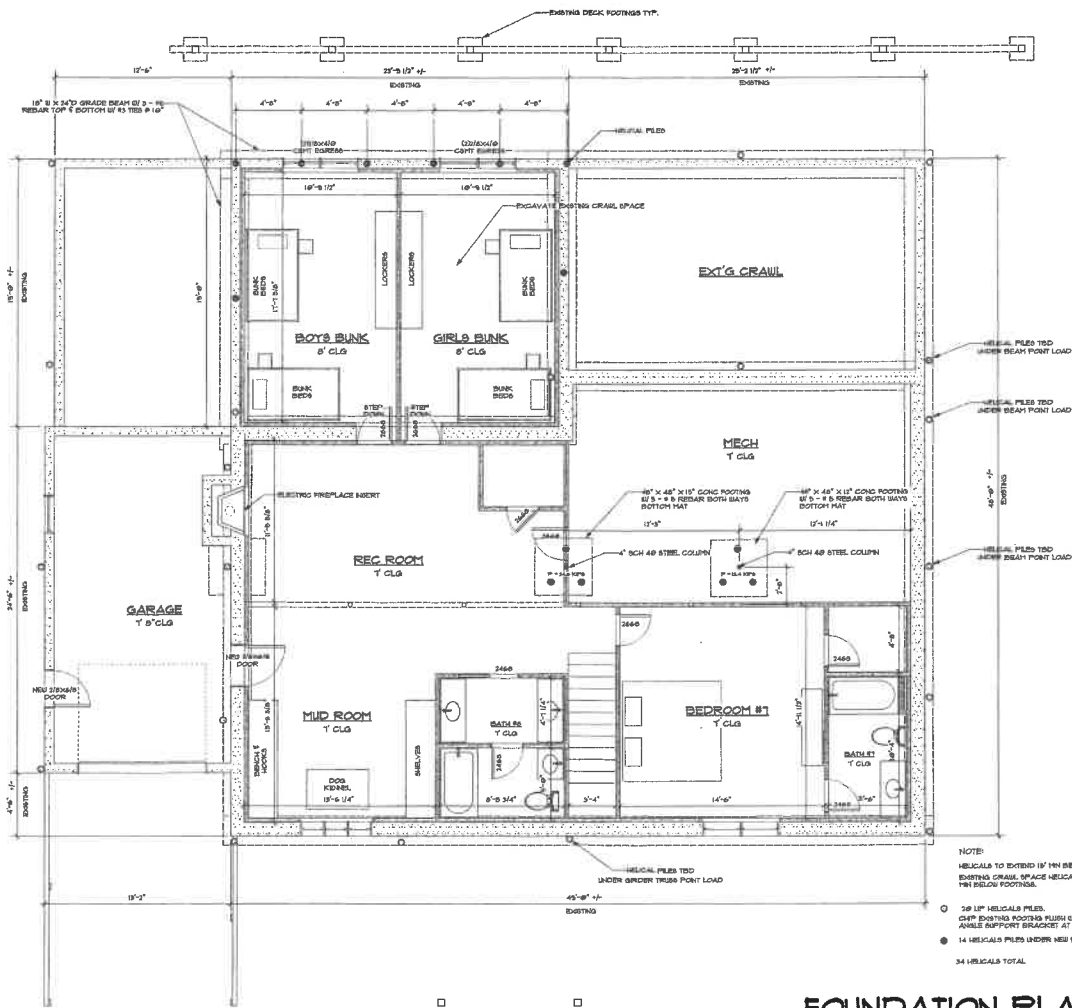
DRAWN BY: MICHAEL STEVENSON

**ADDITION/REMODEL FOR**

**SALKELD FAMILY RETREAT**  
 BUILDING SITE:  
 3018 FRIENDS ROAD  
 ANNAPOLIS, MD 21401

SHEET

**A005**



### FOUNDATION CERTIFICATION

**BLAKE STRUCTURAL**  
 Registered in Maryland & Virginia  
 12115 Ridge Road  
 Blaine, Maryland 21600  
 Office (410) 584-8192  
 Cell (410) 664-3463

December 13, 2023

Anne Arundel County Permit Department  
 Subject: Evaluation of Existing Foundation for Additional Load  
 3018 Friends Road  
 Annapolis, MD 21401  
 Attention: Building Permit Department

On October 17, 2023, Mr. Bryant Blake inspected a portion of the existing house footing and evaluated the existing bearing soil beneath the footing with a dynamic penetrometer.

Based on the inspection, the existing footing is a minimum of 8" thick and 16" wide and bears on medium dense sand with an allowable bearing capacity of 2,000 pcf. The penetrometer readings were 0, 11, 11, and 15.

The existing soil bearing capacity of the perimeter footing at the checked area is thus 1.33' x 2000psf = 2667 ptf.

The grade at the existing house varies granular and slightly above the tested footing level the soils were much softer. It is a concern of mine that any areas of the existing footing that are bearing at a more shallow depth have less than the 2000 pcf soil bearing capacity. The existing grade at the rear of the house also drops about 20 feet vertically over about 30 feet horizontally and is thus a slope failure concern of mine. In order to eliminate potential soil bearing overstress and loading adjacent to the slope, I have specified 20 kip capacity 1 1/2" deep minimum helical piles throughout the house foundation to support the added weight and to prevent loading of the rear slope. These helical piles are to be detailed and installed by a company specializing in pile installation.

If you have any questions regarding this evaluation, please contact me at 443-604-1461.

Sincerely,  
  
 Bryant Blake, P.E.

### FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

EXISTING FINISHED: 990 SQ.FT.  
 ADDITION FINISHED: 400 SQ.FT.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER AND THAT I AM NOT PROVIDING ENGINEERING SERVICES TO ANY OTHER PROJECTS AT THE SAME TIME AS THIS PROJECT.  
 LICENSE NO. 16346, EXPIRATION DATE: 10/31/24

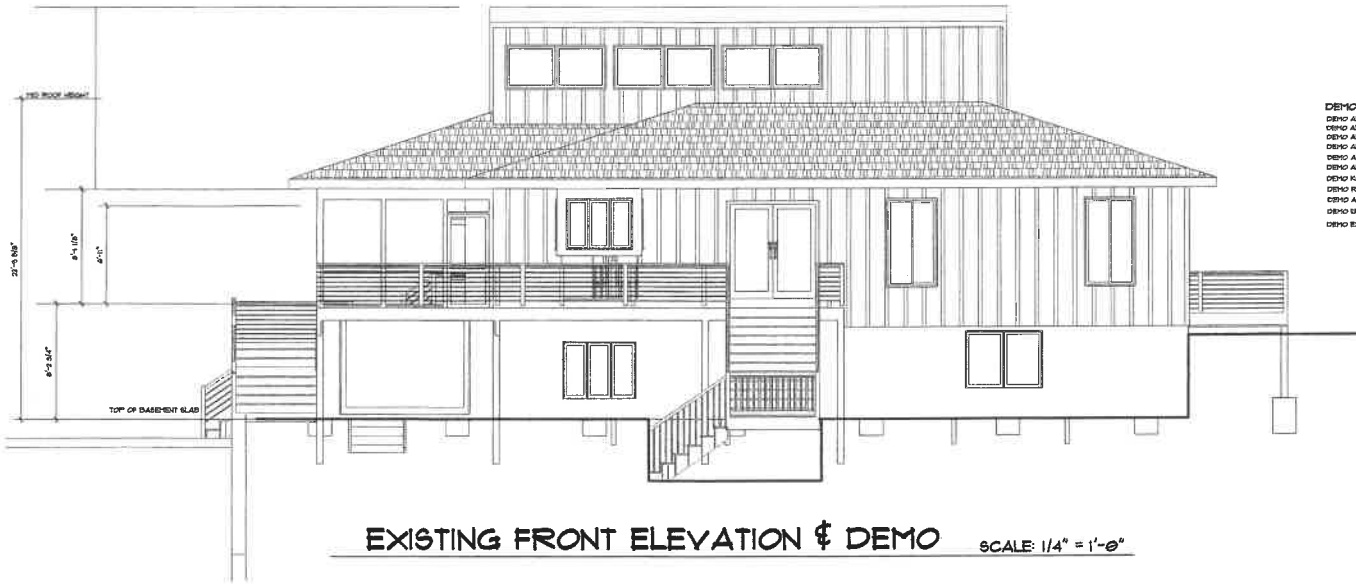
DATE: 12/13/23

REVISIONS

**SUNSET DESIGN**  
 991 MORAN COURT  
 ANNAPOLIS, MD 21401  
 PHONE 443-958-9585  
 DRAWN BY: MICHAEL STEVENSON

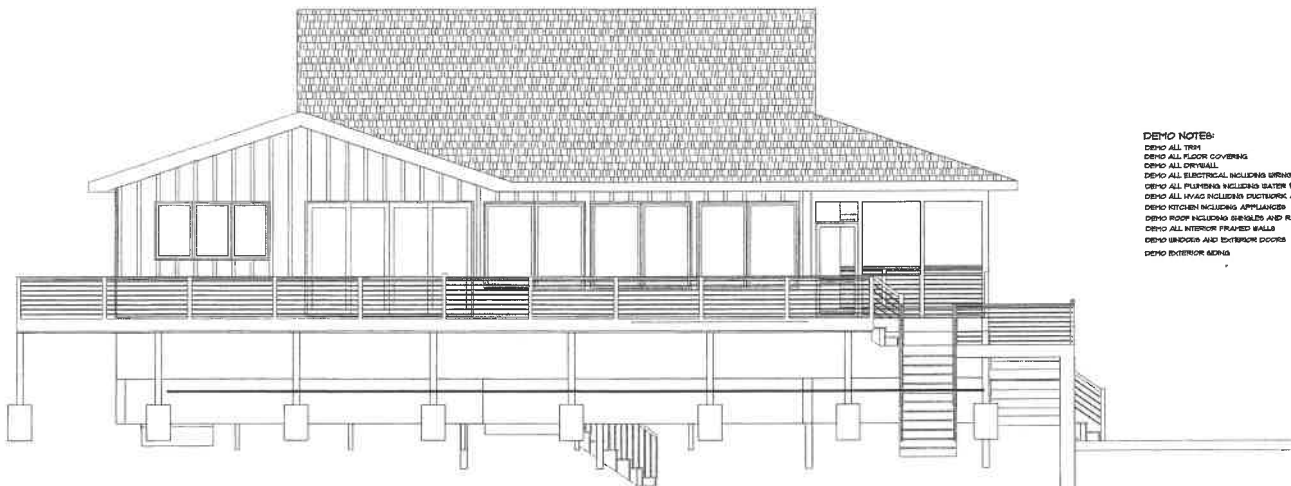
**ADDITION/REMODEL FOR**  
**SALKELD FAMILY RETREAT**  
 BUILDING SITE:  
 3018 FRIENDS ROAD  
 ANNAPOLIS, MD 21401

SHEET  
**A006**



EXISTING FRONT ELEVATION & DEMO SCALE: 1/4" = 1'-0"

DEMO NOTES:  
 DEMO ALL TRIM  
 DEMO ALL FLOOR COVERING  
 DEMO ALL DRYWALL  
 DEMO ALL ELECTRICAL INCLUDING WIRING  
 DEMO ALL PLUMBING INCLUDING WATER & DRAIN PIPES  
 DEMO ALL HVAC INCLUDING DUCTWORK AND UNITS  
 DEMO KITCHEN INCLUDING APPLIANCES  
 DEMO ROOF INCLUDING SHINGLES AND RAFTERS  
 DEMO ALL INTERIOR FRAMED WALLS  
 DEMO WINDOWS AND EXTERIOR DOORS  
 DEMO EXTERIOR SIDING



EXISTING REAR ELEVATION & DEMO SCALE: 1/4" = 1'-0"

DEMO NOTES:  
 DEMO ALL TRIM  
 DEMO ALL FLOOR COVERING  
 DEMO ALL DRYWALL  
 DEMO ALL ELECTRICAL INCLUDING WIRING  
 DEMO ALL PLUMBING INCLUDING WATER & DRAIN PIPES  
 DEMO ALL HVAC INCLUDING DUCTWORK AND UNITS  
 DEMO KITCHEN INCLUDING APPLIANCES  
 DEMO ROOF INCLUDING SHINGLES AND RAFTERS  
 DEMO ALL INTERIOR FRAMED WALLS  
 DEMO WINDOWS AND EXTERIOR DOORS  
 DEMO EXTERIOR SIDING

PROFESSIONAL CERTIFICATION I HEREBY  
 CERTIFY THAT THIS PLAN WAS  
 PREPARED OR APPROVED BY ME, AND THAT I  
 AM A LICENSED ARCHITECT REGISTERED  
 UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 16246, EXPIRATION DATE 10/24



DATE 12/13/23  
 REVISIONS

SUNSET DESIGN  
 881 MORGAN COURT  
 ANNAPOLIS, MD 21401  
 PHONE 443-255-9589  
 DRAWN BY: MICHAEL STEVENSON

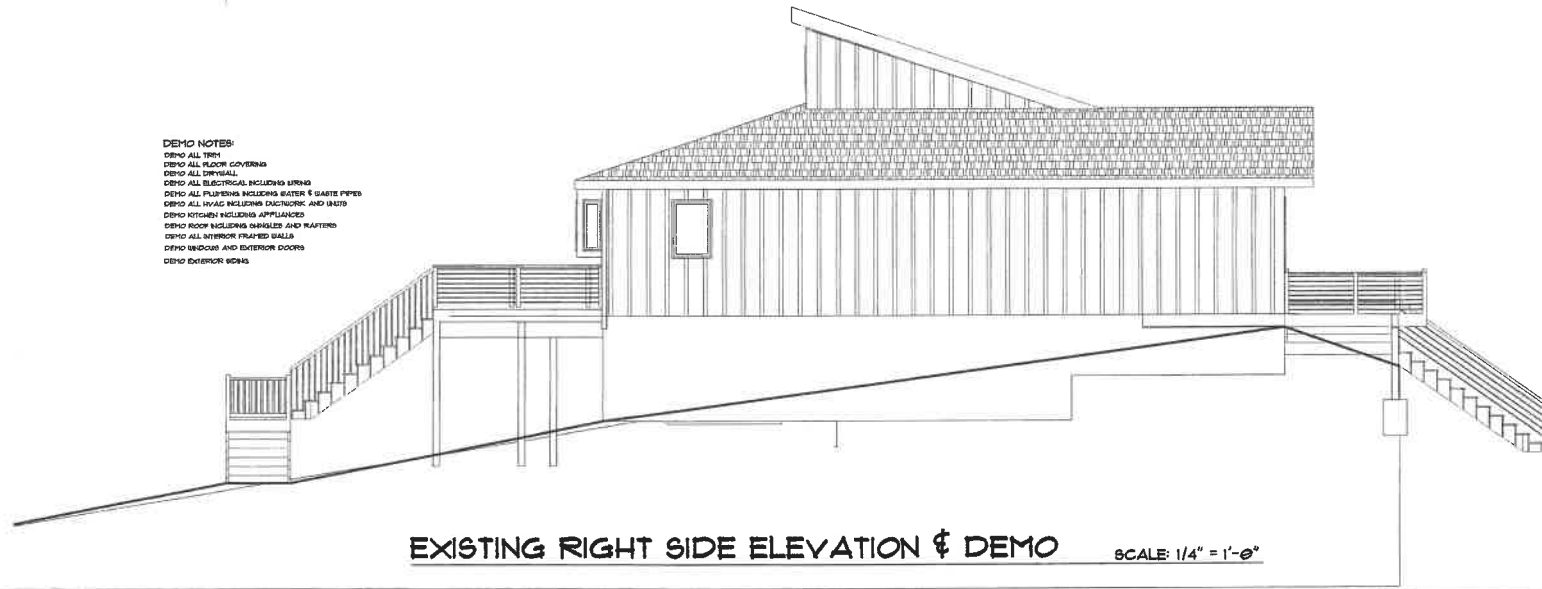
ADDITION/REMODEL FOR  
 SALKELD FAMILY RETREAT  
 BUILDING SITE:  
 3018 FRIENDS ROAD  
 ANNAPOLIS, MD 21401

SHEET  
 A001



**DEMO NOTES:**  
 DEMO ALL TRIM  
 DEMO ALL FLOOR COVERINGS  
 DEMO ALL DRYWALL  
 DEMO ALL ELECTRICAL INCLUDING WIRING  
 DEMO ALL PLUMBING INCLUDING WATER & WASTE PIPES  
 DEMO ALL HVAC INCLUDING DUCTWORK AND UNITS  
 DEMO KITCHEN INCLUDING APPLIANCES  
 DEMO ROOF INCLUDING SHINGLES AND RAFTERS  
 DEMO ALL INTERIOR FINISHED WALLS  
 DEMO WINDOWS AND EXTERIOR DOORS  
 DEMO EXTERIOR Siding

**EXISTING LEFT SIDE ELEVATION & DEMO** SCALE: 1/4" = 1'-0"



**DEMO NOTES:**  
 DEMO ALL TRIM  
 DEMO ALL FLOOR COVERINGS  
 DEMO ALL DRYWALL  
 DEMO ALL ELECTRICAL INCLUDING WIRING  
 DEMO ALL PLUMBING INCLUDING WATER & WASTE PIPES  
 DEMO ALL HVAC INCLUDING DUCTWORK AND UNITS  
 DEMO KITCHEN INCLUDING APPLIANCES  
 DEMO ROOF INCLUDING SHINGLES AND RAFTERS  
 DEMO ALL INTERIOR FINISHED WALLS  
 DEMO WINDOWS AND EXTERIOR DOORS  
 DEMO EXTERIOR Siding

**EXISTING RIGHT SIDE ELEVATION & DEMO** SCALE: 1/4" = 1'-0"

DATE: 12/15/23  
 REVISIONS

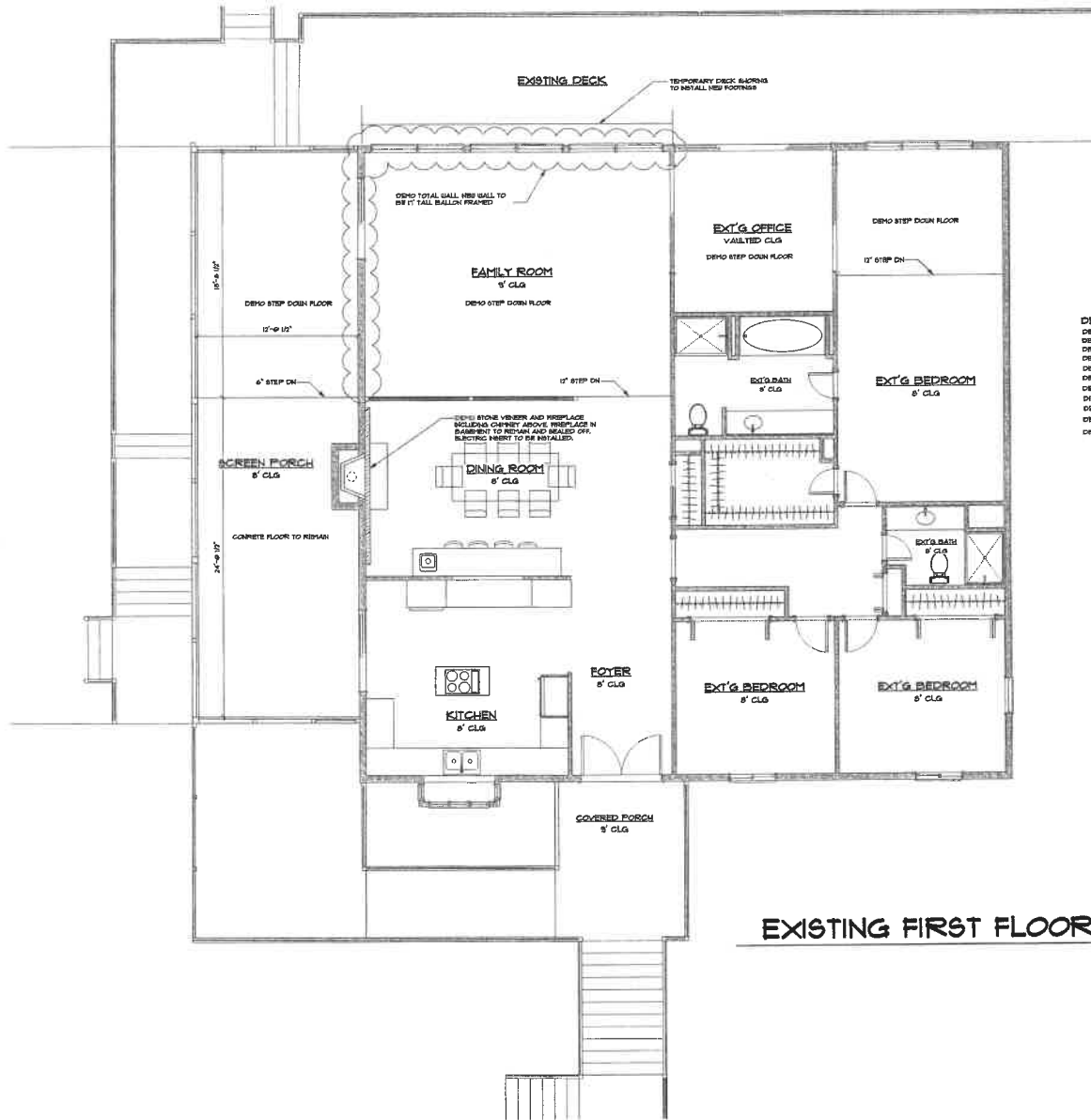


**SUNSET DESIGN**  
 831 MORAN COURT  
 ANNAPOLIS, MD 21401  
 PHONE: 443-993-9595  
 DRAWN BY: MICHAEL STEVENSON

ADDITION/REMODEL FOR  
 SALKELD FAMILY RETREAT  
 BUILDING SITE:  
 3015 FRIENDS ROAD  
 ANNAPOLIS, MD 21401

SHEET  
**A008**





**DEMO NOTES:**  
 DEMO ALL TRIM  
 DEMO ALL FLOOR COVERING  
 DEMO ALL DRYWALL  
 DEMO ALL ELECTRICAL INCLUDING WIRING  
 DEMO ALL PLUMBING INCLUDING WATER & WASTE PIPES  
 DEMO ALL HVAC INCLUDING DUCTWORK AND UNITS  
 DEMO KITCHEN INCLUDING APPLIANCES  
 DEMO ROOF INCLUDING GABLES AND RAFTERS  
 DEMO ALL INTERIOR PAINTED WALLS  
 DEMO WINDOWS AND EXTERIOR DOORS  
 DEMO EXTERIOR SIDING

**EXISTING FIRST FLOOR & DEMO**

SCALE: 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION LICENSE BY  
 PREPARED ON APPROVED BY THE BOARD THAT I  
 UNDER THE JURE OF THE STATE OF MARYLAND  
 LICENSE NO. 18246, EXPIRATION DATE 11/15/24



DATE: 12/13/23  
 REVISIONS:

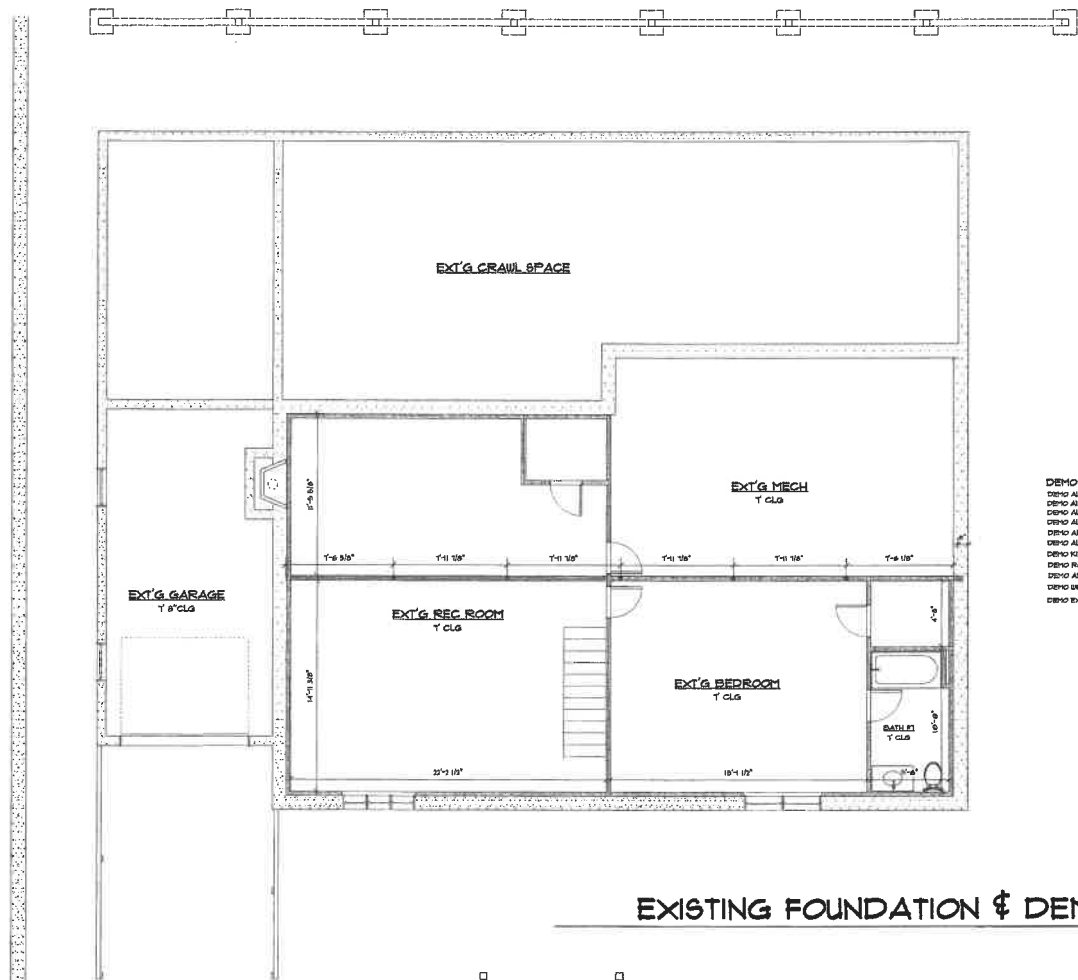
**SUNSET DESIGN**

851 MORAN COURT  
 ANNAPOLIS, MD 21401  
 PHONE: 410-398-8385  
 DRAWN BY: MICHAEL STEVENSON

**ADDITION/REMODEL FOR  
 SALKELD FAMILY RETREAT**

BUILDING SITE:  
 3018 FRIENDS ROAD  
 ANNAPOLIS, MD 21401

SHEET  
**A009**



**DEMO NOTES:**  
 DEMO ALL FEN  
 DEMO ALL FLOOR COVERING  
 DEMO ALL CEILING  
 DEMO ALL ELECTRICAL INCLUDING WIRING  
 DEMO ALL PLUMBING INCLUDING WATER & WASTE PIPES  
 DEMO ALL HVAC INCLUDING DUCTWORK AND UNITS  
 DEMO KITCHEN INCLUDING APPLIANCES  
 DEMO ROOF INCLUDING SHINGLES AND RAFTERS  
 DEMO ALL INTERIOR FRAMED WALLS  
 DEMO WINDOWS AND EXTERIOR DOORS  
 DEMO EXTERIOR SOD

**EXISTING FOUNDATION & DEMO**

SCALE: 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION I HEREBY  
 CERTIFY THAT THIS DESIGN AND ALL  
 INFORMATION CONTAINED HEREIN WAS  
 PREPARED OR SUPERVISED BY ME, AND THAT I  
 AM A LICENSED PROFESSIONAL ARCHITECT  
 UNDER THE JURISDICTION OF THE STATE OF MARYLAND,  
 LICENSE NO. 18449, EXPIRATION DATE: 11/30/24



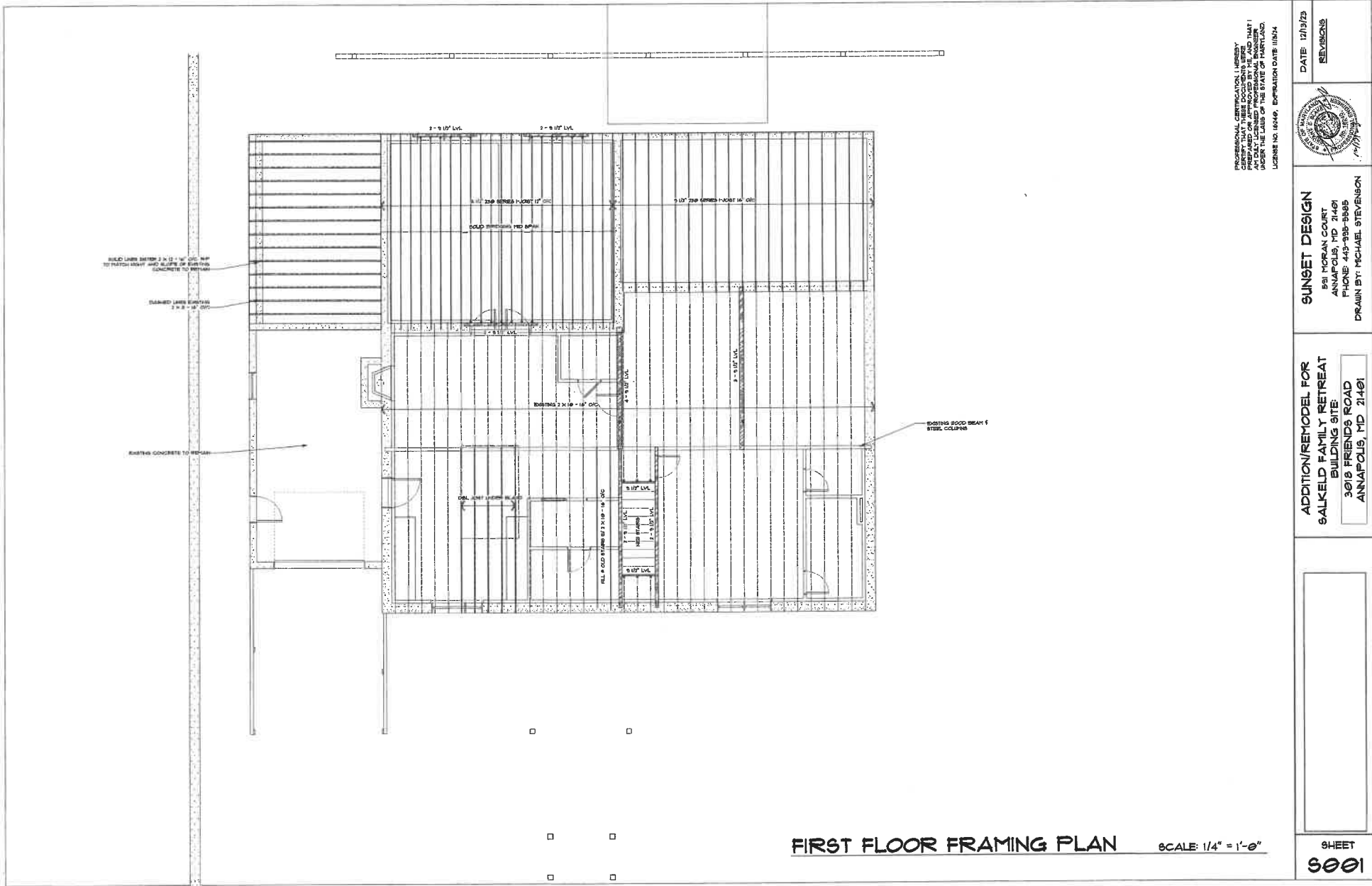
**SUNSET DESIGN**  
 BRI MORAN COURT  
 ANNAPOLIS, MD 21401  
 PHONE: 410-338-5585  
 DRAWN BY: MICHAEL STEVENSON

**ADDITION/REMODEL FOR  
 SALKELD FAMILY RETREAT**  
 BUILDING SITE:  
 3018 FRIENDS ROAD  
 ANNAPOLIS, MD 21401

SHEET  
**A010**

DATE: 12/15/23

REVISIONS



**FIRST FLOOR FRAMING PLAN**      SCALE: 1/4" = 1'-0"

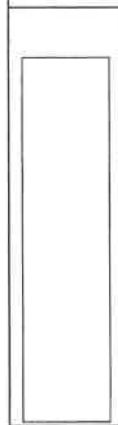
PROFESSIONAL CERTIFICATION LIBRARY  
 THIS DOCUMENT IS TO BE KEPT IN THE ARCHIVE AND NOT REPRODUCED OR  
 PREPARED OR APPROVED BY ME AND THAT I  
 AM A LICENSED PROFESSIONAL ARCHITECT IN THE  
 STATE OF MARYLAND.  
 LICENSE NO. 18649, EXPIRATION DATE 11/30/24

DATE	REVISIONS
12/13/23	

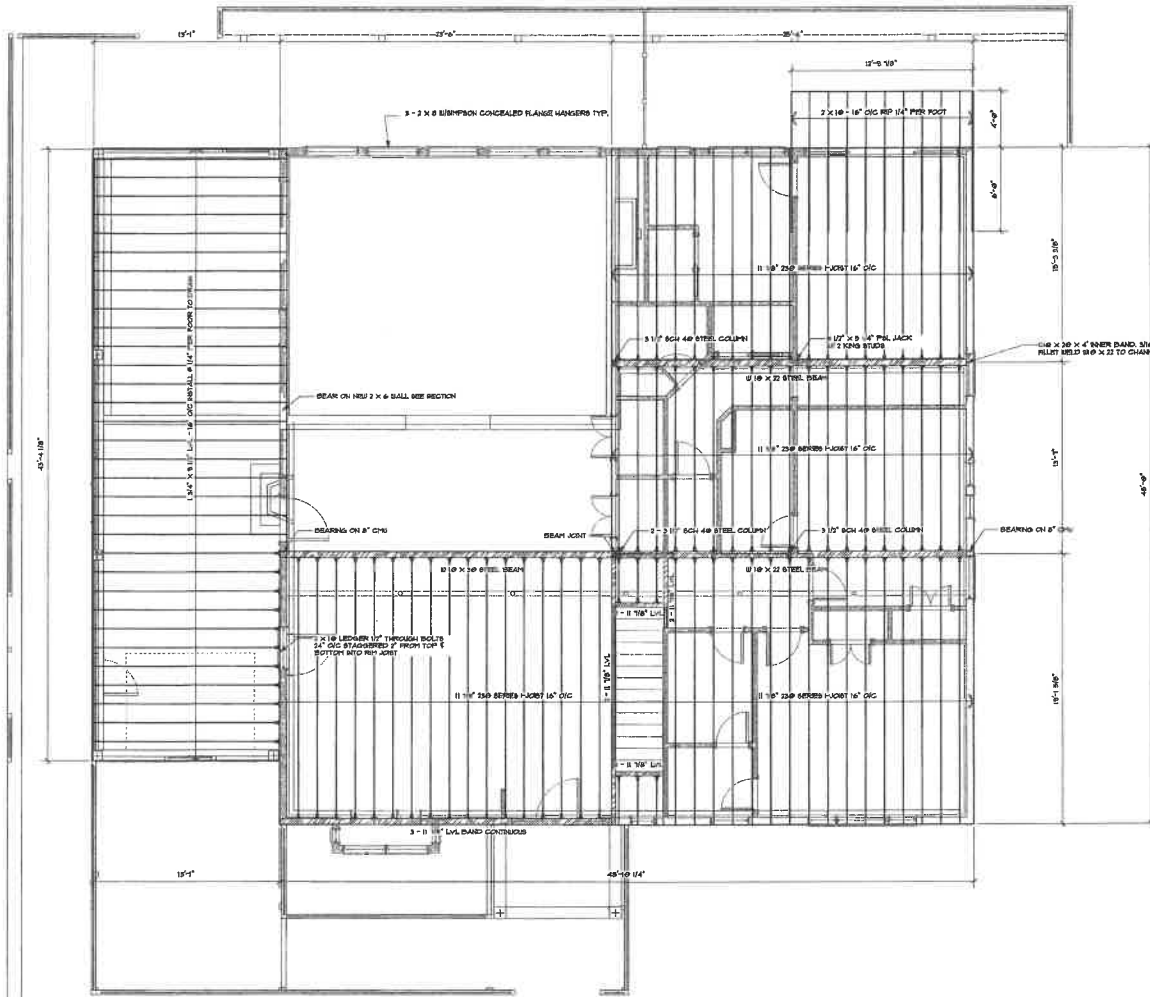


**SUNSET DESIGN**  
 891 MORAN COURT  
 ANNAPOLIS, MD 21401  
 PHONE: 443-938-5565  
 DRAWN BY: MICHAEL STEVENSON

**ADDITION/REMODEL FOR  
 SALKELD FAMILY RETREAT  
 BUILDING SITE  
 3018 FRIENDS ROAD  
 ANNAPOLIS, MD 21401**



SHEET  
**5001**



**SECOND FLOOR FRAMING PLAN** SCALE: 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 102469, EXPIRATION DATE 11/30/24



DATE: 12/15/23  
REVISIONS:

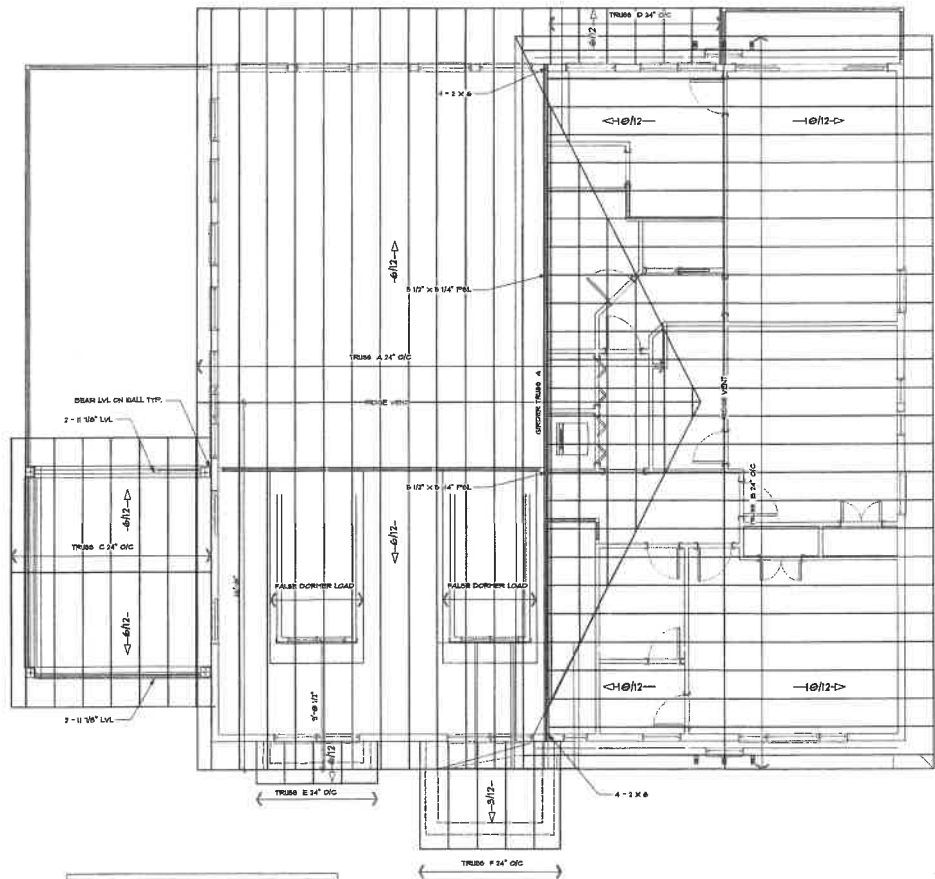
**SUNSET DESIGN**

551 MORAN COURT  
ANNAPOLIS, MD 21401  
PHONE: 443-388-3559  
DRAWN BY: MICHAEL STEVENSON

**ADDITION/REMODEL FOR  
SALKELD FAMILY RETREAT**

BUILDING SITE:  
3018 FRIENDS ROAD  
ANNAPOLIS, MD 21401

SHEET  
**5002**

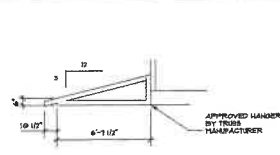


**NOTE:**  
TRUSS DRAWINGS SHOW DESIGN INTENT ONLY. FINAL TRUSS DESIGN TO BE ENGINEERED AND SEALED BY TRUSS MANUFACTURER. HELL HEIGHT TO BE ADJUSTED WHERE NEEDED TO ALIGN PASCIA.

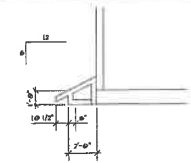
**NOTE:**  
USE 2\"/>

**ROOF FRAMING PLAN**

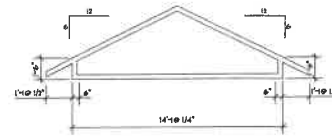
SCALE: 1/4" = 1'-0"



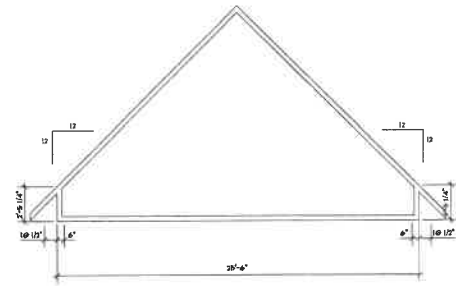
**TRUSS E** SCALE 1/4" = 1'-0"



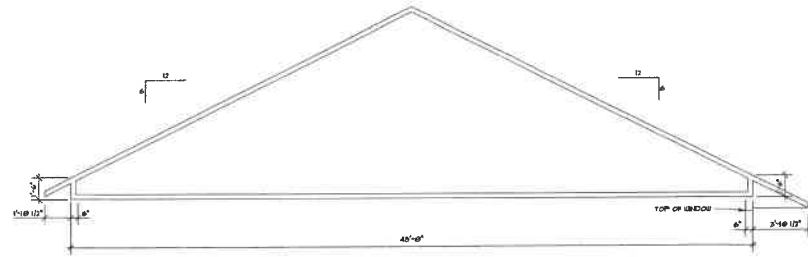
**TRUSS F** SCALE 1/4" = 1'-0"



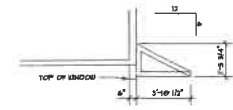
**TRUSS C** SCALE 1/4" = 1'-0"



**TRUSS B** SCALE 1/4" = 1'-0"



**TRUSS A** SCALE 1/4" = 1'-0"



**TRUSS D** SCALE 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION LICENSE  
PREPARED OR APPROVED BY THE ARCHITECT AND THAT I  
AM A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF MARYLAND.  
LICENSE NO. 18249, EXPIRATION DATE 11/24/24

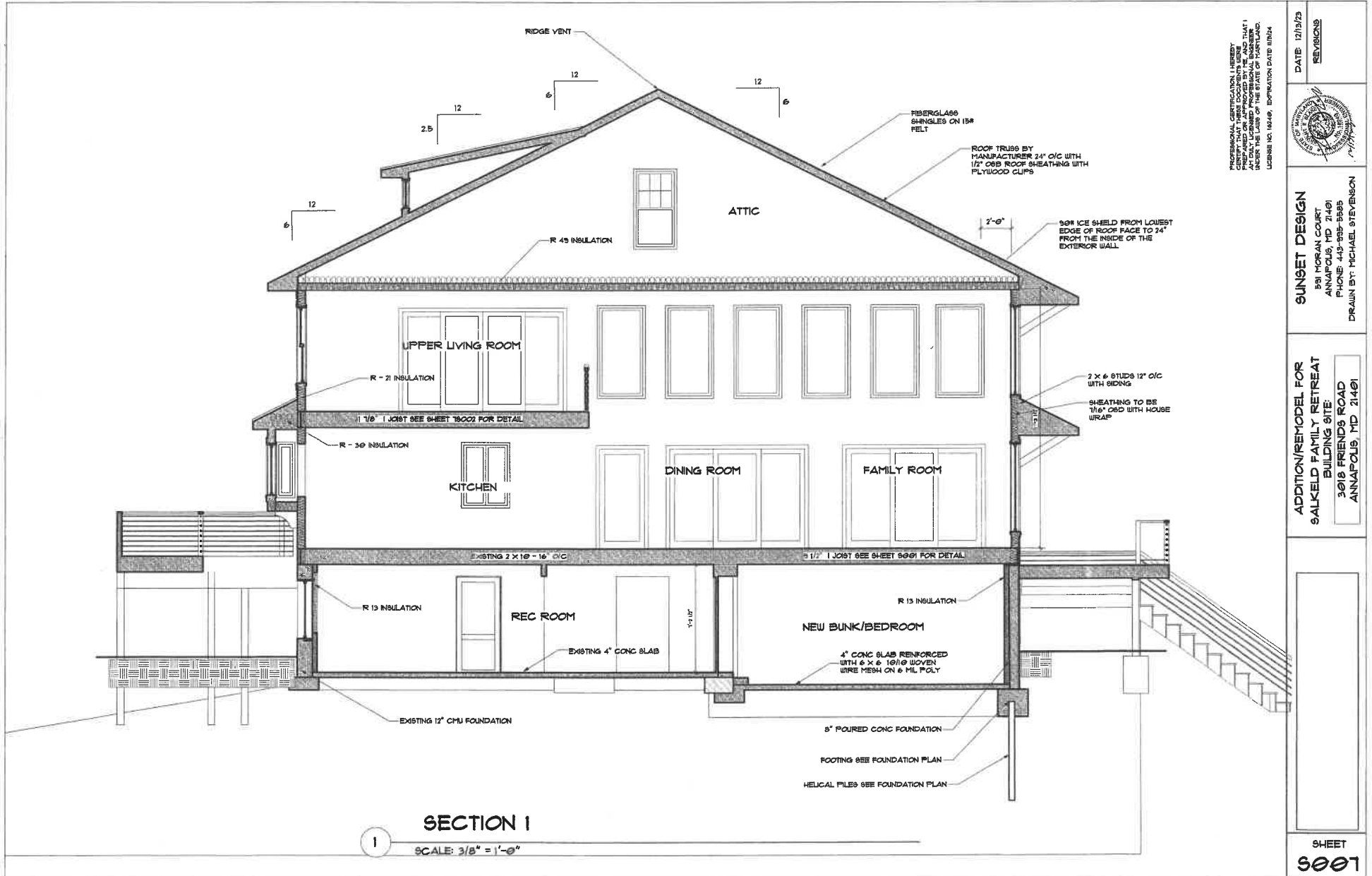
DATE: 12/19/23	REVISIONS

**SUNSET DESIGN**  
851 MORAN COURT  
ANNAPOLIS, MD 21401  
PHONE: 410-838-2585  
DRAWN BY: MICHAEL STEVENSON

**ADDITION/REMODEL FOR  
SALKELD FAMILY RETREAT**  
BUILDING SITE:  
3018 FRIENDS ROAD  
ANNAPOLIS, MD 21401



SHEET  
**5003**



**SECTION 1**  
 SCALE: 3/8" = 1'-0"

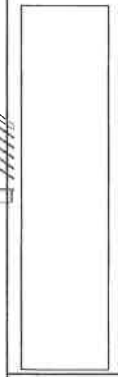
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT I AM THE DESIGNER OF THIS PROJECT AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER, LICENSE NO. 16649, EXPIRATION DATE: 11/24/24.



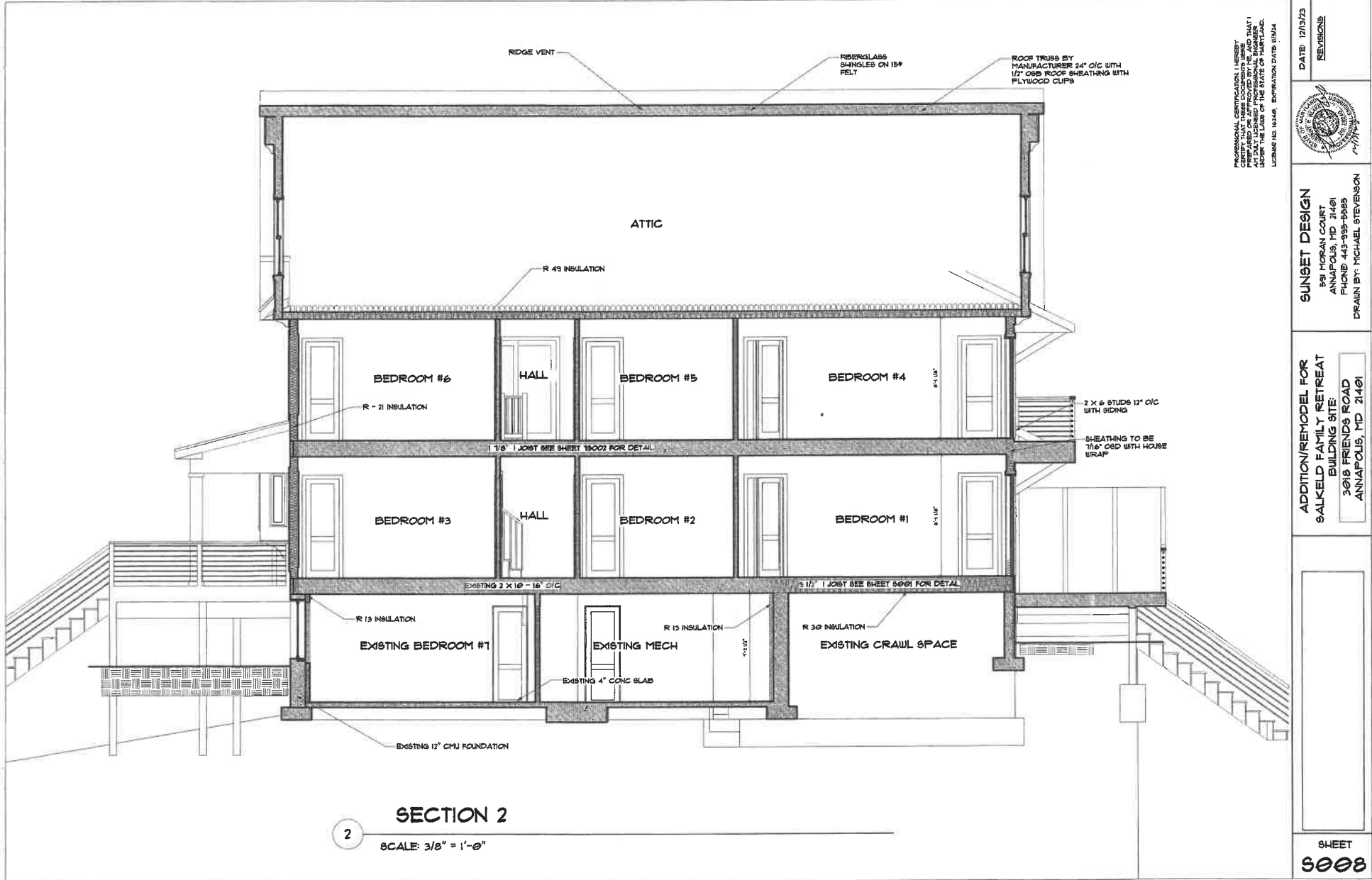
DATE: 12/19/23  
 REVISIONS

**SUNSET DESIGN**  
 591 MORAN COURT  
 ANNAPOLIS, MD 21401  
 PHONE: 443-858-5585  
 DRAWN BY: MICHAEL STEVENSON

**ADDITION/REMODEL FOR  
 SALKELD FAMILY RETREAT  
 BUILDING SITE**  
 3018 FRIENDS ROAD  
 ANNAPOLIS, MD 21401



SHEET  
**5001**



2

**SECTION 2**

SCALE: 3/8" = 1'-0"

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT I AM A LICENSED ARCHITECT REGISTERED AND APPROVED BY THE ARCHITECTS BOARD OF THE STATE OF MARYLAND, UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16246, EXPIRATION DATE 08/24



DATE: 12/15/23  
REVISIONS

**SUNSET DESIGN**

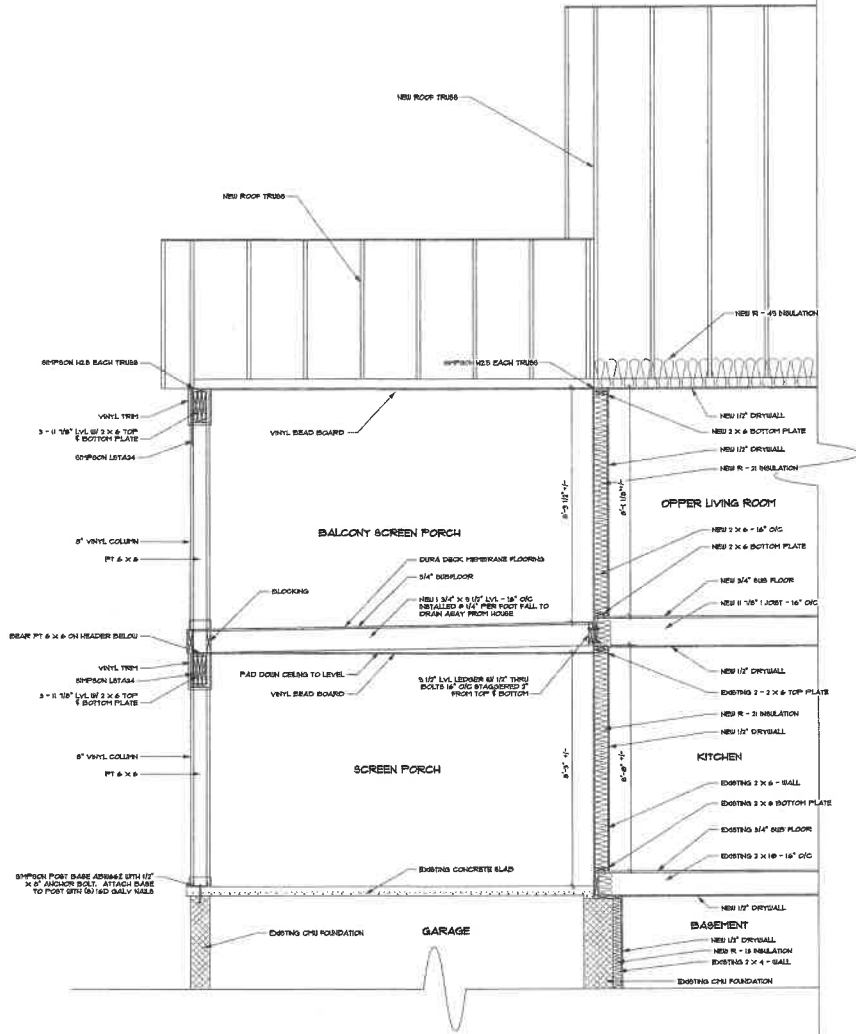
581 MORAN COURT  
ANNAPOLIS, MD 21401  
PHONE: 443-988-8885  
DRAWN BY: MICHAEL STEVENSON

**ADDITION/REMODEL FOR  
SALKELD FAMILY RETIRET**

BUILDING SITE:  
3018 FRIENDS ROAD  
ANNAPOLIS, MD 21401

SHEET

**5008**



3 SECTION 3  
SCALE 1/2" = 1'-0"

PROFESSIONAL CERTIFICATION LICENSE BY  
PREPARED OR APPROVED BY THE ARCHITECT  
UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 10249, EXPIRATION DATE 11/9/24

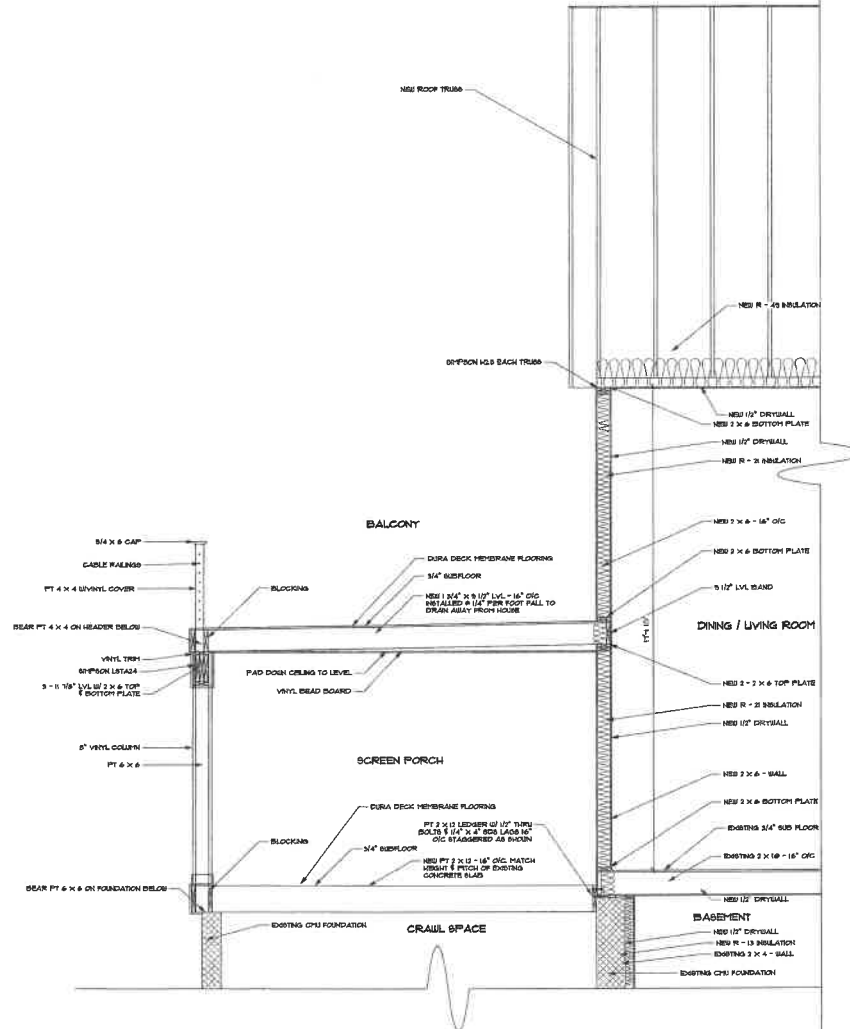


DATE 12/13/23  
REVISIONS

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PHONE 443-998-8585  
DRAWN BY: MICHAEL STEVENSON

ADDITION/REMODEL FOR  
SALKELD FAMILY RETREAT  
BUILDING SITE:  
3018 FRIENDS ROAD  
ANNAPOLIS, MD 21401





4      **SECTION 4**  
SCALE: 1/2" = 1'-0"

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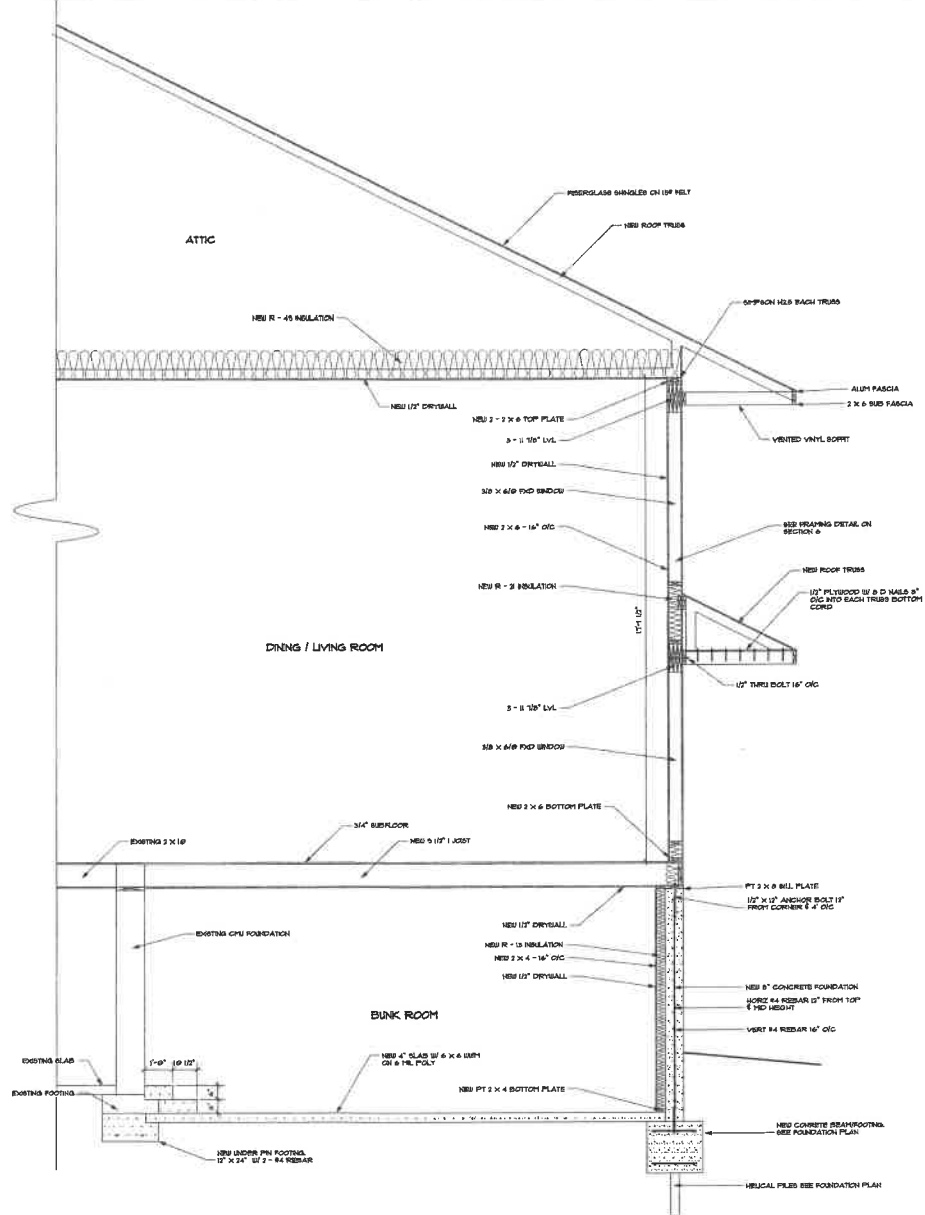
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**SALKELD FAMILY RETREAT**  
BUILDING SITE:  
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ANNAPOLIS, MD 21401



SHEET  
**5010**



5

SECTION 5  
SCALE 1/2" = 1'-0"

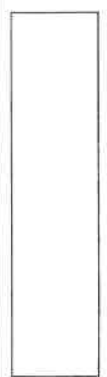
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BUILDING SITE:  
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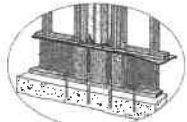


SHEET  
5011

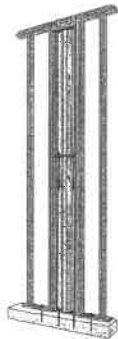
### Steel Strong-Wall®: Balloon-Framing Application



**STEEL STRONG-WALL®**  
See page 77-79 for installation information.



Wood floor installation  
Use span 17 for wood floor  
connection 15 in wood floor story



STACKED-WALL SOLUTION FOR BALLOON FRAMING

#### STEEL STRONG-WALL® BALLOON FRAMING - BOTTOM-WALL MODELS

Model No.	W	H	F	Anchor Bolts
SSWB18x8	18	8	2	2
SSWB18x8	18	8	2	2
SSWB18x8	18	8	2	2
SSWB18x8	18	8	2	2
SSWB18x8	18	8	2	2
SSWB18x8	18	8	2	2
SSWB18x8	18	8	2	2
SSWB18x8	18	8	2	2
SSWB18x8	18	8	2	2
SSWB18x8	18	8	2	2

1. See page 78 for general notes on this table.  
2. See page 77 for Foot Restraints (R) when needed.

#### BALLOON FRAMING WALL CONNECTION KIT

Kit No.	Quantity
SSWB18x8	(2) 1/2" x 20" Threaded Rods (F204 Grade 55 Heavy Hex Nuts, separate instructions)

1. Two heavy hex nuts included with each wall.

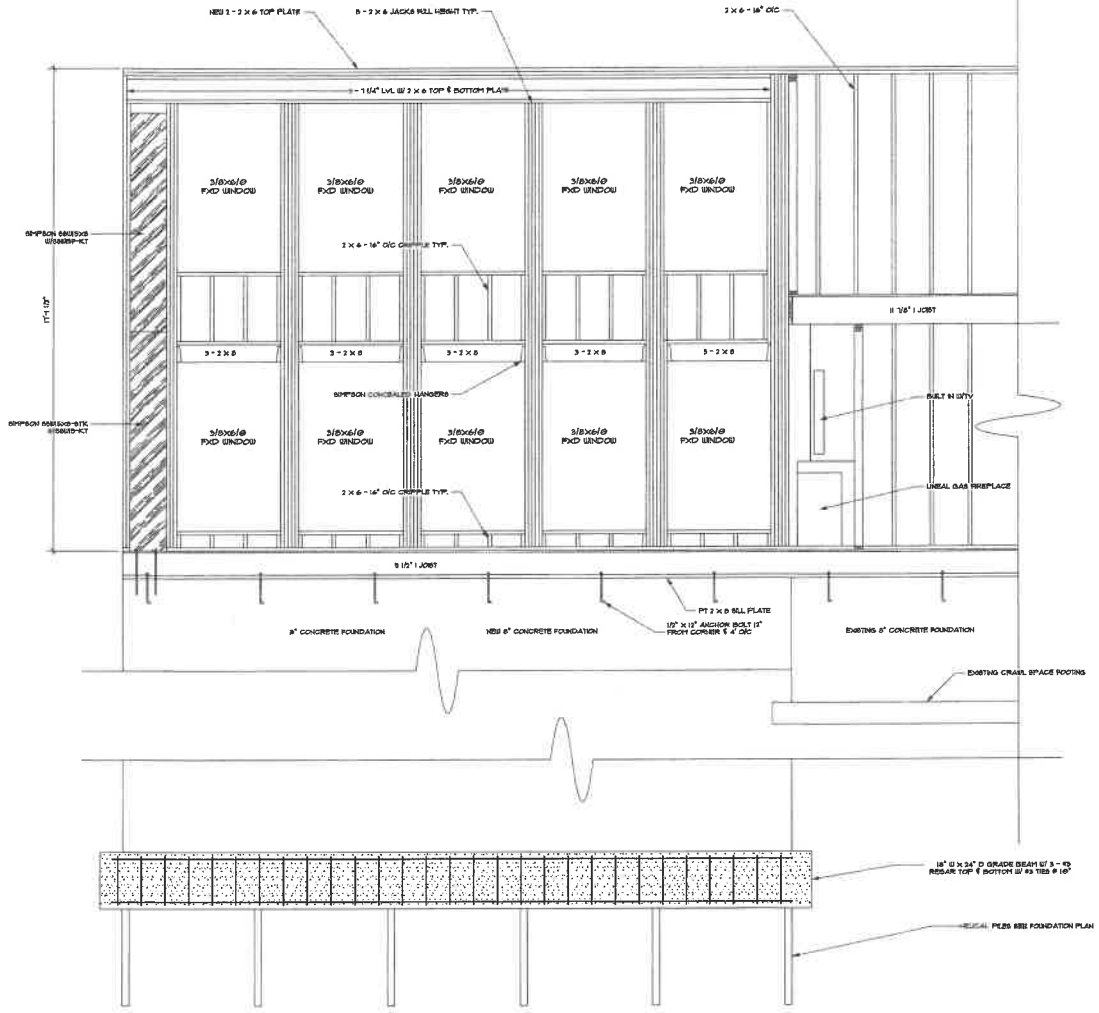
#### WOOD-BLOCK-TO-TOP-PLATE CONNECTION

Strong-Wall®	Max. Wood Block	Connection
18" wall	4" (2x4)	Simpson Strong-Tie®
18" wall	6" (2x6)	17N or ANS
18" wall	8" (2x8)	17N or ANS
18" wall	8" (2x8)	17N or ANS

1. Always consult with engineer when capacity may be exceeded for this connection.

© 2014 Simpson Strong-Tie Company, Inc.

STRONG-WALL® SHEARWALLS PRESCRIPTIVE DESIGN GUIDE | 19



**SECTION 6**  
SCALE: 1/2" = 1'-0"

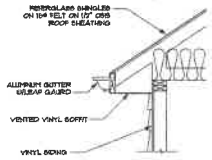
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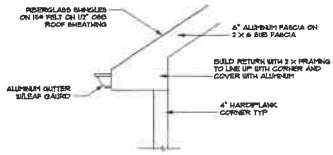
**ADDITION/REMODEL FOR  
SALKELD FAMILY RETREAT  
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SHEET  
**6012**



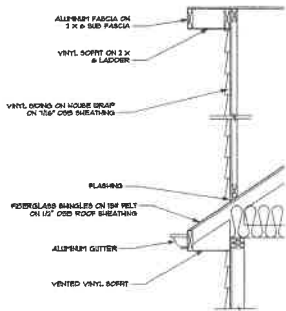
**EAVE CORNICE DETAIL**

SCALE: 3/4" = 1'-0"



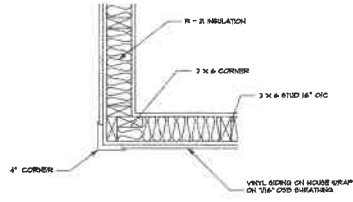
**EAVE RETURN DETAIL**

SCALE: 3/4" = 1'-0"



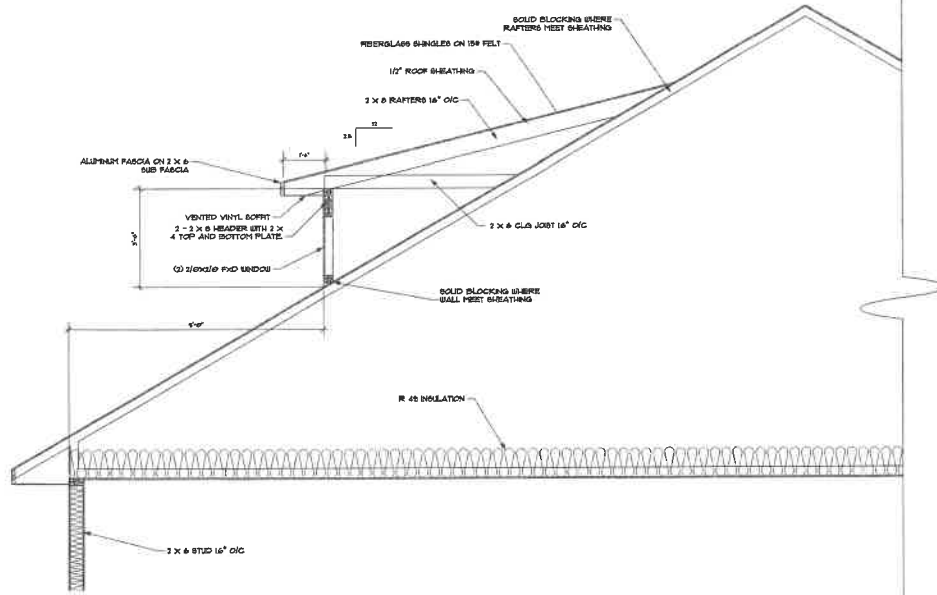
**GABLE WITH SIDING**

SCALE: 3/4" = 1'-0"



**CORNER VINYL DETAIL**

SCALE: 1-1/2" = 1'-0"



**DORMER DETAIL**

SCALE: 1/2" = 1'-0"

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DATE: 12/13/23

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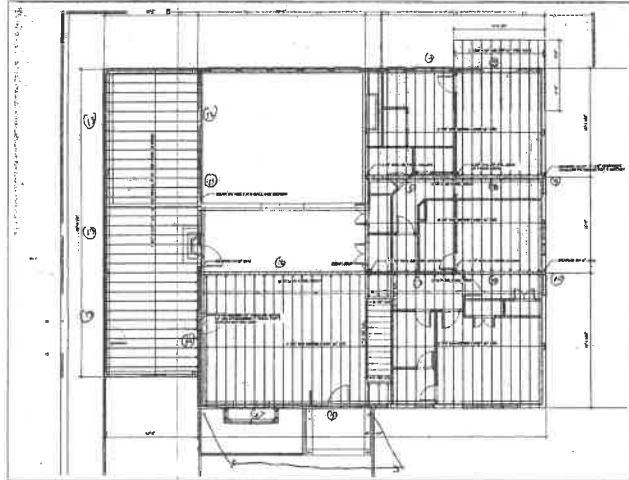
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**SALKELD FAMILY RETREAT**  
**BUILDING SITE:**  
**3018 FRIENDS ROAD**  
**ANNAPOLIS, MD 21401**

SHEET

**5013**



December 5, 2023  
Salkeld Addition

Roof Framing

GTA  
 Rfront = 27.5/2 x 50 x 19/2 = 6531 lbs  
 R2 = 27.5/2 x 50psf x (19x5/8 + 14.5/2) = 13,148 lbs  
 R3 = 27.5/2 x 50 x 14.5x9/8 = 11215 lbs  
 R rear = 27.5/2 x 50 x 14.5/2 = 4984 lbs

Front double windows  
 Span = 6.5'  
 W = 49/2 x 50 + 20 = 1170 ptf  
 M = 6.16 k-ft  
 R = 3802 lbs

Rear windows  
 Span = 4'  
 W = 1170 ptf  
 M = 2.34 k-ft = 28.08 in-k  
 R = 2508 lbs

Left side porch roof  
 Span = 13'  
 W = 18/2 x 50 + 20 = 470 ptf  
 M = 8.93 k-ft  
 R = 3058 lbs

2nd Floor Framing

Beam 1  
 Span = 11.5'  
 W = 46/2x42.5 + 19/2 x 40 + 100 = 1458 ptf  
 M = 24.09 k-ft - use 3 - 11.875" LVL  
 R ends = 8384 lbs + 8531 = 14,915  
 R center = 20858 lbs

Page 3

Beam 9  
 Span = 3.5'  
 W = 27.5/2 x 50 + 100 = 788 ptf  
 P = 4719 lbs at x = 0.75'  
 Rf = 2350 lbs  
 Rr = 5087 lbs  
 M = 3.8 k-ft

Beam 10  
 load is on wall

Beam 11 and 12  
 Span = 9.5'  
 W = 13.5/2 x 50 + 200 = 538 ptf  
 M = 6.06 k-ft  
 R = 2556 lbs

Beam 13  
 Span = 14.25' = 171"  
 W = 13.5/2 x 50 + 20 = 358 ptf  
 M = 9.07 k-ft  
 defl 2 - 11.875" LVL = 0.27" = L/632 - ok

Beam 14 front  
 Span = 10'  
 W1 = 200 ptf x = 0 to 4.5'  
 P = 3058 lbs at x = 4.5'  
 W2 = 13/2 x 50 + 200 = 825 ptf x = 4.5' to 10'  
 Rf = 3172 lbs  
 Rr = 3571 lbs  
 M = 12.25 k-ft

Beam 14 rear  
 Span = 10'  
 W = 825 ptf  
 M = 6.56 k-ft  
 R = 2628 lbs  
 R center = 7870 lbs  
 Rrear = 2625 + 8051 + 3055 = 11,731 lbs

Page 2

Beam 2  
 Span = 23.6' = 282"  
 W = 19/2 x 50 + 40 = 515 ptf  
 M = 35.55 k-ft  
 defl 1/100 LL = 0.899"  
 I min = 115 in<sup>4</sup> - use W10x30 I = 170, Mcap = 91.3 k-ft  
 R = 6051 lbs

Beam 3 and 4  
 Span = 12.5'  
 W = 33/2 x 50 + 30 = 855 ptf  
 M = 16.7 k-ft  
 R = 5344 lbs  
 Use W10x22 Mcap = 64.8 k-ft  
 R center = 13,359 lbs

Beam 5 and 6  
 Span = 12.5'  
 W = 29/2 x 50 + 30 = 755 ptf  
 M = 14.74 k-ft  
 R = 4719 lbs  
 Rcenter = 11,797 lbs

Beam 7  
 Span = 6'  
 W = 15/2 x 50 + 200 = 575 ptf  
 M = 2.55 k-ft  
 R = 1725 lbs

Beam 8  
 Span = 10.5'  
 W = 19x50 x8.5/15' + 50 = 652 ptf  
 M = 8.99 k-ft  
 R = 3423 lbs

Page 4

Foundation design  
 Rear grade beam  
 Span = 4.8'  
 P = 1170 ptf x 4.33' = 6070 lbs  
 W = 200 + 450 = 650 ptf  
 Mmax = 7.89 k-ft  
 Pmax = 9103 lbs  
 Ast min = 0.29 in<sup>2</sup> - 3 - #5 ok  
 Vcap = 0.75(2)(3000)\*0.5(18)(207) = 29577(2x1.4 = 10583 lbs - ok

Max point load  
 Front of girder truss = 6531 + 8384 = 14,915 lbs  
 2nd girder truss support = 13,184 + 8051 + 5344 = 24,579 lbs/3 piles = 8193 lbs  
 Right footing = 13,359 lbs

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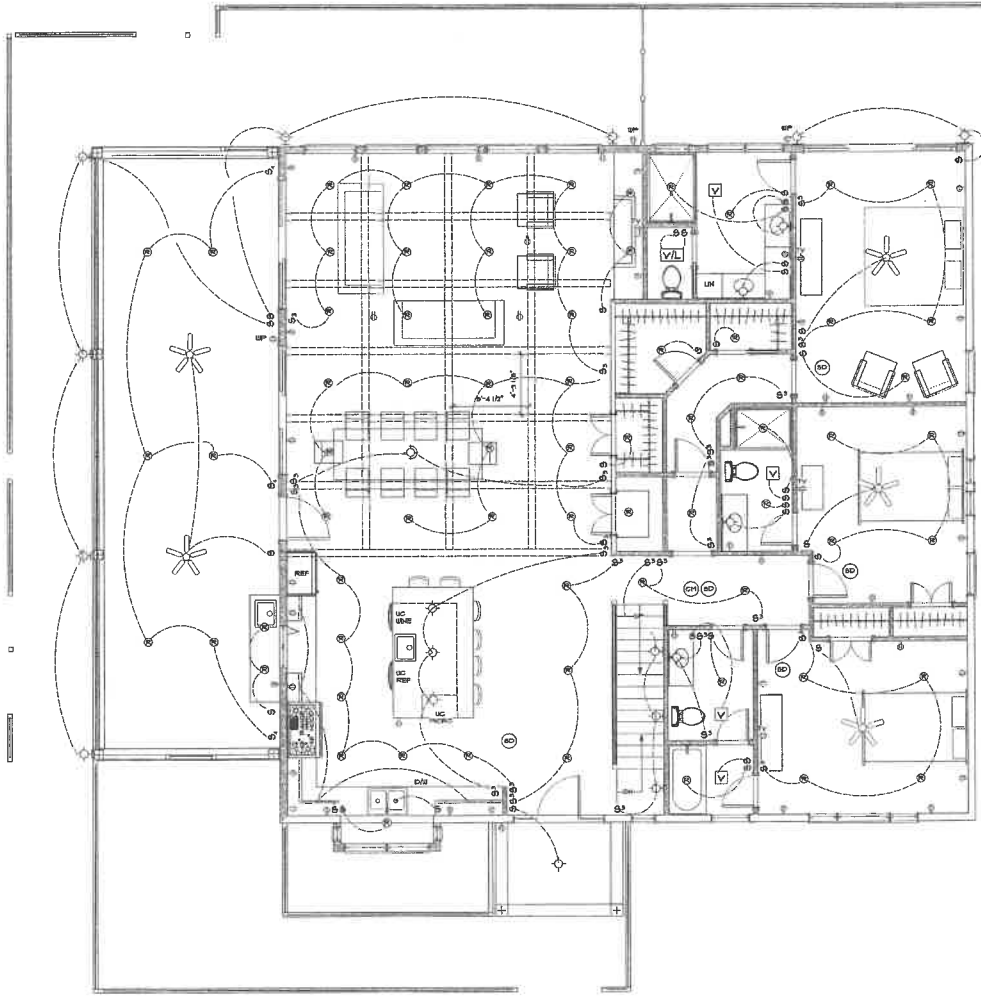
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SHEET  
 5013



LEGEND	
⊙	RECEPTACLE
⊙	1/2 SWITCHED RECEP
⊙	WATER PROOF RECP
⊙	RECESS LIGHT
◇	CEILING MOUNTED LIGHT
◇	CHANDELIER
◇	WALL MOUNTED LIGHT
◇	FLUORESCENT LIGHT
☑	BATH VENT
⊙	BATH VENT / LIGHT
⊙	SINGLE POLE SWITCH
⊙	THREE WAY SWITCH
⊙	FOUR WAY SWITCH
—◇—	FUNCTION OF SWITCH
⊙	SMOKE DETECTOR
✱	CEILING FAN

**FIRST FLOOR ELECTRIC PLAN**  
 SCALE: 1/4" = 1'-0"

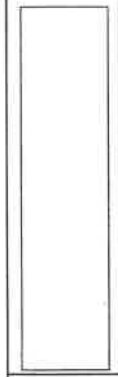
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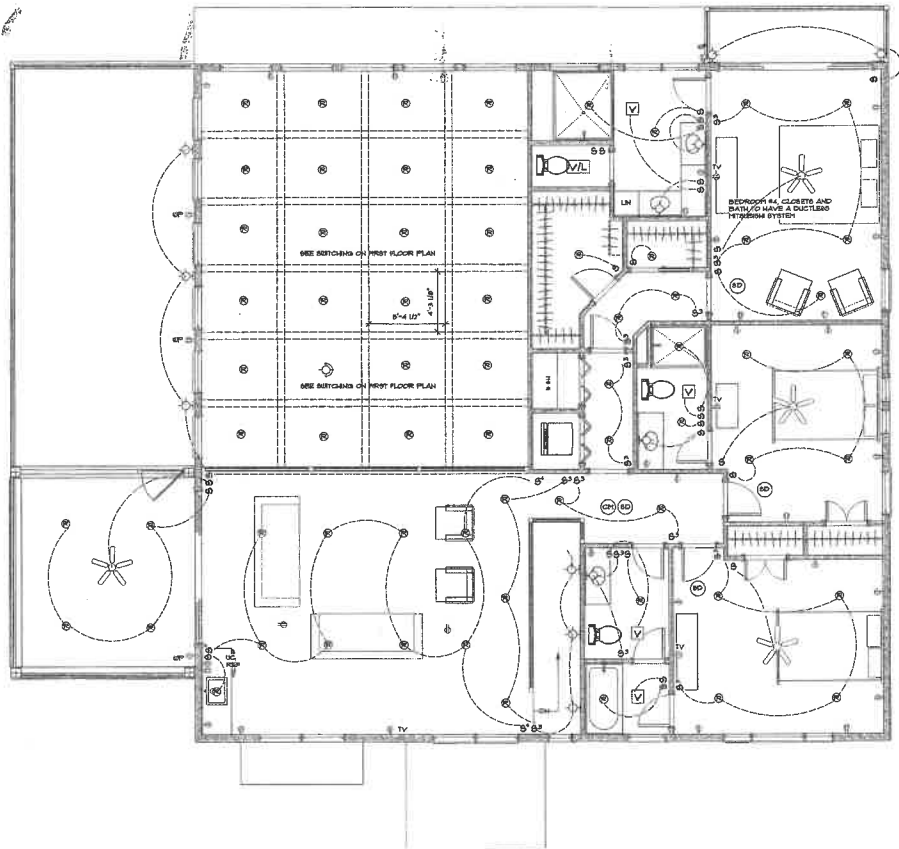
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9 SHEET  
**E001**



LEGEND	
⊙	RECEPTACLE
⊙	1/2 SWITCHED RECEP
⊙	WATER PROOF RECP
⊙	RECESS LIGHT
⊙	CEILING MOUNTED LIGHT
⊙	CHANDELIER
⊙	WALL MOUNTED LIGHT
⊙	FLUORESCENT LIGHT
⊙	BATH VENT
⊙	BATH VENT / LIGHT
⊙	SINGLE POLE SWITCH
⊙	THREE WAY SWITCH
⊙	FOUR WAY SWITCH
⊙	FUNCTION OF SWITCH
⊙	SMOKE DETECTOR
⊙	CEILING FAN

**SECOND FLOOR ELECTRIC PLAN**  
SCALE: 1/4" = 1'-0"

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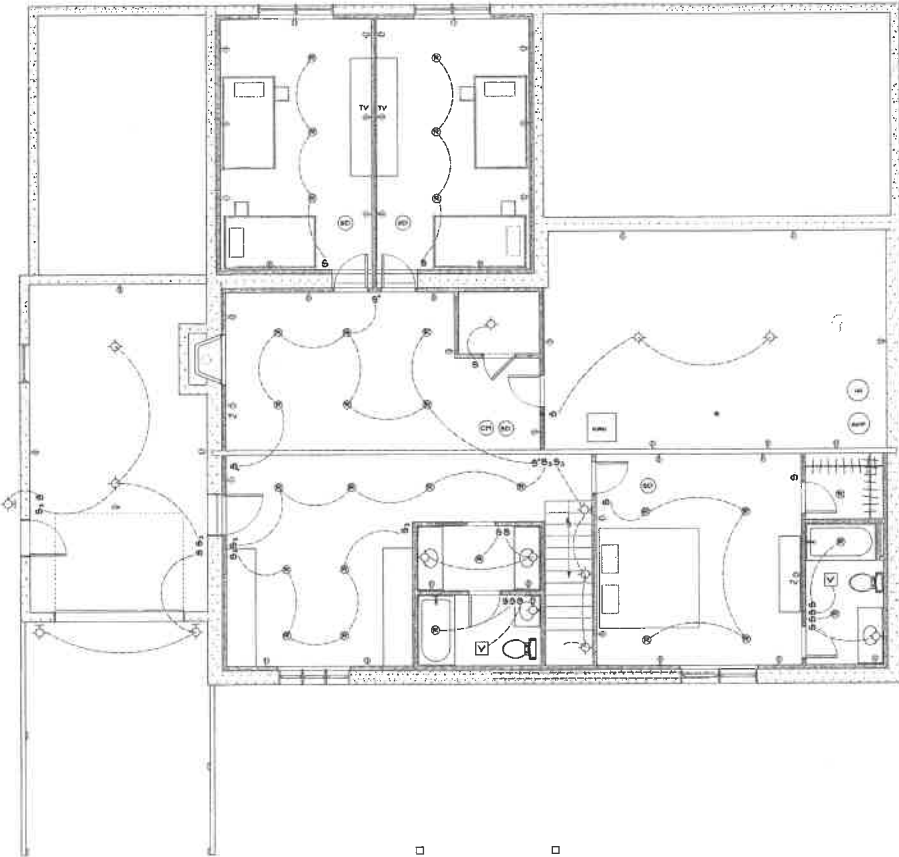


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SHEET  
**E002**



LEGEND	
⊙	RECEPTACLE
⊙	1/2 SWITCHED RECEP
⊙	WATER PROOF RECP
⊙	RECESS LIGHT
◇	CEILING MOUNTED LIGHT
◇	CHANDELIER
◇	WALL MOUNTED LIGHT
□	FLUORESCENT LIGHT
☑	BATH VENT
☑	BATH VENT / LIGHT
⊙	SINGLE POLE SWITCH
⊙	THREE WAY SWITCH
⊙	FOUR WAY SWITCH
—◇—	FUNCTION OF SWITCH
⊙	SMOKE DETECTOR
✪	CEILING FAN

**BASEMENT ELECTRIC PLAN**  
SCALE: 1/4" = 1'-0"

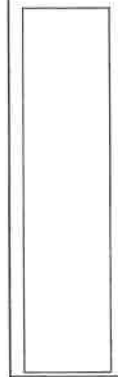
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SHEET  
**E003**

D





# OFFICE OF PLANNING AND ZONING

## CONFIRMATION OF PRE-FILE

**PRE-FILE #:** 2024-0103-P  
**DATE:** 11/01/2024  
**OPZ STAFF:** Jennifer Lechner  
Kelly Krinetz  
**I&P STAFF:** Habtamu Zeleke

**APPLICANT/REPRESENTATIVE:** 3025 LLC / Anarex, Inc.

**EMAIL:** [mike@anarex.com](mailto:mike@anarex.com)

**SITE LOCATION:** 3018 Friends Road, Annapolis

**LOT SIZE:** 19,484 SF

**ZONING:** R2      **CA DESIGNATION:** IDA      **BMA:** YES      **BUFFER:** n/a      **APPLICATION TYPE:** Variance

The applicants are proposing to demo the existing first floor of the dwelling, and to construct a new two and a half story dwelling over the existing foundation. There will be no increase in the footprint or impervious coverage of the lot, and little disturbance to the steep slopes and 100' critical area buffer.

### Variances required:

§ 17-8-201(b) Development in the IDA. Development in the intensely developed area (IDA) may not occur within slopes of 15% or greater unless development will facilitate stabilization of the slope or the disturbance is necessary to allow connection to a public utility. The Planning and Zoning Officer may grant modification to the prohibition of this subsection for slopes outside of the buffer and buffer modification area.

§ 18-4-601. Bulk regulations. A principal structure shall be a minimum of 7 feet from the side lot line.

### **COMMENTS**

#### **Zoning Administration Section:**

Applicants are required to specify the setbacks, dimensions, height, and number of stories of any structure shown on the administrative site plan and are encouraged to provide floor plans and/or architectural elevations (front, side and rear) to assist in the evaluation of any requested variance.

The Administrative Site Plan should indicate the existing versus proposed improvements, along with the setbacks to all lot lines, dimensions, height, and number of stories.

The applicants are reminded that, in order for the Administrative Hearing Officer to grant approval of the variances, the proposal must address and meet all of the applicable variance standards provided under Section 18-16-305. The Letter of Explanation should address each of those standards and provide adequate justification for each of the variances required.

#### **OPZ Critical Area Team:**

No objection to the reconstruction of the existing home within the existing foundation perimeter.

#### **I&P Engineering:**

1. Ensure the proposed improvement including runoff, seepage, and slope saturation does not adversely impact the integration of the slope and cause slope failure.
2. This reviewer is unclear what type of SWM practice (s) are proposed. Per 6.1.4 (G) of the County Stormwater

Practices and Procedures manual, SWM facilities shall not be located in areas that are off-limits to development, e.g., natural resources including steep slopes and buffers.

3. Please review existing vegetation (or lack thereof) within the steep slopes; opportunities to supplement vegetation or replanting buffers with native vegetation should be reviewed and provided to enhance water quality.

4. A soil boring is required per practice. The suitability, and siting of proposed SWM practices should be reviewed. Soil boring information including verification of the suitability of in-situ soils for infiltration shall be submitted. Describe the site's hydrologic, and topographic characteristics and provide a recommendation on the feasibility of various BMPs.

5. Based on the plan provided, it appears that the property will be served by a public water and sewer system. The county mapping inventory does not show the existing water, please clarify. The site plan did not show the WHC and SHC, please show and label clearly the existing connections.

6. The stormwater management, utility/Engineering design review approval for the site shall occur at the grading permit stage.

7. The above is provided as a courtesy review as information for review and consideration comments at the pre-file.

#### **INFORMATION FOR THE APPLICANT**

Section 18-16-301 (c) Burden of Proof. The applicant has the burden of proof, including the burden of going forward with the production of evidence and the burden of persuasion, on all questions of fact. The burden of persuasion is by a preponderance of the evidence.

A variance to the requirements of the County's Critical Area Program may only be granted if the Administrative Hearing Officer makes affirmative findings that the applicant has addressed all the requirements outlined in Article 18-16-305. Comments made on this form are intended to provide guidance and are not intended to represent support or approval of the variance request.

A preliminary plan checklist is required for development impacting environmentally sensitive areas and for all new single-family dwellings. A stormwater management plan that satisfies the requirements of the County Procedures Manual is required for development impacting environmentally sensitive areas OR disturbing 5,000 square feet or more. State mandates require a developer of land provide SWM to control new development runoff from the start of the development process.