

**FINDINGS AND RECOMMENDATION
OFFICE OF PLANNING AND ZONING
ANNE ARUNDEL COUNTY, MARYLAND**

APPLICANT: 3025 LLC

ASSESSMENT DISTRICT: 2nd

CASE NUMBER: 2025-0010-V

COUNCILMANIC DISTRICT: 6th

HEARING DATE: April 1, 2025

PREPARED BY: Donnie Dyott Jr. 
Planner

REQUEST

The applicant is requesting a variance to allow a dwelling addition (first floor renovation, second floor addition, third floor half-story attic) with less setbacks than required and with disturbance to slopes of 15% or greater on property located at 3018 Friends Road in Annapolis.

LOCATION AND DESCRIPTION OF SITE

The subject site consists of 19,484 square feet of land and is identified as Lots 3, 4 & Part of 5 of Parcel 237 in Block 23 on Tax Map 50 in the Cape St. John subdivision. The property is zoned R2 - Residential District and is improved with a single family detached dwelling and associated facilities. This is a waterfront property on the South River which lies within the Chesapeake Bay Critical Area and is designated IDA - Intensely Developed Area. The site is mapped within a BMA - Buffer Modification Area.

APPLICANT'S PROPOSAL

The applicant proposes to demo/remodel the first floor of the existing 1 story dwelling and to add a second story and third half-story all within the footprint of the existing dwelling. The existing foundation will be utilized and reinforced.

REQUESTED VARIANCES

§ 17-8-201(b) of the Anne Arundel County Subdivision and Development Code states that development in the IDA may not occur within slopes of 15% or greater unless development will facilitate stabilization of the slope or the disturbance is necessary to allow connection to a public utility. The Planning and Zoning Officer may grant modification to the prohibition of this subsection for slopes outside of the buffer and buffer modification area. The limit of disturbance associated with the proposed additions disturbs slopes 15% or greater within the buffer modification area, necessitating a variance to this provision. Exact slope disturbance will be determined at the time of permit.

§ 18-4-601 of the Anne Arundel County Zoning Code stipulates that principal structures in an R2 - Residential District shall be set back a minimum of 7 feet from the side lot lines. The dwelling additions will be located as close as 6 feet from the northern side lot line, necessitating a variance of 1 foot.

AGENCY COMMENTS

The **Health Department** commented that the property is served by public water and sewer facilities and has no objection to the request.

The **Development Division (Critical Area Team)** commented that they have no objection to the request.

The **Critical Area Commission** commented that appropriate mitigation is required.

The **Department of Inspections and Permits (Engineering Division)** did not take a position on the request but provided the following comments:

1. Label all stormwater management devices.
2. Comment #17 of the General Notes on the Site Plan states that "roof areas shall...drain to a Stormwater Management (SWM) device as shown on these plans." However, it does not appear that any SWM devices are shown on the Site Plan. However, the CA Report states that SWM is not required since disturbance is not above 5,000 sq ft. Clarify these comments by clearly stating whether or not SWM is proposed for this project.
3. Show and label the Limit of Disturbance on the Site Plan.
4. According to the Letter of Explanation, the disturbed area is listed as 2,210 sq ft, but in the CA notification report, it is listed as 3,471 sq ft. Ensure the disturbed area is consistent across all plans and reports.
5. On the Site Plan, show and label the location of the existing water line.
6. On the Site Plan, ensure the location of the existing water meter is accurate. The location shown on the Site Plan is about 10 feet south from where it is shown on Anne Arundel County's GIS map.
7. On the Site Plan, show and label the location of the existing sewer cleanout.
8. Comment #15 of the General Notes on the Site Plan states that off-site topography is taken from AA County Topo maps. However, the Site Plan does not show any offsite topography. Show the offsite topography and, in Comment #15, identify the year of the topography used. The latest topography available (2023) should be used.
9. The Site Plan legend shows a symbol for proposed contours. However, there are no proposed contours on the Site Plan. Show and label the proposed contours on the Site Plan.
10. The SDAT record lists the site's size as 20,654 sq ft. However, Comment #1 of the General Notes states the site's size as 19,484. Please ensure the site's size is accurate and consistent across all plans.
11. On the Site Plan, label all of the existing items (e.g. existing house, deck, etc) to show whether or not they are to remain or to be removed.
12. At the grading permit stage, label the size and type of pipe used on the public sewer line, the manhole number and reference the as-built from which this information was taken.

FINDINGS

The existing lot coverage of 8,846 square feet will remain unchanged with this proposal, with exact lot coverage calculations to be determined at the time of permit.

For the granting of a critical area variance, a determination must be made on the following:

Because of certain unique physical conditions, such as exceptional topographical conditions peculiar to and inherent in the particular lot or irregularity, narrowness, or shallowness of lot size and shape, strict

2025-0010-V

implementation of the County's critical area program would result in an unwarranted hardship or practical difficulty. In this case the presence of steep slopes and the existing location of the dwelling combine in making additions or improvements to the dwelling virtually impossible without variance relief. As such relief is warranted to allow the applicant to make improvements to the dwelling.

A literal interpretation of the County's critical area program may deprive the applicant of rights that are commonly enjoyed by other properties in similar areas by denying the applicant the right to renovate and improve the existing dwelling. The granting of the variance will not confer on the applicant a special privilege that would be denied by COMAR, Title 27. This request is not a result of actions by the applicant and does not arise from any condition relating to land or building use on any neighboring property. There is no evidence that the granting of the variances will adversely affect water quality or impact fish, wildlife or plant habitat and the proposal is in harmony with the general spirit and intent of the County's critical area program. The applicant has overcome the presumption that the specific development does not conform to the general purpose and intent of the critical area law and has evaluated site planning alternatives.

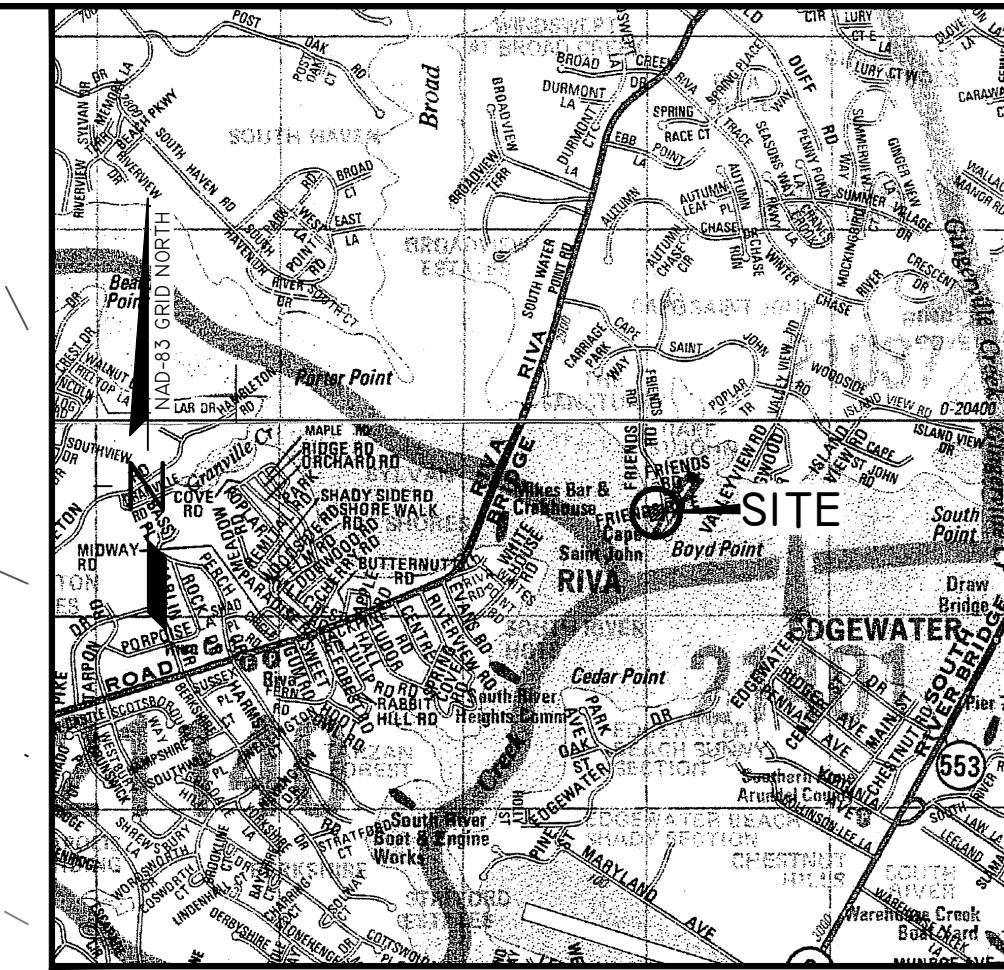
With regard to the requirements for all variances:

The variances as proposed are considered the minimum necessary to afford relief by this Office as the proposal will remain within the footprint of the existing dwelling and there is no objection from the Critical Area Team or the Critical Area Commission. There is no evidence that the proposed additions will alter the essential character of the neighborhood, impair the use or development of adjacent property or be detrimental to the public welfare. The proposal will not reduce forest cover in the LDA or RCA and will not be contrary to acceptable clearing and replanting practices.

RECOMMENDATION

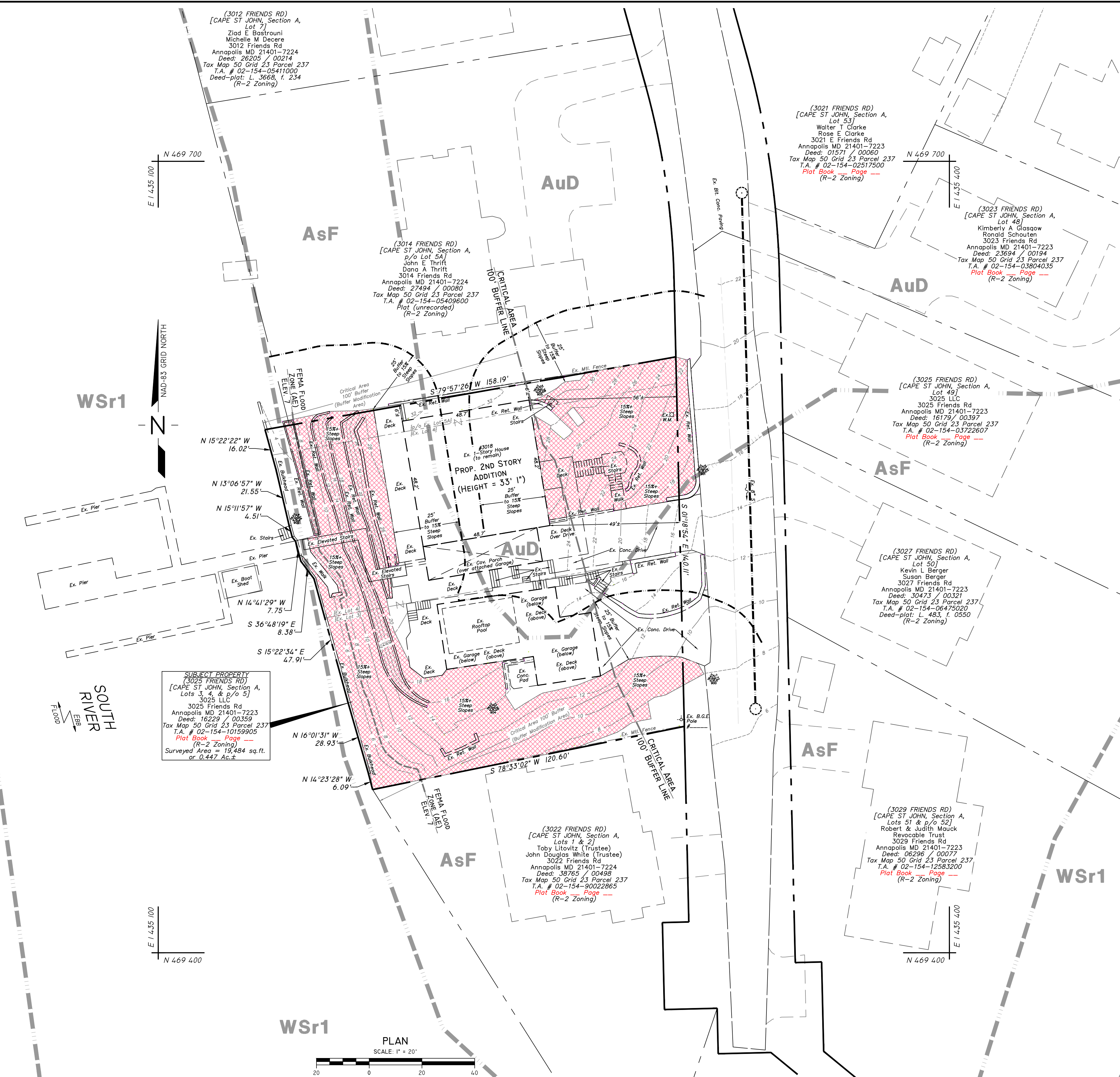
Based upon the standards set forth in § 18-16-305 under which a variance may be granted, this Office recommends ***approval*** of variances to construct the additions as shown on the site plan.

DISCLAIMER: This recommendation does not constitute a building permit. In order for the applicant(s) to construct the structure(s) as proposed, the applicant(s) shall apply for and obtain the necessary building permits and obtain any other approvals required to perform the work described herein. This includes but is not limited to verifying the legal status of the lot, resolving adequacy of public facilities, and demonstrating compliance with environmental site design criteria.



VICINITY MAP
SCALE: 1" = 2,000'
ADC MAP # 24 GRID: J-I

- GENERAL NOTES**
- Total area of site is: 19,484 sq. ft. 0.447 Ac. +/-
 - Existing Zoning is: R-2. Setbacks: Front: 30' Rear: 25' Side: 7'
 - Existing Use of site is: Existing 1-Story House & Ex. Garage w/ Pool-Deck.
 - Proposed Use of the site is: 2-Story House & Ex. Garage w/ Pool-Deck.
 - Site is known as: 3018 Friends Rd (Op St Jhn, Sc A, Lts 3-4-5).
 - Water and Sewer to remain connected and to be utilized.
 - FEMA-FIRM Map # 24003C0229F, Zone AE, Elev. 7 (effective 2/18/2015)
 - Site is in the Critical Area: I.D.A. Zone.
 - A property line survey has not been completed at this time.
 - This site is located within the South River Watershed.
 - The contractor shall be responsible for repairing and replacing any existing fences, driveways, etc. damaged or removed during construction.
 - The contractor shall notify "MISS UTILITY" (1-800-257-7777), 48 hours before starting work shown on these drawings.
 - This plan is intended to provide sediment and erosion control during the grading of the road(s) and lot(s) and the construction of the house(s). Measures have been taken to prevent sediment from leaving the site.
 - Anorex, Inc. has not field-verified existing utility information. It is the responsibility of the contractor to contact and obtain all records, information, and locations prior to commencement of grading operations. Any discrepancies shall be brought to Anorex, Inc.'s attention immediately.
 - Contours shown on this plan are taken from a topographic survey completed by Kings Pointe Survey, dated Nov. 16, 2023. (for on-site areas). For off-site areas they are taken from A. A. Co. Topo and Utility Operations maps. The contractor shall verify the elevations to his own satisfaction prior to starting work. Any discrepancies shall be brought to Anorex, Inc.'s attention immediately.
 - Any pertinent information within 100' of the property line is shown.
 - All roof areas shall drain through downspouts onto splash blocks and ultimately discharge to a vegetatively stabilized area; or drain to a Stormwater Management device as shown on these plans.



LEGEND

	EXISTING GRADE
	PROPOSED GRADE
	SPOT ELEVATION (EX., PROP.)
	FLOW ARROW
	EX. WOODS LINE
	SOIL DIVISION LINE
	FEMA FLOOD ZONE (AE) ELEV. 7
	CRITICAL AREA 100-FOOT BUFFER TO SHORELINE
	25' BUFFER TO 15% STEEP SLOPES
	STEEP SLOPES (15% & OVER)

06/2024
 10/15/2023
 10/15/2023



303 Najoles Road - Suite 114
Millersville, MD 21108

Phone: 410-987-6901
Fax: 410-987-0589

October 10, 2024

Ms. Sterling Seay
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road
Annapolis MD 21401

Re: **3018 Friends Road**
Annapolis, MD 21401
T.M. 50 B. 23 P. 237

Dear Ms. Seay,

Please accept this as our formal variance request to the Subdivision and Development Regulations in Article 17 on behalf of our client regarding critical area law. The variance requests are to Article 17, Section 8-301(b) prohibiting disturbance in the 100' buffer and to Article 17, Section 8-201 to disturb steep slopes in the critical area.

We are requesting this variance to allow for an existing the house to go through a partial demo/remodel process. It is the intention of the owners, as shown on the proposed house plans to demo the first floor of the existing house and leave the foundation as is. There will be no increase in the foot print or impervious coverage of the lot. The proposed work can be done with little disturbance to the steep slopes and 100' critical area buffer. The renovation will require the existing foundation to be upgraded in order to support the proposed renovation. A structural engineer has designed a helical pile system to be installed to help support the existing foundation. This structural improvement can be done with in the walls of the foundation. For this reason, it is hard to determine the exact disturbance required. We believe that a conservative disturbance area would be approximately 10 feet around the perimeter of the existing house foot print which equates to approximately 2,210 square feet. The entirety of the house and decks are within the 100' critical area buffer or within slopes greater than 15%.

Explanation as required by Article 18, Section 16-305(b)

The topographical conditions of this lot cause implementation of the County's critical area program to cause unwarranted hardship on the property. A variance is necessary to partially demo and remodel an existing house.. Literal interpretation of COMAR, Title 27, Criteria for Local Critical Area Program Development or the County's critical area program and related ordinances will deprive the applicant of rights commonly enjoyed by other properties in similar areas and will not confer special privilege onto the applicant as adjacent residences have remodeled their homes t. These variance requests are not results of actions by the applicant and there has been no

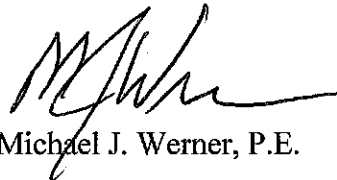
commencement of development before this application for a variance was filed and does not have any bearing or connection to building on neighboring properties. The granting of this variance will not adversely affect water quality and fish as the flow characteristics of the site remain unchanged in the proposed condition as the lot coverage will not be changed and all disturbance will be restored to natural condition. Wildlife or plant habitat will not be adversely affected as the granting of the variances will allow the disturbance to be proposed as the same foot print, minimizing any new clearing of trees and disturbance to wildlife habitat. There are no other site planning alternatives for this particular site as the request is to partially demo/remodel an existing home with same foot print which reduces the amount of disturbance as much as possible.

Explanation as required by Article 18, Section 16-305(c)

We believe the granting of this variance is warranted because the requested variance is the minimal necessary to afford relief because the proposed plan is the least intrusive way to remodel an existing house. The granting of this variance will not alter the character of the neighborhood as the proposal aims to only remodel an existing home which other adjacent properties also have done. This variance will not impair the appropriate use or development of the surrounding property as it will not deny access or the possibility to build on neighboring lots. The variance will not reduce forest cover in the LDA not be contrary to the acceptable clearing and replanting practices in the LDA as there is no clearing proposed. The granting of this variance will not be detrimental to the welfare of the public.

If you have any questions or need any additional information, please feel free to contact me at your convenience.

Sincerely,

A handwritten signature in black ink, appearing to read "M. J. Werner", written in a cursive style.

Michael J. Werner, P.E.

Standard Title Group, LLC
File No. MD21-2944
Tax ID # TAX ID: 4-444-01876000
Underwriter: Westcor Land Title Insurance Company

Anne Arundel Cty Cir Crt
IMP FD SURE \$40.00
RECORDING FEE \$20.00
TR TAX STATE \$3,375.00
TOTAL \$3,435.00
SAP WO
Sep 29, 2021 11:29 am

SPECIAL WARRANTY DEED

This Deed, made this 27th day of Sept, 2021 by and between **KATHY DARLENE KAMSCH** and **PHILIP KAMSCH**, parties of the first part, Grantors; and **LAKEISHA JACKSON** and **ANTOINE LACRA' JACKSON**, parties of the second part, Grantees.

- Witnesseth -

That for and in consideration of the sum of **SIX HUNDRED SEVENTY FIVE THOUSAND AND 00/100 (\$675,000.00)**, which includes the amount of any outstanding Mortgage or Deed of Trust, if any, the receipt whereof is hereby acknowledged, the said Grantors do grant and convey to the said **LAKEISHA JACKSON** and **ANTOINE LACRA' JACKSON**, as tenants by the entirety, their assigns, the survivor of them and the survivor's heirs, personal representatives and assigns, in fee simple, all that lot of ground situate in the County of Anne Arundel, State of Maryland and described as follows, that is to say:

All that lot(s) of ground situate in Anne Arundel County in the State of Maryland, and described as follows, that is to say:

BEGINNING for the same at a point in the center of Forest Avenue at the distance of 900 feet northeasterly measured along the centerline of Forest Avenue from the intersection of the centerline of Forest Avenue with the centerline of Maple Avenue and running thence with and binding on the centerline of Forest Avenue north 38 degrees 27 minutes east 110 feet; thence north 52 degrees west 220 feet, thence north 38 degrees 27 minutes east parallel to Forest Avenue 90 feet; thence north 52 degrees west 490 feet to the center of Licking Avenue; thence southwesterly binding on the center of Licking Avenue, 215 feet until it intersects a line drawn north 52 degrees west from the beginning; thence reversing said line so drawn and binding thereon south 52 degrees east 810 feet to the place of beginning.

Containing 3 acres of land, more or less.

The improvements thereon bein known as 7158 Forest Avenue, Hanover, Maryland - 21076.

Together with the buildings and improvements thereon erected, made or being; and all and every, the rights, alleys, ways, waters, privileges, appurtenances and advantages thereto belonging, or in anywise appertaining.

To Have and To Hold the said tract of ground and premises above described and mentioned, and hereby intended to be conveyed, together with the rights, privileges, appurtenances and advantages thereto belonging or appertaining unto and to the proper use and benefit of the said **LAKEISHA JACKSON** and **ANTOINE LACRA' JACKSON**, as tenants by the entirety, their assigns, the survivor of them and the survivor's heirs, personal representatives and assigns, in fee simple.

Semi-Annual Payments
09-28-2021 LO

ACCT. 04-444-01876000
ALL LIENS ARE PAID AS
OF 09-28-2021 A.A. COUNTY
BY: LO

Anne Arundel Cty Finance Office
County Transfer Tax \$6,750.00
County Recordation Tax \$4,725.00
09/28/2021 08:47 AM LO

Deed - individual

And the said parties of the first part hereby covenant that they have not done or suffered to be done any act, matter or thing whatsoever, to encumber the property hereby conveyed; that they will warrant specially the property hereby granted; and that they will execute such further assurances of the same as may be requisite.

As Witness the hands and seals of said Grantors, the day and year first above written.

Madison Mogg
WITNESS

Kathy Darlene Kamsch (SEAL)
KATHY DARLENE KAMSCH

Philip R. Kamsch (SEAL)
PHILIP KAMSCH

City/County of, Sussex ss:

State of, Delaware ss:

This instrument was acknowledged before me on this 24 day of September, 2021 by KATHY DARLENE KAMSCH and PHILIP KAMSCH.

Megan Robinson
Signature of Notarial Officer
My Commission Expires: 08/17/2023

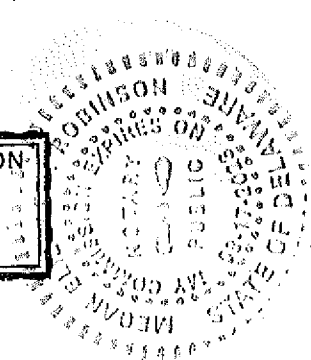
THIS IS TO CERTIFY that the within Deed was prepared by or under the supervision of one of the parties on the instrument.

Kathy Darlene Kamsch (SEAL)
KATHY DARLENE KAMSCH
Philip R. Kamsch (SEAL)
PHILIP KAMSCH

AFTER RECORDING, PLEASE RETURN TO:

Standard Title Group, LLC
1808 Florida Avenue NW
Washington, DC 20009

MEGAN ELIZABETH ROBINSON
Notary Public
State of Delaware
My Commission Expires On
August 17, 2023



ANNE ARUNDEL COUNTY CIRCUIT COURT (Land Records) SAP 37631, p. 0173, MSA_CE59_38073. Date available 10/06/2021. Printed 01/16/2025.

Maryland
FORM
WH-AR

Certification of Exemption from Withholding Upon
Disposition of Maryland Real Estate Affidavit of
Residence or Principal Residence

2021

Based on the certification below, Transferor claims exemption from the tax withholding requirements of §10-912 of the Tax-General Article, Annotated Code of Maryland. Section 10-912 provides that certain tax payments must be withheld and paid when a deed or other instrument that effects a change

in ownership of real property is presented for recordation. The requirements of §10-912 do not apply when a transferor provides a certification of Maryland residence or certification that the transferred property is the transferor's principal residence.

1. Transferor Information

Name of Transferor Philip Kamsch

2. Description of Property (Street address. If no address is available, include county, district, subdistrict and lot numbers).

3. Reasons for Exemption

Resident Status As of the date this form is signed, I, Transferor, am a resident of the State of Maryland.

Transferor is a resident entity as defined in Code of Maryland Regulations (COMAR)03.04.12.02B(11), I am an agent of Transferor, and I have authority to sign this document on Transferor's behalf.

Principal Residence Although I am no longer a resident of the State of Maryland, the Property is my principal residence as defined in IRC 121 (principal residence for 2 (two) of the last 5 (five) years) and is currently recorded as such with the State Department of Assessments and Taxation.

Under penalty of perjury, I certify that I have examined this declaration and that, to the best of my knowledge, it is true, correct, and complete.

3a. Individual Transferors

Maryam E. Days
Witness

Philip B. Kamsch 9-17-2021
Name **Date
Philip B. Kamsch
Signature

3b. Entity Transferors

Witness/Attest _____

Name of Entity _____

By _____

Name **Date

Title _____

** Form must be dated to be valid.

Note: Form is only valid if it was executed on the date the Property was transferred and is properly recorded with the Clerk of the Court.

To the Clerk of the Court: Only an un-altered Form WH-AR should be considered a valid certification for purposes of Section 10-912.

Maryland
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in ownership of real property is presented for recordation. The requirements of §10-912 do not apply when a transferor provides a certification of Maryland residence or certification that the transferred property is the transferor's principal residence.

1. Transferor Information

Name of Transferor Kathy Darlene Kamisch

2. Description of Property (Street address. If no address is available, include county, district, subdistrict and lot numbers).

3. Reasons for Exemption

Resident Status

As of the date this form is signed, I, Transferor, am a resident of the State of Maryland.

Transferor is a resident entity as defined in Code of Maryland Regulations (COMAR)03.04.12.02B(11), I am an agent of Transferor, and I have authority to sign this document on Transferor's behalf.

Principal Residence

Although I am no longer a resident of the State of Maryland, the Property is my principal residence as defined in IRC 121 (principal residence for 2 (two) of the last 5 (five) years) and is currently recorded as such with the State Department of Assessments and Taxation.

Under penalty of perjury, I certify that I have examined this declaration and that, to the best of my knowledge, it is true, correct, and complete.

3a. Individual Transferors

Maryann E. Hays
Witness

Kathy D. Kamisch 9/17/21
Name Date
Kathy D. Kamisch
Signature

3b. Entity Transferors

Witness/Attest _____

Name of Entity _____

By _____

Name **Date _____

Title _____

** Form must be dated to be valid.

Note: Form is only valid if it was executed on the date the Property was transferred and is properly recorded with the Clerk of the Court.

To the Clerk of the Court: Only an un-altered Form WH-AR should be considered a valid certification for purposes of Section 10-912.

State of Maryland Land Instrument Intake Sheet

Baltimore City County: Anne Arundel
Information provided is for the use of the Clerk's Office, State Department of Assessments and Taxation, and County Finance Office Only.
(Type or Print in Black Ink Only--All Copies Must Be Legible)

Space Reserved for Circuit Court Clerk Recording Validation

1 Type(s) of Instruments
2 Conveyance Type Check Box
3 Tax Exemptions (if applicable)

4 Consideration and Tax Calculations
Consideration Amount
Purchase Price/Consideration \$ 675,000.00
Any New Mortgage \$ 675,000.00
Balance of Existing Mortgage \$ 443,026.90
Other: \$
Other: \$
Full Cash Value: \$
Finance Office Use Only
Transfer and Recordation Tax Consideration

5 Fees
Amount of Fees Doc. 1 Doc. 2
Recording Charge \$ 60.00 \$ 60.00
Surcharge \$ \$
State Recordation Tax \$ 4,725.00 \$
State Transfer Tax \$ 3,375.00 \$
County Transfer Tax \$ 6,750.00 \$
Other \$ \$
Other \$ \$
Agent:
Tax Bill:
C.B. Credit:
Ag. Tax/Other:

6 Description of Property
SDAT requires submission of all applicable information. A maximum of 40 characters will be indexed in accordance with the priority cited in Real Property Article Section 3-104(g)(3)(i).
District Property Tax ID No. (1) Grantor Liber/Folio Map Parcel No. Var. LOG
TAX ID: 4-444-01876000 3944 609
Subdivision Name Lot (3a) Block (3b) Sect/AR (3c) Plat Ref. SqFt/Acreage (4)
31
Location/Address of Property Being Conveyed (2)
7158 Forest Avenue, Hanover, MD 21076
Other Property Identifiers (if applicable) Water Meter Account No.
Residential [checked] or Non-Residential [] Fee Simple [checked] or Ground Rent [] Amount:
Partial Conveyance? [] Yes [checked] No Description/Amt. of SqFt/Acreage Transferred:

7 Transferred From
Doc. 1 - Grantor(s) Name(s) Doc. 2 - Grantor(s) Name(s)
KATHY DARLENE KAMSCH and PHILIP KAMSCH LAKEISHA JACKSON and ANTOINE LACRA' JACKSON
Doc. 1 - Owner(s) of Record, if Different from Grantor(s) Doc. 2 - Owner(s) of Record, if Different from Grantor(s)

8 Transferred To
Doc. 1 - Grantee(s) Name(s) Doc. 2 - Grantee(s) Name(s)
LAKEISHA JACKSON and ANTOINE LACRA' JACKSON
New Owner's (Grantee) Mailing Address
7158 Forest Avenue, Hanover MD 21076

9 Other Names to Be Indexed
Doc. 1 - Additional Names to be Indexed (Optional) Doc. 2 - Additional Names to be Indexed (Optional)
NAVY FEDERAL CREDIT UNION

10 Contact/Mail Information
Instrument Submitted By or Contact Person
Name: Saman Amiri
Firm Standard Title Group, LLC
Address: 1808 Florida Avenue NW
Washington, DC 20009 Phone: (202) 888-0132
Return to Contact Person [checked]
Hold for Pickup []
Return Address Provided []

11 IMPORTANT: BOTH THE ORIGINAL DEED AND A PHOTOCOPY MUST ACCOMPANY EACH TRANSFER
Assessment Information
Will the property being conveyed be the grantee's principal residence?
Does transfer include personal property? If yes, identify:
Was property surveyed? If yes, attach copy of survey (if recorded, no copy required).

Assessment Use Only - Do Not Write Below This Line
Terminal Verification Agricultural Verification Whole Part Tran. Process Verification
Transfer Number Date Received: Deed Reference: Assigned Property No.:
Year 20 20 Geo. Map Sub Block
Land Zoning Grid Plat Lot
Buildings Use Parcel Section Occ. Cd.
Total Town Cd. Ex. St. Ex. Cd.

REMARKS:

ANNE ARUNDEL COUNTY CIRCUIT COURT (Land Records) SA P-37631, p. 0176, MSA-CE591-38073, Date available 10/06/2021, Printed 01/16/2025.

Space Reserved for County Validation

CRITICAL AREA COMMISSION
 CHESAPEAKE AND ATLANTIC COASTAL BAYS
 1804 WEST STREET, SUITE 100
 ANNAPOLIS, MD 21401

PROJECT NOTIFICATION APPLICATION

GENERAL PROJECT INFORMATION

Jurisdiction: ANNE ARUNDEL COUNTY

Date: 1/16/2025

Tax Map #	Parcel #	Block #	Lot #	Section
50	237	23	3,4+P/O5	A

Tax ID: 02-154-10159905

FOR RESUBMITTAL ONLY	
Corrections	<input type="checkbox"/>
Redesign	<input type="checkbox"/>
No Change	<input type="checkbox"/>
Non-Critical Area	<input type="checkbox"/>
*Complete Only Page 1 General Project Information	

Project Name (site name, subdivision name, or other) CAPE ST JOHN, SECTION A, LOTS 3,4+P/O5

Project location/Address 3018 FRIENDS ROAD

City ANNAPOLIS Zip 21401

Local case number _____

Applicant: Last name SALKELD First name DANA

Company —

Application Type (check all that apply):

- | | | | |
|---------------------------|--------------------------|-------------------|-------------------------------------|
| Building Permit | <input type="checkbox"/> | Variance | <input checked="" type="checkbox"/> |
| Buffer Management Plan | <input type="checkbox"/> | Rezoning | <input type="checkbox"/> |
| Conditional Use | <input type="checkbox"/> | Site Plan | <input type="checkbox"/> |
| Consistency Report | <input type="checkbox"/> | Special Exception | <input type="checkbox"/> |
| Disturbance > 5,000 sq ft | <input type="checkbox"/> | Subdivision | <input type="checkbox"/> |
| Grading Permit | <input type="checkbox"/> | Other | <input type="checkbox"/> |

Local Jurisdiction Contact Information:

Last name _____ First name _____

Phone # _____ Response from Commission Required By _____

Fax # _____ Hearing date _____

SPECIFIC PROJECT INFORMATION

Describe Proposed use of project site:

RENOVATE EXISTING HOUSE TO ADD STORIES ABOVE

Intra-Family Transfer Yes
 Grandfathered Lot

Growth Allocation Yes
 Buffer Exemption Area

Project Type (check all that apply)

Commercial
 Consistency Report
 Industrial
 Institutional
 Mixed Use
 Other

Recreational
 Redevelopment
 Residential
 Shore Erosion Control
 Water-Dependent Facility

SITE INVENTORY (Enter acres or square feet)

	Acres	Sq Ft
IDA Area	0.45	
LDA Area		
RCA Area		
Total Area	0.45	

Total Disturbed Area

Acres	Sq Ft
	3,471

of Lots Created

	Acres	Sq Ft		Acres	Sq Ft
Existing Forest/Woodland/Trees	0.07		Existing Lot Coverage		8,846
Created Forest/Woodland/Trees	0		New Lot Coverage		-
Removed Forest/Woodland/Trees	0		Removed Lot Coverage		-
			Total Lot Coverage		8,846

VARIANCE INFORMATION (Check all that apply)

	Acres	Sq Ft		Acres	Sq Ft
Buffer Disturbance		2991	Buffer Forest Clearing	0	0
Non-Buffer Disturbance		480	Mitigation	TBD	TBD

Variance Type

Buffer
 Forest Clearing
 HPA Impact
 Lot Coverage
 Expanded Buffer
 Nontidal Wetlands
 Setback
 Steep Slopes
 Other

Structure

Acc. Structure Addition
 Barn
 Deck
 Dwelling
 Dwelling Addition
 Garage
 Gazebo
 Patio
 Pool
 Shed
 Other

Chesapeake Bay Critical Area Report

3018 Friends Road
Tax Map: 50 Grid: 23 Parcel: 237
Lots: 3-4, & p/o 5
Annapolis, MD

December 2024

Prepared for:

3025 , LLC
3025 Friends Road
Annapolis, MD

Prepared by:

Holly Oak Consulting, LLC
303 Sycamore Rd
Severna Park, MD 21146
khaines@hollyoakconsulting.com



1.0 - INTRODUCTION

The subject property is located at 3018 Friends Road in Annapolis, Maryland. The property is identified on Tax Map 50, Grid 23, as Parcel 237, Lots 3-4, p/o Lt 5. The site is zoned R2 per the Anne Arundel County Zoning Map. Field work for this report was completed on October 17, 2024 by Kevin C. Haines of Holly Oak Consulting, LLC.

2.0 – EXISTING CONDITIONS

The site contains 0.45-acre all of which is within the Chesapeake Bay Critical Area. More specifically, the site is mapped within the Intensley Developed Area (IDA). The site falls from east to west towards the South River. The property is entirely developed with a residence, driveway, and accessory structures.

The site is bordered to the north and south by residences, to the west by the South River, and to the east by Friends Road.

The United States Department of Agriculture Natural Resources Conservation Service has mapped the soils throughout Anne Arundel County and makes the mapped soils and descriptions available online through the Web Soil Survey. The data that was retrieved on October 2, 2024 and showed two (2) soil types exist in the study area. The soil type and description can be found below. A copy of the soil mapping can be found in [Appendix A](#).

<i>Map Unit Symbol</i>	<i>Map Unit Name</i>	<i>Hydric (%)</i>	<i>K-Factor (Whole Soil)</i>
AsF	Annapolis Fine Sandy Loam, 25-40% slopes	5	0.24
AuD	Annapolis-Urban land complex, 5-15% slopes	0	-

3.0 – AERIAL IMAGERY REVIEW & SITE HISTORY

This site is located along the shores of the South River, near Riva, MD a suburb of the greater Baltimore and Annapolis areas. The surrounding area was largely used as a summering location from the 1920s through the 1950s, when the surrounding areas began to become developed with residential subdivisions. A copy of the USGS Topographical map can be found in [Appendix A](#).

Per aerial photos from 1970-2024, the site has remained in a similar vegetative state. Aerial images are available upon request.

4.0 – PROPOSED CONDITIONS

The applicant proposes to add a second story addition to the structure. No ground disturbance is proposed.

Forest clearing and ground disturbance within the buffer are not proposed.

Stormwater management is not required for this project as the proposal does not include disturbance above 5,000 square feet, and forest clearing is not required.

5.0 – HABITAT PROTECTION AREAS

State and County Critical Area Law identifies certain areas of high environmental value as habitat protection areas (HPAs). Below is a discussion of HPA's existing within the subject site.

5.1 - Steep Slopes

Anne Arundel County designates steep slopes within the Critical Area as slopes of 15% that are at least 6' high. The site includes steep slopes and their buffer and disturbance to both areas is proposed. The disturbance is minimal and has been minimized to footer installation only for the deck.

5.2 - Rare, Threatened & Endangered Species

A request for Environmental Review was submitted to the Maryland Department of Natural Resources Wildlife and Heritage Services on October 15, 2024 and a response is forthcoming. Per initial research of DNR records there does not appear to be records of RTEs within or adjacent to the boundary of this site. RTEs were not noted during the field visits to this site. The site is not mapped as FIDS habitat per MDDNR's MERLIN Online GIS Database.

5.3 - Wetlands, Streams, & 100-Year Floodplain

The site does not contain tidal wetlands, non-tidal wetlands, or streams per the field observations. Furthermore, neither the USFWS National Wetland Inventory nor the MD DNR Wetland Inventory indicates the presence of wetlands or streams within the site boundary.

The site is located within the South River Watershed (MD 02131003 8-digit).

The site lies within Zone X (areas of minimal flood hazard) except for the directly adjacent to the South River (zone AE) per FEMA Flood Insurance Rate Maps #24003C0229F (eff. 2/18/15).

5.4 – Buffer and Expanded Buffer

The site contains the 100' buffer to Tidal Waters. The buffer is not expanded on site as the property lies within a buffer modified area.

5.5 – Other HPAs Not Contained within Study Area

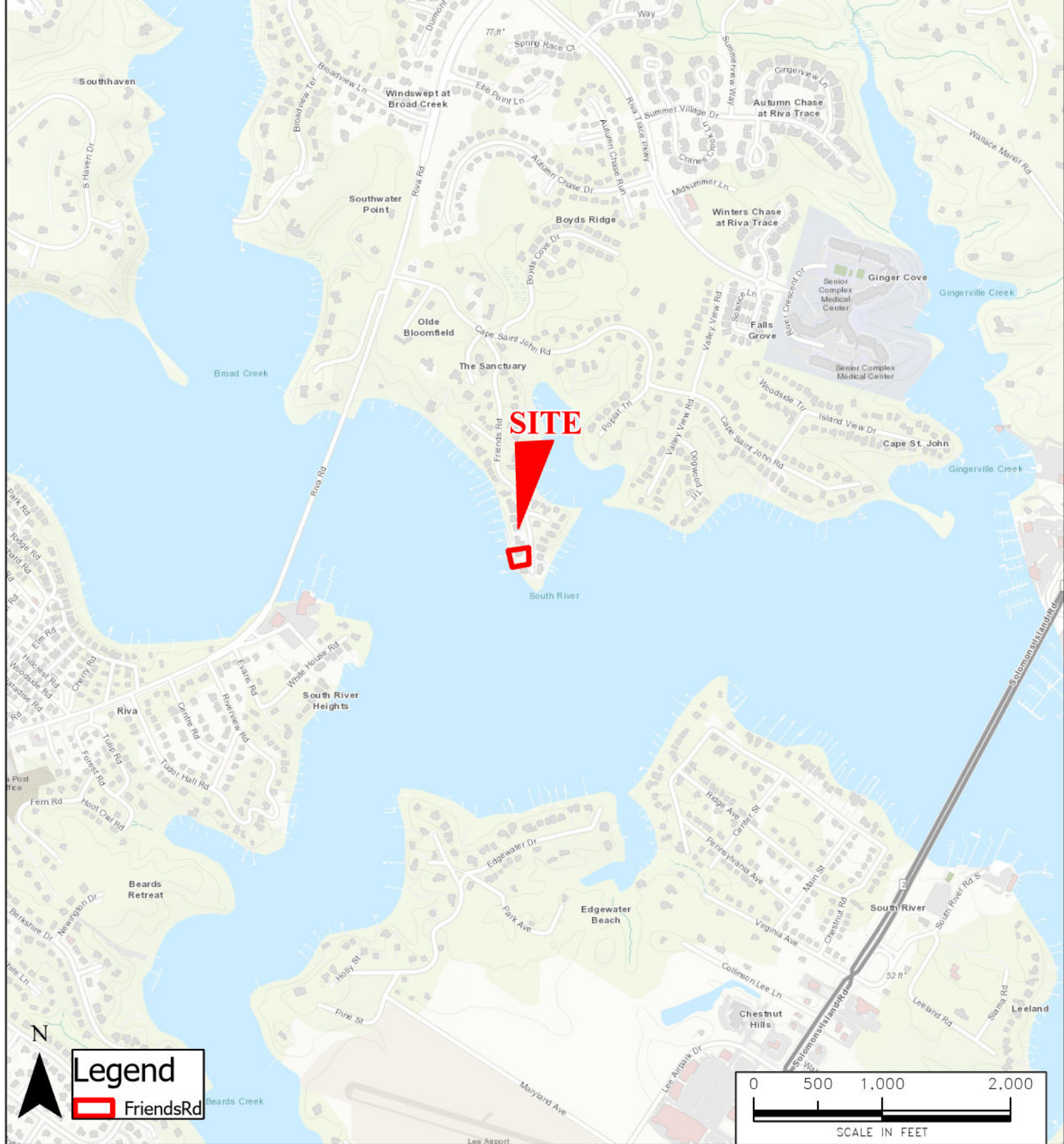
Several HPAs are not mapped within or adjacent to the study area. MDDNR's MERLIN online mapping database was reviewed and showed that the following HPA's are not located within or near the study area: Submerged aquatic vegetation, shellfish beds, historical waterfowl staging and concentration areas, sensitive species project review areas, and natural heritage areas.

6.0 – EXISTING VEGETATION & WILDLIFE


Except for landscaping provided on site, no notable vegetation is present on site.

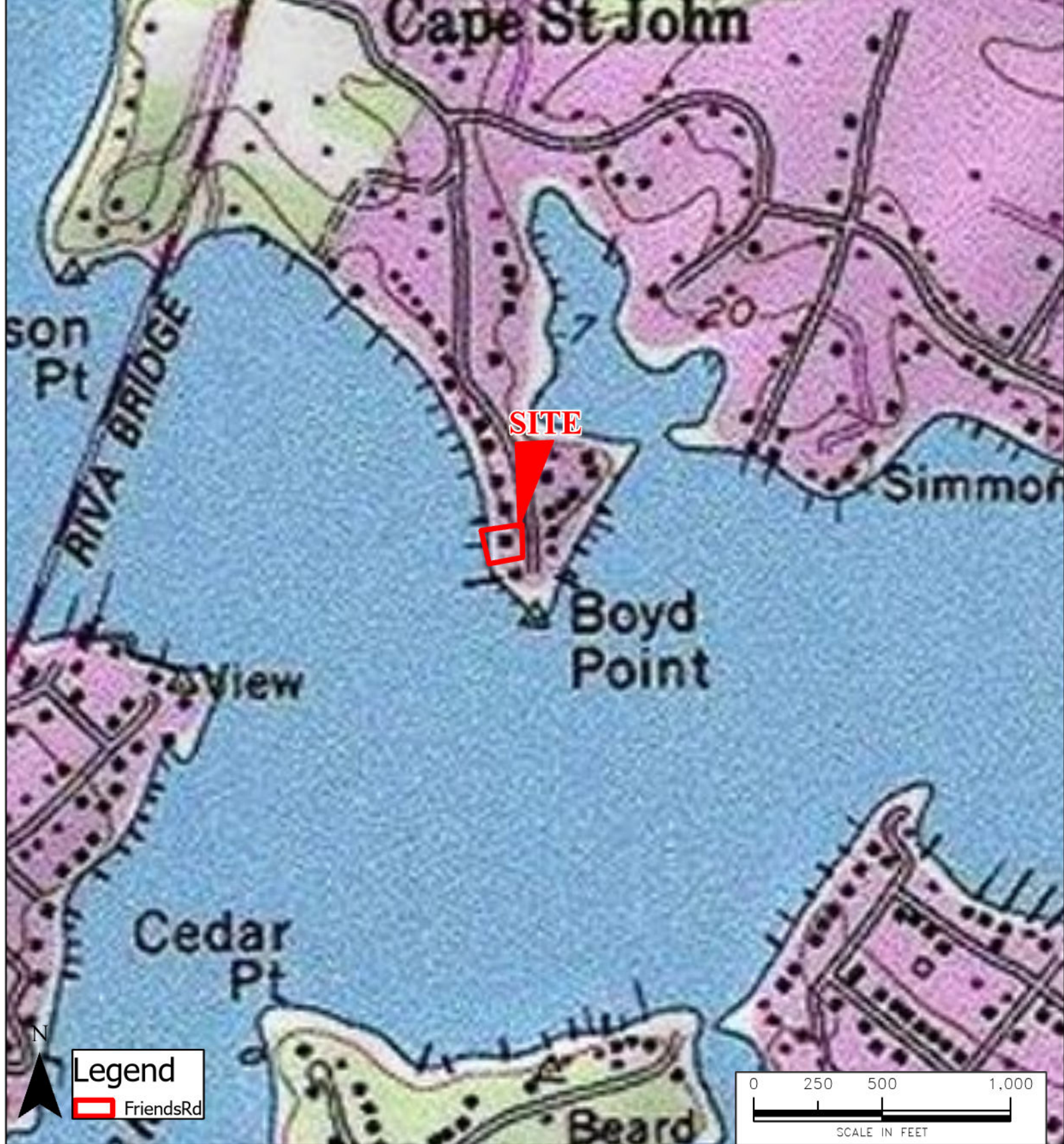
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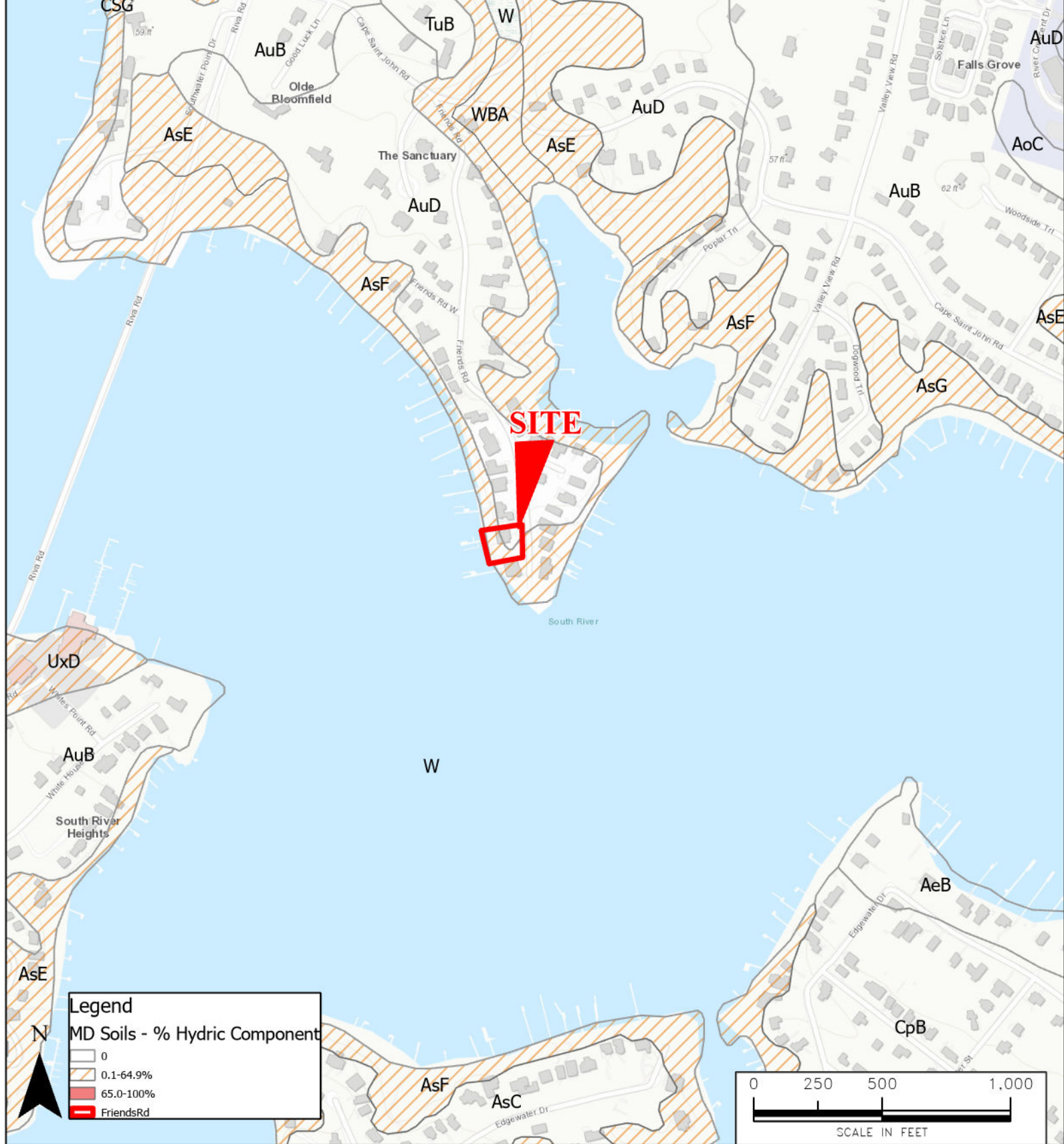
MAP REFERENCES: County of Anne Arundel, VITA, Esri, HERE, Garmin, INCREMENT P, Intermap, USGS, METI/NASA, EPA, USDA

 303 Sycamore Rd Severna Park, MD 21146 P: (443) 906-3419 Email: info@hollyoakconsulting.com	PROJECT	DRAWING TITLE	PROJ. NO.	FIGURE
	3018 FRIENDS ROAD	VICINITY MAP	24-110	1
	ANNAPOLIS, MD ANNE ARUNDEL CO.		DRAWN BY	
				KCH
			SCALE	
			1" = 1,000'	
			DATE	
			12/15/2024	



MAP REFERENCES: Copyright © 2013 National Geographic Society, i-cubed

 <p>303 Sycamore Rd Severna Park, MD 21146 P: (443) 906-3419 Email: info@hollyoakconsulting.com</p>	PROJECT	DRAWING TITLE	PROJ. NO. 24-110	FIGURE 2
	3018 FRIENDS ROAD	USGS 24K TOPOGRAPHICAL MAP	DRAWN BY KCH	
			SCALE 1"=500'	
	ANNAPOLIS, MD ANNE ARUNDEL CO.		DATE 12/15/2024	



MAP REFERENCES: County of Anne Arundel, VITA, Esri, HERE, Garmin, INCREMENT P, USGS, EPA, USDA

 <p>303 Sycamore Rd Severna Park, MD 21146 P: (443) 906-3419 Email: info@hollyoakconsulting.com</p>	PROJECT	DRAWING TITLE	PROJ. NO.	FIGURE
	3018 FRIENDS ROAD	USDA NRCS SOIL SURVEY	24-110	
			DRAWN BY	
			KCH	
			SCALE	
			1"=500'	
			DATE	
			12/15/2024	

SALKELD RESIDENCE

ANNAPOLIS, MARYLAND

CONSTRUCTION DRAWINGS

DESIGN CRITERIA PER 2018 IRC AND 2018 IEEC

INSTALL FIRE SUPPRESSION SYSTEM IN ACCORDANCE WITH NFPA 13D

EXISTING FIRST FLOOR FINISHED AREA: 2,352 SQ.FT.
 REMODELED FIRST FLOOR AREA: 2,352 SQ.FT.
 EXISTING SECOND FLOOR FINISHED AREA: 0 SQ.FT.
 ADDITION SECOND FLOOR AREA: 1,615 SQ.FT.
 EXISTING FIRST & SECOND FLOOR FINISHED AREA: 3,523 SQ.FT.
 REMODELED AND ADDITION FIRST & SECOND FLOOR FINISHED AREA: 4,021 SQ.FT.
 EXISTING BASEMENT FINISHED: 990 SQ. FT.
 ADDITION BASEMENT FINISHED: 400 SQ. FT.
 REMODELED AND ADDITION BASEMENT FINISHED AREA: 1,390 SQ.FT.

SCOPE OF WORK

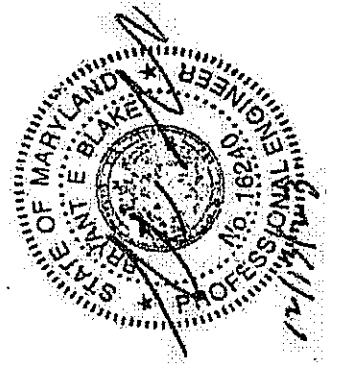
DEMO PER SHEETS A003 - A0011
 INSTALL NEW WINDOWS, ROOF & SIDING
 INSTALL NEW WALLS PER PLAN
 INSTALL NEW SECOND FLOOR PER PLAN
 INSTALL NEW ROOF PER PLAN
 INSTALL NEW HVAC, PLUMBING & ELECTRIC
 INSTALL NEW INSULATION & DRYWALL
 INSTALL NEW TRIM, FLOOR COVERING & PAINT
 INSTALL NEW CABINETS, TOPS & APPLIANCES

DRAWING INDEX

ARCHITECTURAL:

001	COVER SHEET	NO SCALE
002	NOTES DIVISION 1 - 4	NO SCALE
003	NOTES DIVISION 5 - 16	NO SCALE
A001	FRONT ELEVATION	1/4" = 1'-0"
A002	REAR ELEVATION	1/4" = 1'-0"
A003	REAR & SIDE ELEVATIONS	3/16" = 1'-0"
A004	FIRST FLOOR PLAN	1/4" = 1'-0"
A005	SECOND FLOOR PLAN	1/4" = 1'-0"
A007	FOUNDATION PLAN	1/4" = 1'-0"
A008	EXISTING FRONT & REAR ELEVATIONS	1/4" = 1'-0"
A009	EXISTING SIDE ELEVATIONS	3/16" = 1'-0"
A010	EXISTING FIRST FLOOR PLAN	1/4" = 1'-0"
A011	EXISTING FOUNDATION PLAN	1/4" = 1'-0"
S001	FIRST FLOOR FRAMING PLAN	1/4" = 1'-0"
S002	SECOND FLOOR FRAMING PLAN	1/4" = 1'-0"
S003	ROOF FRAMING PLAN	1/4" = 1'-0"
S004	SECTION 1	3/8" = 1'-0"
S005	SECTION 2	3/8" = 1'-0"
S006	SECTION 3	1/2" = 1'-0"
S007	SECTION 4	1/2" = 1'-0"
S008	SECTION 4	1/2" = 1'-0"
S009	SECTION 4	1/2" = 1'-0"
	CALCS	NO SCALE
E001	FIRST FLOOR ELECTRICAL	1/4" = 1'-0"
E002	SECOND FLOOR ELECTRICAL	1/4" = 1'-0"
E003	BASEMENT ELECTRICAL	1/4" = 1'-0"

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16240, EXPIRATION DATE 11/6/24



DATE: 12/15/23
 REVISIONS

SUNSET DESIGN
 591 MORAN COURT
 ANNAPOLIS, MD 21401
 PHONE: 443-995-5585
 DRAWN BY: MICHAEL STEVENSON

ADDITION/REMODEL FOR
 SALKELD FAMILY RETREAT
 BUILDING SITE:
 3018 FRIENDS ROAD
 ANNAPOLIS, MD 21401

SHEET
 001

DIVISION 1 - GENERAL REQUIREMENTS

- ALL CONSTRUCTION SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE (IRC 2018 EDITION) AND THE INTERNATIONAL ENERGY CONSERVATION CODE (ICC 2018 EDITION). ALL MECHANICAL, ELECTRICAL, AND PLUMBING ARE TO BE INSTALLED PER IMC, IEC, AND IRC 2018.
- THE WHOLE OF THE WORK SHALL BE EXECUTED IN STRICT ACCORDANCE WITH THE REGULATIONS AND CODES OF THE GOVERNMENT AGENCIES WHOSE JURISDICTION IS APPLICABLE INCLUDING BUT NOT LIMITED TO THOSE PERTAINING TO TAXES, PERMIT AND BUILDING REGULATIONS.
- THE CONSTRUCTION DOCUMENTS FOR THIS PROJECT SHALL CONSIST OF THESE DRAWINGS AND SPECIFICATIONS. THE CONTRACT FOR CONSTRUCTION AND SUPPLEMENTAL AGREEMENTS SHALL BE PROVIDED BY THE OWNER.
- THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE DESIGNER ARE INSTRUMENTS OF THE DESIGNER'S SERVICE THROUGH WHICH THE WORK TO BE EXECUTED IS DESIRED. THE DESIGNER IS DEEMED THE AUTHOR OF THESE DOCUMENTS AND RETAINS ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS INCLUDING COPYRIGHT OWNERSHIP. THESE DOCUMENTS ARE FOR THE SOLELY USE WITH RESPECT TO THIS PROJECT AND ARE NOT TO BE USED OUTSIDE OF THIS SCOPE WITHOUT SPECIFIC WRITTEN CONSENT FROM THE DESIGNER. COPYING, DUPLICATING AND/OR OTHER REPRODUCTION OF THESE DOCUMENTS, OR PARTS OF, IS PROHIBITED.
- THE INTENT OF THESE DOCUMENTS IS TO PROVIDE A FINISHED BUILDING, WITH THE EXCEPTION OF THOSE ITEMS SHOWN ON THE DRAWINGS AS BEING FINISHED BY THE OWNER. THE CONTRACTOR SHALL INCLUDE ALL NECESSARY ACCESSORIES, EQUIPMENT, LABOR, ETC. TO COMPLETE THE WORK EVEN THOUGH SUCH THINGS ITEMS MAY NOT BE INDICATED ON THE DOCUMENTS BUT COULD REASONABLY ASSUMED TO BE PART OF THE COMPLETED WORK.
- THE DESIGNER SHALL HAVE NO SUPERVISORY AND/OR INSPECTION PRESENCE IN THE FIELD DURING THE CONSTRUCTION OF THE PROJECT. ACCORDINGLY, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE AIA DOCUMENT A-201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", AND FURNISH HIS SERVICES IN ACCORDANCE WITH SAME. FURTHER RECOGNIZING THAT THE DESIGNER'S SERVICES AS DESCRIBED UNDER ARTICLE 2 ARE NOT PART OF THE SCOPE OF THE WORK FOR THIS PROJECT.
- THOSE ARTICLES OR MATERIALS SPECIFIED BY PROPRIETARY NAME OF VENDOR OR MANUFACTURER ARE EXPECTED TO BE FINISHED. SUBSTITUTIONS FOR MATERIALS ARE ALLOWED PROVIDED THE ALTERNATIVE MATERIAL IS AN APPROVED EQUAL AND IS ACCEPTABLE TO THE OWNER. ACCEPTANCE OF AN APPROVED EQUAL IS ENTIRELY AT THE DISCRETION OF THE OWNER AND IS SUBJECT TO THE FOLLOWING QUALIFICATIONS:
 - EQUAL IN QUALITY OF MATERIAL SPECIFIED, BOTH IN STRUCTURAL STRENGTH AND IN DETAIL OF CONSTRUCTION.
 - EQUAL IN PERFORMANCE, BOTH MECHANICALLY AND TECHNICALLY.
 - EQUAL IN FINISH OR IN CHARACTERISTICS PERMITTING SPECIFIED FINISH TO BE APPLIED.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTY, INCLUDING STREETS AND PLANTINGS, DURING CONSTRUCTION OF THIS PROJECT. EXISTING PLANTINGS AND SITE NOT INDICATED ON DRAWINGS SHALL NOT BE DISTURBED.
- CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS THROUGHOUT TO GUARD AGAINST AND ELIMINATE FIRE HAZARDS ON THE SITE.
- CONTRACTOR SHALL CARRY OUT PERIODIC CLEANING OF CONSTRUCTION SITE TO KEEP FREE OF DEBRIS.
- DIMENSIONS SHOWN ON DRAWINGS FOR WOOD CONSTRUCTED WALLS ARE FACE TO FACE, OR CENTER, UNLESS OTHERWISE NOTED ON PLANS.
- DIMENSIONS GIVEN TO DOORS, WINDOWS, TRANSOMS, SIDELIGHTS, ECT. ARE NOMINAL. CONTRACTOR SHALL VERIFY ACTUAL SIZES FROM MANUFACTURERS.
- DO NOT SCALE DRAWINGS FOR DIMENSIONS. DESIGNER IS TO BE ADVISED OF ANY NEEDED DIMENSIONS NOT REFLECTED ON DRAWINGS.
- CONTRACTORS SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS WHICH MAY EFFECT THE CONSTRUCTION OF THEIR PART OF WORK. THE DESIGNER SHALL BE NOTIFIED OF ANY CONDITIONS WHICH ARE NOT IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS, COMPLIANCE WITH CODE, OR WHICH MAY SUBSTANTIALLY EFFECT THE CONSTRUCTION AS SHOWN.
- THE DESIGNER WILL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE FAILURE OF ANYONE PERFORMING ANY WORK TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
- MINIMUM DESIGN LOADS:

A. ROOF	30 PSF (LIVE) + 11 PSF (DEAD)
B. FLOORS	40 PSF (LIVE) + 10 PSF (DEAD)
C. FLOORS (SLEEPING AREAS)	30 PSF (LIVE) + 10 PSF (DEAD)
D. EXTERIOR DECKS	40 PSF (LIVE) + 10 PSF (DEAD)
E. GARAGE	50 PSF (LIVE) + 15 PSF (DEAD)
F. ATTIC (NO STORAGE)	10 PSF (LIVE) + 10 PSF (DEAD)
G. ATTIC (LIMITED STORAGE)	20 PSF (LIVE) + 10 PSF (DEAD)
H. STAIRS	40 PSF (LIVE) + 10 PSF (DEAD)
I. BALCONIES	60 PSF (LIVE) + 10 PSF (DEAD)
J. HANDRAILS	LATERAL FORCE OF 200 PSF AT ANY GIVEN POINT
K. WIND SPEED	115 MPH
L. SEISMIC DESIGN	REGION B
- CONSTRUCTION CLASSIFICATION
 - USE GROUP R-3 (RESIDENTIAL)
 - CONSTRUCTION TYPE 5-B (COMBUSTIBLE, UNPROTECTED)
- FIRE SEPARATIONS:

A. EXTERIOR WALLS (BEARING)	0 HOUR
B. EXTERIOR WALLS (NON-BEARING)	0 HOUR
C. INTERIOR WALLS (BEARING)	0 HOUR
D. INTERIOR WALLS (NON-BEARING)	0 HOUR
E. FLOOR CONSTRUCTION	0 HOUR
F. ROOF/CEILING CONSTRUCTION	0 HOUR
G. GARAGE PARTITION (COMMON TO HOUSE)	1 HOUR
H. GARAGE CEILING	1 HOUR
- CLIMATE AND GEOGRAPHIC DESIGN CRITERIA
 - ROOF SNOW LOAD 30 PSF
 - FROST LINE DEPTH 30"
- WALL BRACING
 - WALL BRACING TO BE IN ACCORDANCE WITH 2018 INTERNATIONAL BUILDING CODE SECTION R602.10

DIVISION 2 - SITE WORK

- PRESUMPTIVE SOIL BEARING IS 1500 PSF ON UNDISTURBED SOIL OR COMPACTED FILL. IT SHALL BE THE OWNERS RESPONSIBILITY TO VERIFY THAT THE BEARING CAPACITY IS OBTAINABLE PRIOR TO START OF CONSTRUCTION.
- EXCAVATE EARTH SUFFICIENTLY TO PROVIDE PROPER DEPTHS AND DIMENSIONS AS SHOWN ON THE DRAWINGS ALLOWING ADEQUATE ROOM FOR INSTALLATION OF FORMS AND SERVICES. NO EXCAVATION SHALL BE MADE WHOSE DEPTH BELOW THE FOOTINGS IS GREATER THAN ONE-HALF THE HORIZONTAL DISTANCE FROM THE NEAREST EDGE OF THE FOOTING.
- DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENGAGE THE SERVICES OF A SOILS ENGINEER TO CERTIFY THAT THE BEARING CAPACITY AND COMPACTION REQUIREMENTS ARE MET.
- BOTTOM OF ALL EXTERIOR FOOTINGS SHALL EXTEND DOWN BELOW PREVAILING FROST LINE TO DRY UNDISTURBED SOILS OR TO SOIL COMPACTED TO 95% OF THE MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AND HAVING BEARING CAPACITY OF 1500 PSF. FOOTINGS SHALL NOT BE PLACED IN MARINE CLAY, PEAT, ORGANIC MATERIALS OR FROZEN SURFACES.
- FILL MATERIAL SHALL BE OBTAINED FROM ON SITE EXCAVATION OR FURNISHED BY THE CONTRACTOR FROM OTHER SOURCES. FILL MATERIAL SHALL BE FREE OF DEBRIS, ROOTS, STUMPS, ORGANIC MATERIAL AND FROZEN MATTER. FILL WORK SHALL BE DONE AFTER PERMANENT UTILITY SERVICES HAVE BEEN INSTALLED. FILL EARTH IS TO BE PLACED IN LAYERS NOT EXCEEDING 8" DEEP AND SHALL BE COMPACTED BY POWER OPERATED MECHANICAL EQUIPMENT TO A MINIMUM OF 95% STANDARD PROCTOR.
- FREE DRAINING GRANULAR BACKFILL (CLASSIFICATION SM OR BETTER) SHALL BE USED AGAINST FOUNDATION WALLS. EQUIVALENT FLUID PRESSURE OF BACKFILL SHALL NOT EXCEED 30 PCF. IF BACKFILL PRESSURE EXCEEDS 30 PCF,
 - CONCRETE NOT EXPOSED TO WEATHER SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
 - EXPOSED EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI. TOTAL AIR CONTENT SHALL NOT BE LESS THAN 5 PERCENT OR GREATER THAN 7 PERCENT (INCLUDING GARAGE SLAB).
 - ALL CONCRETE WORK SHALL CONFORM TO **DIVISION 3 - CONCRETE** SHALL CONFORM TO ACI-318.
 - WOVEN WIRE MESH SHALL CONFORM TO ASTM A-185. WIRE REINFORCEMENT SHALL BE LOCATED 2" BELOW SLAB SURFACE AND LAPPED 6" IN EACH DIRECTION.
 - REINFORCING STEEL SHALL CONFORM TO ASTM A 615. GRADE 60. REINFORCING STEEL SHALL HAVE CONCRETE COVER AS FOLLOWS:

A. FOOTINGS	3"
B. WALLS (INTERIOR FACE)	1"
C. WALLS (EXTERIOR FACE)	2"
D. SURFACES EXPOSED TO WEATHER	2"
E. SLABS	1"
 - ALL STEEL REINFORCEMENT, ANCHOR BOLTS, INSERTS, ECT. SHALL BE FABRICATED AND PLACED IN ACCORDANCE WITH ACI-318-05 MANUAL. FURNISH SUPPORT BARS AND ALL REQUIRED ACCESSORIES IN ACCORDANCE WITH CRSI STANDARDS.

1. SLABS ON GRADE, UNLESS NOTED OTHERWISE ON DRAWINGS, SHALL BE 4" THICK WITH 6 X 6 W 1.4 X W 1.4 WOVEN WIRE MESH ON 8 MIL POLYETHYLENE VAPOR BARRIER. PROVIDE 4" WASHED STONE BELOW BASEMENT SLAB. REFER TO DRAWINGS FOR LOCATION OF 1" RIGID INSULATION AT FRONT LINES.	FOUNDATION WALL DESIGN
2. CONTRACTOR SHALL MAKE PROVISIONS TO PROTECT ALL CONCRETE WORK FROM FROST AND/OR FREEZING DAMAGE, WITH SPECIAL ATTENTION BEING PAID TO FOOTINGS AND OTHER ON-GRADE WORK PRIOR TO BACKFILLING AND ENCLOSING OF THE STRUCTURE.	9" CAST IN-PLACE CONCRETE
3. FOUNDED CONCRETE WALLS SHALL BE CONSTRUCTED AS FOLLOWS: (18" HEIGHT ABOVE TOP OF BASEMENT SLAB WITH MAXIMUM UNBALANCED EARTH FILL OF 10')	8" CAST IN-PLACE CONCRETE WITH #4 BARS SPACED 28" ON CENTER HORIZONTALLY AND #4 BARS SPACED 30" ON CENTER VERTICALLY
EQUIVALENT EARTH PRESSURE	9" CAST IN-PLACE CONCRETE WITH #4 BARS SPACED 28" ON CENTER HORIZONTALLY AND #4 BARS SPACED 18" ON CENTER VERTICALLY

DIVISION 4 - MASONRY

- CONCRETE MASONRY UNITS SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AND CONFORM TO THE FOLLOWING:

A. ABOVE GRADE	ASTM C-90
B. BELOW GRADE	ASTM C-145
- MORTAR SHALL BE TYPE "N" WITH MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI. MATERIALS SHALL BE AS FOLLOWS:

A. PORTLAND CEMENT	ASTM C-150
B. MASONRY CEMENT	ASTM C-91
C. HYDRATED LIME	ASTM C-201

 D. SAND SHALL BE CLEAN, WELL GRADED AND FREE OF ANY DELETERIOUS SUBSTANCES.
 E. WATER SHALL BE CLEAN AND POTABLE.
- BRICK SHALL CONFORM TO ASTM C-216. BRICK VENEER SHALL BE ATTACHED TO WOOD CONSTRUCTION WITH MINIMUM 1/8" WIDE, 22 GAUGE GALVANIZED CORRUGATED METAL TEES SPACED 16" ON CENTER VERTICALLY AND 16" ON CENTER HORIZONTALLY. PROVIDE 1/4" ROOFING FELT VAPOR BARRIER OVER WALL SHEATHING AND DRAINAGE WEEP HOLES SPACED 24" ON CENTER AT LOWEST COURSE ABOVE FINISH GRADE.
- ALL STEEL ANGLES IN MASONRY WALLS SHALL BE PAINTED AND FLASHED WITH 20 MIL PVC FLASHING AND DRAINAGE WEEP HOLES SPACED 24" ON CENTER.
- ALL MASONRY WORK SHALL BE PROTECTED FROM FREEZING FOR NOT LESS THAN 48 HOURS AFTER INSTALLATION AND SHALL NOT BE CONSTRUCTED BELOW 35 DEGREES FAHRENHEIT WITHOUT PRECAUTIONS NECESSARY TO PREVENT FREEZING. WHEN AIR TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT BUT ABOVE 25 DEGREES FAHRENHEIT, SAND AND MIXING WATER SHALL BE PREHEATED TO A MINIMUM TEMPERATURE OF 10 DEGREES FAHRENHEIT AND A MAXIMUM TEMPERATURE OF 160 DEGREES FAHRENHEIT. NO ANTIFREEZE ADMIXTURES SHALL BE ADDED TO THE MORTAR.

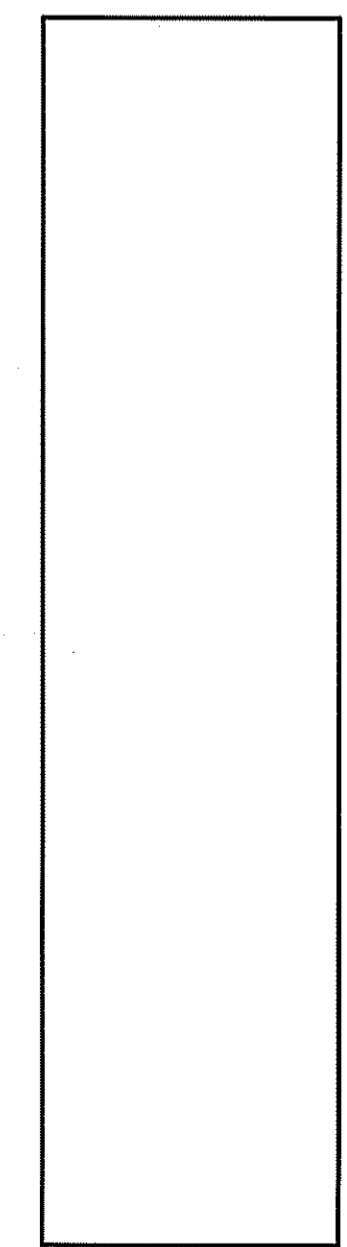
PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16246, EXPIRATION DATE: 11/6/24

DATE: 12/13/23



SUNSET DESIGN
 591 MORAN COURT
 ANNAPOLIS, MD 21401
 PHONE: 443-995-5585
 DRAWN BY: MICHAEL STEVENSON

**ADDITION/REMODEL FOR
 SALKELD FAMILY RETREAT
 BUILDING SITE:**
 3018 FRIENDS ROAD
 ANNAPOLIS, MD 21401



DIVISION 5 - METALS/STRUCTURAL STEEL

- STRUCTURAL STEEL SHALL CONFORM TO ASTM A-572 (GRADE 50) OR ASTM A-592 (GRADE 50) AND BE IN ACCORDANCE WITH THE AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS. NO MODIFICATIONS ARE TO BE MADE TO THE STRUCTURAL STEEL AFTER THE SHOP DRAWINGS HAVE BEEN APPROVED OR THE MATERIAL ERECTED WITHOUT THE APPROVAL FROM THE DESIGNER OR A STRUCTURAL ENGINEER.
- ALL WELDS SHALL COMPLY WITH AWS STANDARDS AND PROCEDURES. ALL CONNECTIONS SHALL BE PER AISC STANDARDS.
- ALL STEEL ANCHOR STRAPS AND JOIST HANGERS SHALL BE CODE APPROVED AND GALVANIZED. PROVIDE BASE PLATE FOR ALL STRUCTURAL STEEL BEAMS BEARING ON CONCRETE OR MASONRY. PROVIDE STANDARD ANCHORS AND INSERTS, TIES, CLIPS, ANCHORS, STRAPS, HANGERS, BOLTS, BEARING PLATES AND OTHER HARDWARE AND FASTENING DEVICES AS MAY BE REQUIRED OR INDICATED ON DRAWINGS.
- STEEL PIPE COLUMNS SHALL CONFORM TO ASTM A-500.
- STEEL ANGLE LINTELS SHALL HAVE A MINIMUM 8" BEARING EACH END. ALLOWABLE SPANS FOR LINTELS SUPPORTING 4" NOMINAL MASONRY VENEER IS AS FOLLOWS:
 A. OPENINGS TO 3'0" 3 1/2 x 3 1/2 x 1/2" ANGLE
 B. OPENINGS 3'1" TO 5'0" 4 x 3 1/2 x 5/16" ANGLE
 C. OPENINGS 5'1" TO 7'11" 6 x 3 1/2 x 3/8" ANGLE
- UNLESS NOTED OTHERWISE ON DRAWINGS, ALL STEEL FLITCH BEAMS SHALL BE ASSEMBLED WITH 2 ROWS OF 1/2" ROUND BOLTS. TOP ROW SHALL BE SPACED 12" ON CENTER AND BOTTOM ROW SPACED 24" ON CENTER WITH ROWS STAGGERED 6". THERE SHALL BE A BOLT 8" FROM EACH END OF BEAM, TOP AND BOTTOM.

DIVISION 6 - WOOD

- ALL FRAMING LUMBER SUCH AS JOIST, HEADER AND TRIMMERS SHALL BE #2 SPRUCE/PINE/FIR, 19% MOISTURE CONTENT, FB-1700 PSI, FBR-282 PSI, FV-110 PSI, EI-1,000,000 PSI. WALL STUDS TO BE SPRUCE/PINE/FIR STUD GRADE OR BETTER, FC-335 PSI. STRUCTURAL JOIST TO BE IN ACCORDANCE WITH NDS AND NPOFA SPECIFICATIONS. ALL 4X4 AND 6X6 POSTS TO BE #1 SOUTHERN YELLOW PINE OR BETTER, FV-965 PSI. OTHER SPECIES USED SHALL MEET OR EXCEED THE REQUIREMENTS NOTED ABOVE.
- ALL WOOD FRAME EXTERIOR CORNERS SHALL BE LATERALLY BRACED WITH CONTINUOUS STRUCTURAL SHEATHING AS INDICATED ON THE WALL BRACING PAGES OF DRAWINGS. PROVIDE CONTINUOUS DOUBLE TOP PLATE AT ALL BEARING STUD WALLS. FRAMING SHALL BE IN ACCORDANCE WITH NPOFA MANUAL FOR HOUSE FRAMING, CURRENT EDITION. WHERE JOIST RUN PARALLEL WITH A MASONRY WALL, USE JOIST TEE ANCHORS AT CENTER SPAN OF JOIST AND ENGAGE AT LEAST THREE JOISTS.
- ALL LAMINATED VENEER LUMBER SHOWN AS MICRO-LAM ON THE DRAWINGS SHALL HAVE THE FOLLOWING PROPERTIES: FB-3100 PSI, FV-230 PSI, E-2,000,000 PSI (EQUAL TO VERSA-LAM 3100 FB 5P)
- MANUFACTURED WOOD AND FLOOR TRUSSES, HEADERS AND GIRDER TRUSSES SHALL BE DESIGNED BY THE TRUSS MANUFACTURER TO CARRY THE DESIGN LIVE LOADS INDICATED. TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS AND CALCULATIONS SEALED BY A STRUCTURAL ENGINEER. ALL DESIGN AND ERECTION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS, ROOF TRUSSES AND ALL BRIDGING AND/OR LATERAL BRACING REQUIRED FOR STRUCTURAL INTEGRITY OF ROOF TRUSS SYSTEM SHALL BE DESIGNED BY THE TRUSS MANUFACTURER AND INSTALLED AS PER MANUFACTURED INSTRUCTIONS.
- ALL WOOD EXPOSED TO THE WEATHER, WITHIN 8" OF FINISH GRADE OR BEARING DIRECTLY ON CONCRETE OR MASONRY SHALL BE PRESURE TREATED WITH APPROVED MATERIALS TO PREVENT DECAY AND INFESTATION BY MOISTURE AND INSECTS AND SHALL MEET AWPI STANDARDS.
- FIRE STOP ALL DUCT CHASES, BULKHEADS, LAUNDRY CHUTES AND SHAFTS AT EACH FLOOR. ALL PARTITIONS OVER 8 FEET TALL SHALL HAVE FIRE BLOCKING INSTALLED AT THE SHEATHING BREAK OR 8" ABOVE FINISH FLOOR. ALL JOIST ENDS SHALL BE BLOCKED EITHER WITH CONTINUOUS BAND OR CUT BLOCKS.
- SUBFLOORING SHALL BE 1/2" TONGUE AND GROOVE STRUCTURAL GRADE, GLUED AND NAILED TO FLOOR FRAMING WITH APA APPROVED STRUCTURAL ADHESIVE AND 8-D RING SHANK OR SPIRAL THREAD NAILS SPACED 6" ON CENTER AT PANEL EDGE AND 10" ON CENTER AT INTERMEDIATE SUPPORT. THE FACE GRAIN SHALL BE LAID AT RIGHT ANGLES TO THE JOISTS AND TRUSSES AND PARALLEL TO THE STUDS.
- ROOF SHEATHING SHALL BE 1/2" EXTERIOR PLYWOOD OR AS NOTED ON DRAWINGS.
- ALL WALL SILL PLATES SHALL BE MINIMUM 2X4 AND SHALL BE ANCHORED INTO FOUNDATION WALLS WITH APPROVED GALVANIZED STEEL ANCHORS MINIMUM 8" INTO POURED CONCRETE AND 15" INTO GROUTED CONCRETE MASONRY UNITS. MINIMUM 2 ANCHORS PER SECTION OF PLATE. MAXIMUM SPACING OF ANCHORS 6'0", WITH ANCHORS PLACED MAXIMUM 12" FROM END OF EACH PLATE.
- ALL PURLINS, JOIST AND BEAMS NOT FRAMED OVER SUPPORTING MEMBERS SHALL BE SUPPORTED BY MEANS OF METAL HANGERS DESIGNED FOR THE INTENDED USE.
- NO STRUCTURAL MEMBER SHALL BE OMITTED, NOTCHED, CUT OUT OR RELOCATED WITHOUT APPROVAL BY THE DESIGNER.
- PARTITIONS:
 A. DOUBLE JOIST CENTERED UNDER ALL PARTITIONS TO PARALLEL TO FLOOR JOIST.
 B. PROVIDE SOLID BLOCKING AT 4'0" ON CENTER BETWEEN THE JOIST AND FIRST INTERIOR PARALLEL JOIST.
 C. SPLICES OF THE TOP AND BOTTOM PORTION OF DOUBLE TOP PLATS MUST BE STAGGERED A MINIMUM OF 4'0".
 D. SPLICES SHALL OCCUR ONLY DIRECTLY OVER STUDS.
 E. LAP TOP PLATES AT CORNERS AND INTERSECTIONS.
- WOOD STAIRS AND RAILINGS:
 A. STAIRWAYS SHALL BE DESIGNED TO SUPPORT THE MINIMUM DESIGN LOADS LISTED IN DIVISION 1 AND SHALL HAVE A MINIMUM 36" CLEAR WIDTH AND 6'0" MINIMUM HEIGHT MEASURED VERTICALLY FROM THE SLOPE PLANE OF THE STAIR NOSING.
 B. STAIRS SHALL HAVE A MAXIMUM RIDER HEIGHT OF 7 1/2" AND MINIMUM TREAD DEPTH OF 10" MEASURED HORIZONTALLY FROM NOSING TO NOSING.
 C. HANDRAILS SHALL BE PROVIDED ON ONE SIDE OF STAIRWAY HAVING TWO OR MORE RISERS. HANDRAIL HEIGHT MEASURED VERTICALLY ABOVE STAIR NOSING SHALL BE MINIMUM 34" BUT NOT GREATER THAN 38". HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE STAIRWAY. HANDRAIL SHALL HAVE A GRIP SIZE OF 1 1/2" DIAMETER AND 2" DIAMETER MAXIMUM.
 D. GUARDRAILS SHALL BE PROVIDED ON OPEN SIDE OF STAIRWAYS HAVING A TOTAL RISER HEIGHT OF 30". GUARDRAILS SHALL BE MINIMUM 34" IN HEIGHT MEASURED VERTICALLY FROM THE SLOPED PLANE OF THE TREAD NOSING AND SHALL HAVE PICKETS SPACED SO AS TO NOT ALLOW A SPHERE 4" DIAMETER TO PASS THROUGH.
- VERTICAL LOAD TRANSFER: ALL STRUCTURAL POST MUST BE VERTICALLY ALIGNED AND BLOCKED TO PROVIDE CONTINUOUS BEARING TO FOUNDATION. PROVIDE DOUBLE STUDS AT ENDS OF ALL BEAMS AND LINTELS UNLESS OTHERWISE NOTED. COLUMNS SHALL BE ANCHORED TO PREVENT LATERAL DISPLACEMENT.
- CUTTING OR NOTCHING OF WOOD MEMBER: HOLES BORED INTO STUDS SHALL NOT EXCEED 1/3 WIDTH OF THE STUD. NOTCH DEPTH IN THE TOP OR BOTTOM OF JOIST AND BEAMS SHALL NOT EXCEED 1/6 THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE 1/3 OF THE SPAN. HOLES BORED OR CUT INTO JOIST SHALL NOT BE CLOSER THAN 2" TO THE TOP OR BOTTOM OF THE JOIST WITH THE DIAMETER NOT TO EXCEED 1/3 OF THE JOIST DEPTH. REINFORCE TOP PLATES WITH 18 GAUGE, 1 1/2" METAL TIES WHERE CUTTING EXCEEDS MORE THAN 1/2 THEIR WIDTH.
- STUD QUANTITY SHOWN FOR HEADERS IS NUMBER OF JACK STUDS. ADD 1 KING TO OPENINGS LESS THAN 4" AND 2 KING STUDS FOR OPENINGS GREATER THAN 4".

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

- ROOFING MATERIAL: TWENTY (20) YEAR FIBERGLASS SELF SEALING SHINGLES OVER ONE LAYER OF 15# ASPHALT SATURATED FELT UNDERLAYMENT UNLESS NOTED OTHERWISE. INSTALL ACCORDING TO MANUFACTURER INSTRUCTIONS.
- PERIMETER INSULATION: ALL SLABS ON GRADE IN HABITABLE SPACES SHALL BE INSULATED WITH MINIMUM R-10 RIDGID INSULATION FROM TOP OF SLAB DOWNWARD 24" BELOW SLAB OR INWARD 24" FROM EXTERIOR FACE OF SLAB AT ALL SLAB PERIMETER AREAS IN HABITABLE AREAS.
- WATERPROOFING/DAMP-PROOFING: WATERPROOF ALL EXTERIOR FOUNDATION WALLS BELOW GRADE ENCLOSING HABITABLE SPACES AS SPECIFIED BY CODE AT EXTERIOR FACE OF WALL. DAMP-PROOF ALL EXTERIOR FOUNDATION WALLS ENCLOSING BASEMENT AND CRAWL SPACES WITH DAMP-PROOFING AS SPECIFIED BY CODE AT EXTERIOR FACE OF WALL.
- FLASHING: CODE APPROVED CORROSION RESISTANT FLASHING SHALL BE PROVIDED AT TOP AND BOTTOM OF ALL EXTERIOR WINDOW AND DOOR OPENINGS. SIMILAR FLASHING SHALL BE INSTALLED AT THE INTERSECTION OF CHIMNEY OR OTHER MASONRY CONSTRUCTION WITH FRAME WALLS, UNDER AND AT ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS, CONTINUOUS ABOVE ALL PROJECTING WOOD TRIM, AT WALL AND ROOF INTERSECTIONS, AT JUNCTIONS OF CHIMNEYS AND ROOFS AND IN ALL ROOF VALLEYS AND AROUND ALL ROOF OPENINGS.
- BUILDING PAPER: AT BRICK VENEER APPLICATIONS: 15# ROOFING FELT OR PAPER SHALL BE ATTACHED TO WALL SHEATHING WITH FLASHING WHEREVER NECESSARY TO PREVENT MOISTURE PENETRATION BEHIND THE VENEER.
- ALL EXTERIOR WALLS TO HAVE VAPOR BARRIER INSTALLED OVER SHEATHING.
- INSULATION MINIMUM INSULATION REQUIREMENTS TO BE AS NOTED ON DRAWINGS.
- GUTTERS AND DOWNSPOUTS: 6"032" PREFINISHED ALUMINUM GUTTERS AND 6"024" PREFINISHED ALUMINUM DOWNSPOUTS.
- VENTILATION ENCLOSED ATTIC TRUSS SPACES AND ENCLOSED ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE WITH SCREEN VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF MOISTURE AND RAIN IN ACCORDANCE WITH THE IRC 2009 CODE.

DIVISION 8 - DOORS AND WINDOWS

- WINDOWS: WINDOWS SHOWN ON THE DRAWINGS DEFINE THE INTENDED AESTHETIC SIZE AND TYPE BY INDICATING SASH OPENINGS IN FEET AND INCHES. CONTRACTOR SHALL VERIFY THAT WINDOWS TO BE INSTALLED COMPLY WITH CODES FOR EGRESS, LIGHT AND VENTILATION. PROVIDE TEMPERED SAFETY GLAZING WHERE NOTED ON DRAWINGS AND/OR AT HAZARDOUS LOCATIONS. PROVIDE SCREENS AND GRILLS FOR ALL WINDOWS AS INDICATED ON THE DRAWINGS.
- DOORS: PROVIDE 1 1/8" SOLID WOOD DOOR OR APPROVED EQUIVALENT AT HOUSE TO GARAGE ENTRY.

DIVISION 9 - FINISHES

- GYPSPUM WALLBOARD: ALL GYPSPUM WALLBOARD SHALL BE INSTALLED IN ACCORDANCE WITH GYPSPUM ASSOCIATION GA-716, ASTM C-840. GYPSPUM WALLBOARD SHALL NOT BE INSTALLED UNTIL WEATHER PROTECTION FOR THE INSTALLATION IS PROVIDED. STORAGE SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. PROVIDE MOISTURE RESISTANT DRYWALL CEMENT BOARD AT TUBS AND SHOWERS.
- ATTACHED GARAGE COVERAGE: THE GARAGE SHALL BE SEPARATED FROM THE HOUSE AND ITS ATTIC AREA WITH 1/2" GYPSPUM BOARD APPLIED ON THE GARAGE SIDE. GARAGE BELOW HABITABLE SPACES SHALL HAVE 5/8" FIRECODE GYPSPUM BOARD APPLIED ON GARAGE CEILING AND 1/2" GYPSPUM BOARD ON ALL BEARING WALLS SUPPORTING FLOOR/CEILING CONSTRUCTION ABOVE GARAGE.

DIVISION 10 - SPECIALTIES

- METAL PRE-FABRICATED SHALL BE APPROVED BY UNDERWRITERS LABORATORY AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- HEARTH EXTENSIONS SHALL NOT BE LESS THAN 3/8" THICK AND BE OF AN APPROVED NON-COMBUSTIBLE MATERIAL.

DIVISION 11 - EQUIPMENT

NOT APPLICABLE

DIVISION 12 - FURNISHINGS

NOT APPLICABLE

DIVISION 13 - SPECIAL CONSTRUCTION

NOT APPLICABLE

DIVISION 14 - CONVEYING SYSTEMS

NOT APPLICABLE

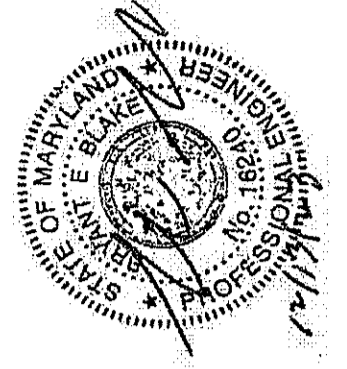
DIVISION 15 - MECHANICAL/PLUMBING

- ALL WORK AND MATERIAL SHALL CONFORM TO INTERNATIONAL PLUMBING CODE (2018 EDITION).
- ALL WORK AND MATERIAL SHALL CONFORM TO INTERNATIONAL MECHANICAL CODE (2018 EDITION).
- THE MECHANICAL AND PLUMBING SYSTEMS SHALL BE DESIGNED AND COORDINATED WITH THE ARCHITECTURAL DRAWINGS INCLUDING OPENINGS IN JOISTS, TRUSSES, CONCRETE, ECT. CONTRACTOR SHALL SEPARATELY SUBMIT COORDINATED DRAWINGS FOR THEIR RESPECTED PERMITS. ALL CONTRACTOR SHALL BE LICENSED IN THE STATE AND LOCAL JURISDICTION IN WHICH THE PROJECT IS BEING CONSTRUCTED.
- EXTERIOR HOSE BIBS SHALL BE FREEZE PROOF TYPE.
- ALL DUCT CHASES, BULLHEADS, LAUNDRY CHUTES, METAL FLUES AND VERTICAL SHAFTS SHALL BE DRAFTSTOPPED AT EACH FLOOR/CEILING LEVEL.
- ALL BATHROOMS, EXCLUDING THOSE WITH OPERABLE WINDOWS, SHALL BE MECHANICALLY VENTED TO EXTERIOR (MINIMUM 10 CFM EXHAUST FAN).
- FURNACE SHALL BE HIGH EFFICIENCY UNIT (AFUE RATING 80%).

DIVISION 16 - ELECTRICAL

- ALL WORK AND MATERIAL SHALL CONFORM TO NATIONAL ELECTRICAL CODE FOR ONE AND TWO FAMILY DWELLING, NFPA 70-A (2018 EDITION).
- ALL RECEPTACLES AT KITCHEN COUNTERS, VANITIES AND BEHIND REFRIGERATOR SHALL BE MOUNTED 42" ABOVE FINISH FLOOR. ALL OTHER RECEPTACLES, UNLESS NOTED OTHERWISE ON DRAWINGS, SHALL BE MOUNTED 17" VERTICALLY ABOVE FINISH FLOOR AND 12" ON CENTER HORIZONTALLY. ALL RECEPTACLES WITHIN 6'0" OF SINKS, VANITIES, TUBS, ECT. SHALL BE WIRED TO A GROUND FAULT INTERRUPTED CIRCUIT IN ACCORDANCE TO ELECTRICAL CODE.
- ALL RECEPTACLES IN BEDROOMS TO BE ARC FAULT TYPE.
- ALL SWITCHES, UNLESS NOTED OTHERWISE ON DRAWINGS, SHALL BE MOUNTED 48" ABOVE FINISH FLOOR.
- ALL FIXTURES AND ACCESSORIES INSTALLED OUTDOORS AND EXPOSED TO THE WEATHER SHALL BE WEATHERPROOF.
- SMOKE DETECTORS SHALL BE PROVIDED IN EACH SLEEPING AREA AND ON EACH LEVEL. DETECTORS SHALL HAVE BATTERY BACK-UP AND BE WIRED TOGETHER FOR SIMULTANEOUS ACTIVATION.

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16240, EXPIRATION DATE: 11/5/24



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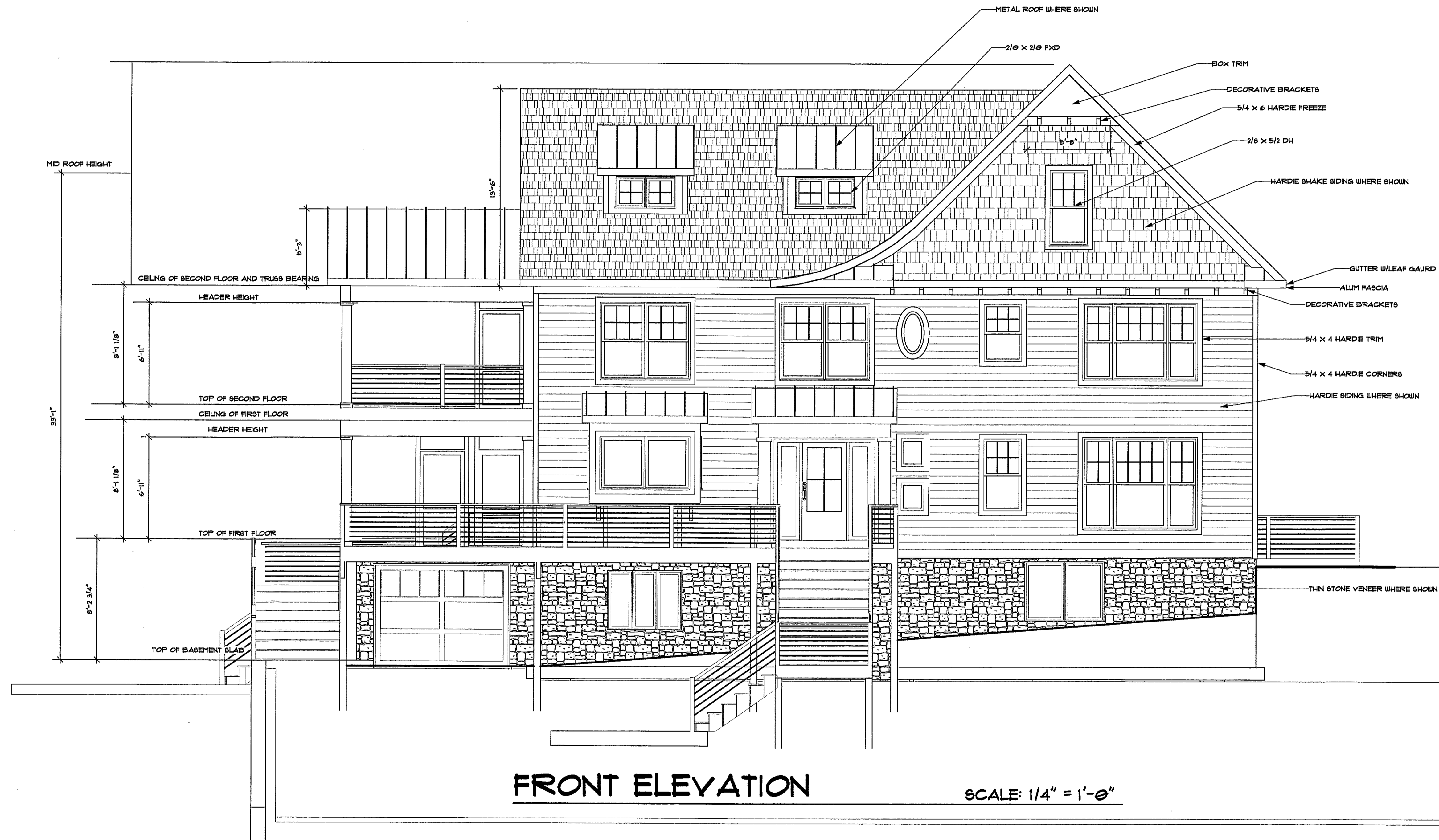
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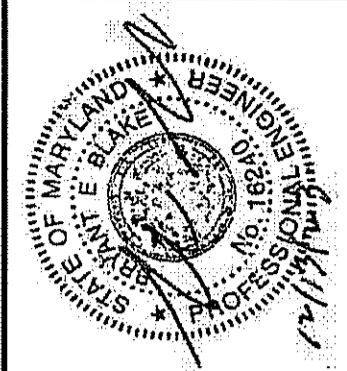
**ADDITION/REMODEL FOR
SALKELD FAMILY RETREAT**

BUILDING SITE:

3018 FRIENDS ROAD
ANNAPOLIS, MD 21401



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DATE: 12/13/23

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SALKELD FAMILY RETREAT
BUILDING SITE:

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ANNAPOLIS, MD 21401

SHEET
A001



REAR ELEVATION

SCALE: 1/4" = 1'-0"

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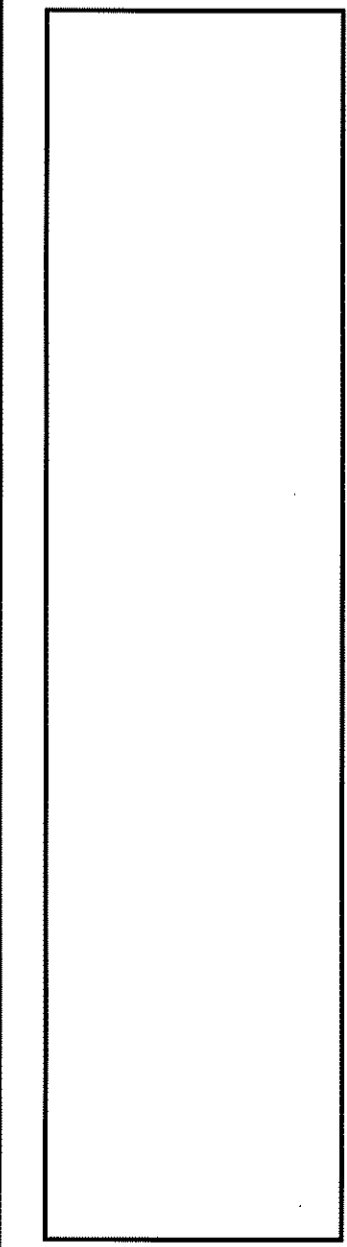


DATE: 12/13/23

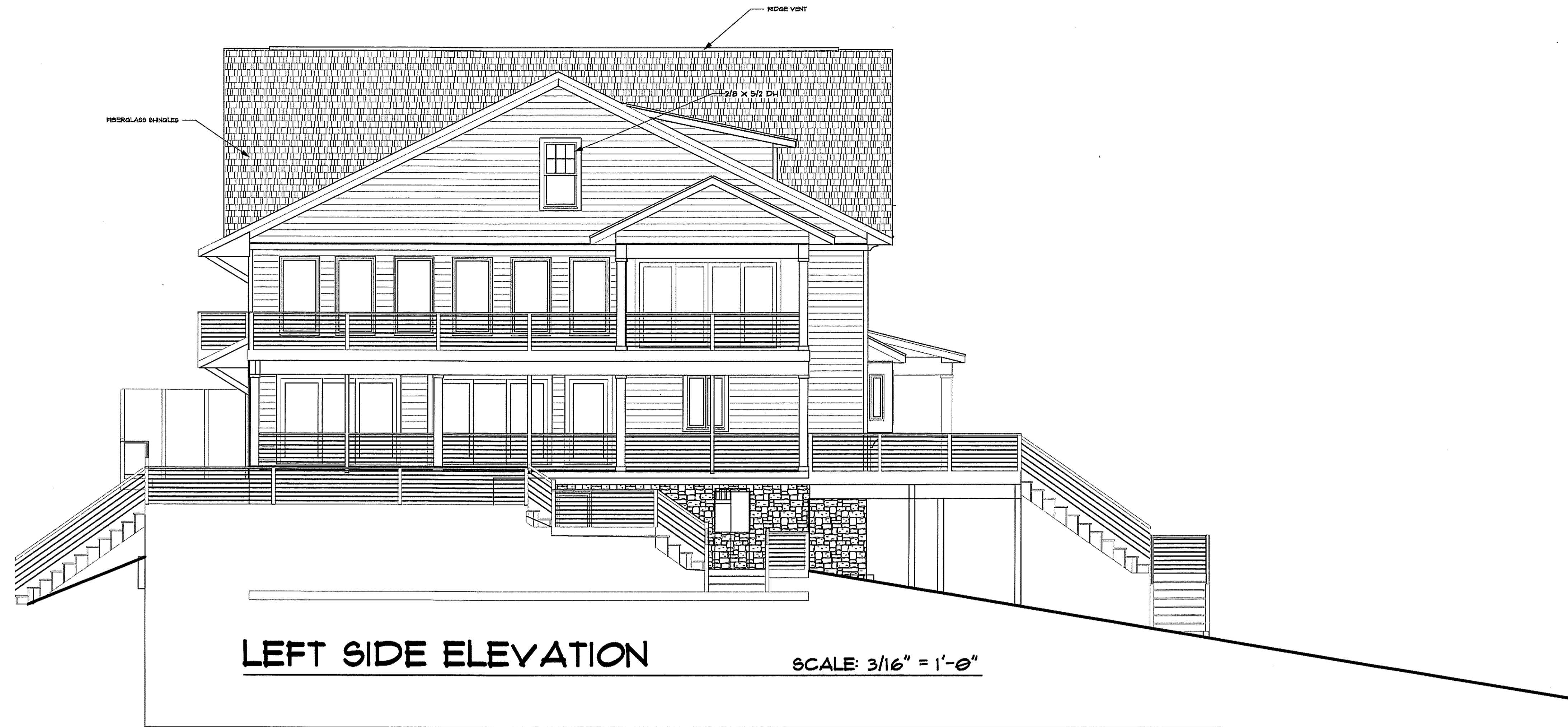
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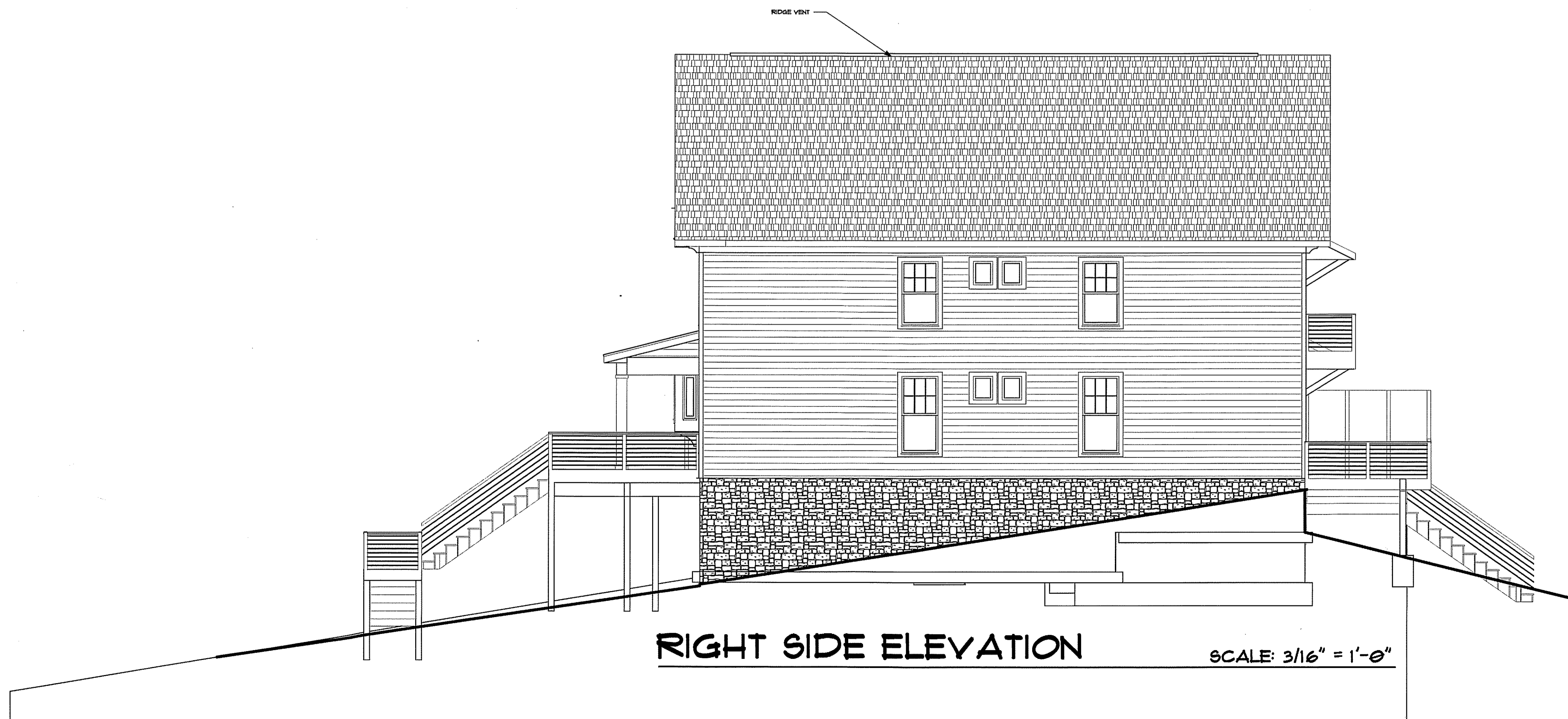


SHEET
A002



LEFT SIDE ELEVATION

SCALE: 3/16" = 1'-0"



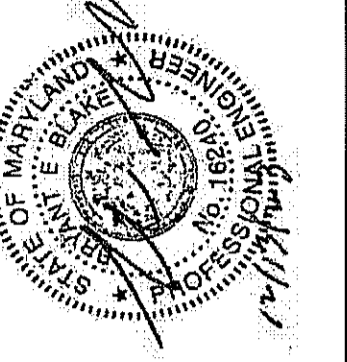
RIGHT SIDE ELEVATION

SCALE: 3/16" = 1'-0"

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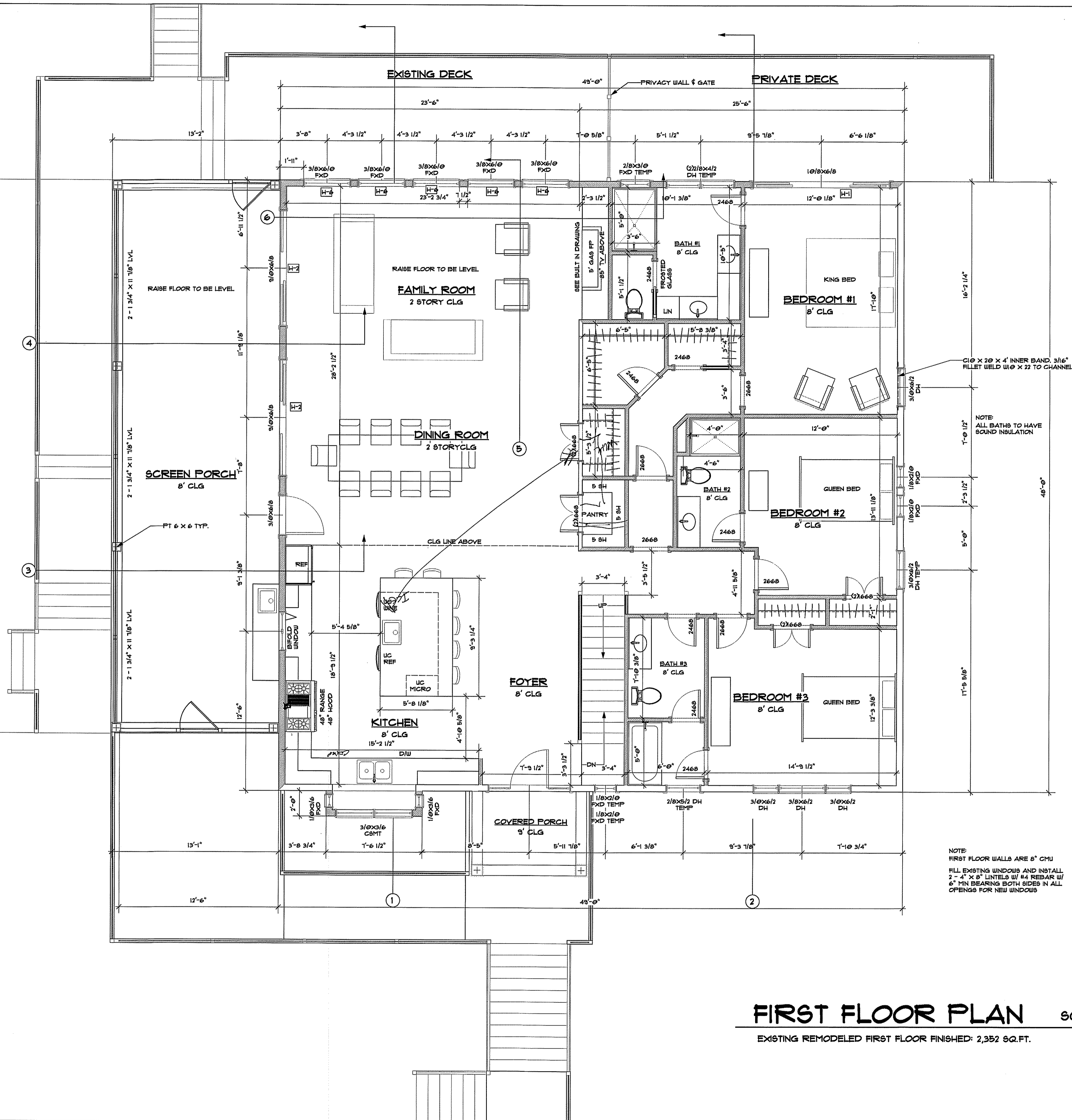
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ANNAPOLIS, MD 21401

SHEET

A003



NOTES:

PROVIDE 10 CFM EXHAUST FANS IN ALL BATHS VENTED TO EXTERIOR.

DOOR FROM HOUSE TO GARAGE SHALL BE 1 3/4" WOOD OR RATED.

NOTES LOAD BEARING POST WITH NUMBER OF STUDS

HEADERS:

ALL HEADERS SHALL BE 2 X 12 WITH DBL JACK UNLESS OTHERWISE NOTED.

H-1	2 - 1 3/4" X 11 7/8" LVL W/ 3 - 2 X 6 EB
H-2	3 - 1 3/4" X 11 7/8" LVL W/ 3 - 2 X 6 EB
H-3	3 - 1 3/4" X 14" LVL W/ 3 - 2 X 6 EB
H-4	2 - 1 3/4" X 9 1/4" LVL W/ 2 - 2 X 6 EB
H-5	3 - 1 3/4" X 11 1/4" LVL W/ 3 - 2 X 6 EB
H-6	3 - 2 X 8 W/SIMPSON CONCEALED FLANGE HANGERS

INTERIOR WALLS TO BE 2 X 4 STUDS 16" O/C UNLESS OTHERWISE NOTED

EXTERIOR WALLS TO BE 2 X 6 STUDS 16" O/C W/ 1/2" WALL SHEATHING UNLESS OTHERWISE NOTED

STRAPPING IS REQUIRED WHERE SHEATHING DOES NOT LAP OVER RIM JOIST.

USE SIMPSON LSTA-36 AT SECOND FLOOR DECK LAPPING 12" ON FIRST FLOOR WALLS AND 12" ON SECOND FLOOR WALLS 48" O/C

USE SIMPSON LSTA-24 AT FIRST FLOOR DECK LAPPING 12" ON FIRST FLOOR WALLS 48" O/C

INSULATION AS FOLLOWS MEETING TABLE N102.1.1 OF THE 2018 IRC

WINDOW U FACTOR TO BE .32

WINDOW SHGC FACTOR TO BE .25

SOLID DOORS U FACTOR TO BE .22

GLASS DOORS U FACTOR TO BE .32

CEILING TO BE R-49 W/14" TRUSS HEEL

FRAMED WALLS TO BE R-20

BASEMENT WALLS TO BE R-10 CONT. OR R-13 BATT @ STUD WALLS

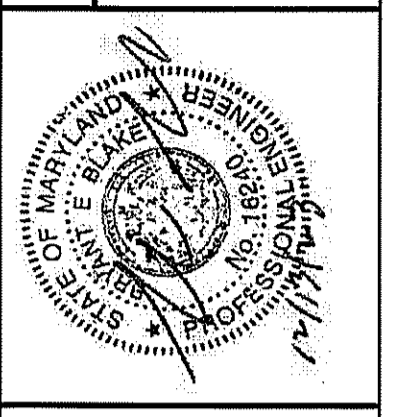
FLOOR OVER UNCONDITIONED TO BE R-19

NOTE:
FIRST FLOOR WALLS ARE 8" CMU
FILL EXISTING WINDOWS AND INSTALL 2 - 4" X 8" LINTELS W/ #4 REBAR W/ 6" MIN BEARING BOTH SIDES IN ALL OPENINGS FOR NEW WINDOWS

FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"
EXISTING REMODELED FIRST FLOOR FINISHED: 2,352 SQ.FT.

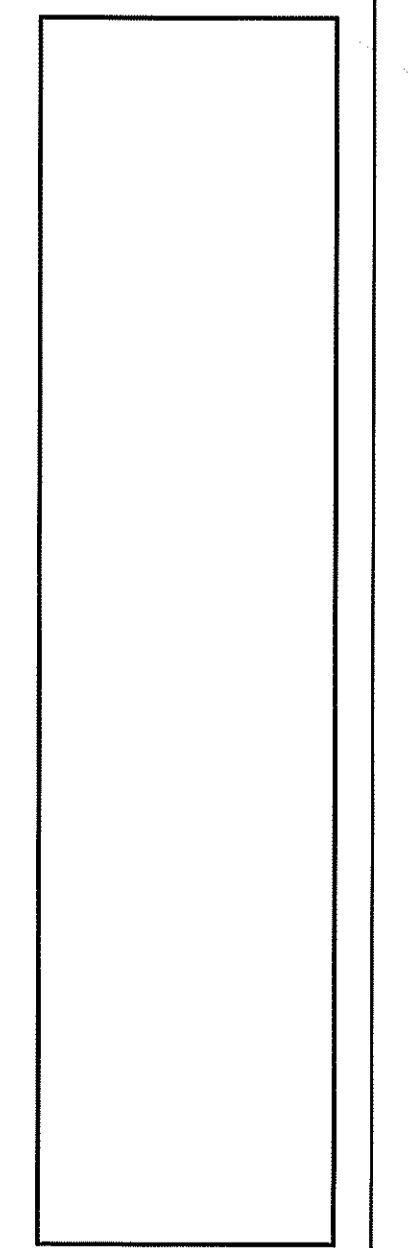
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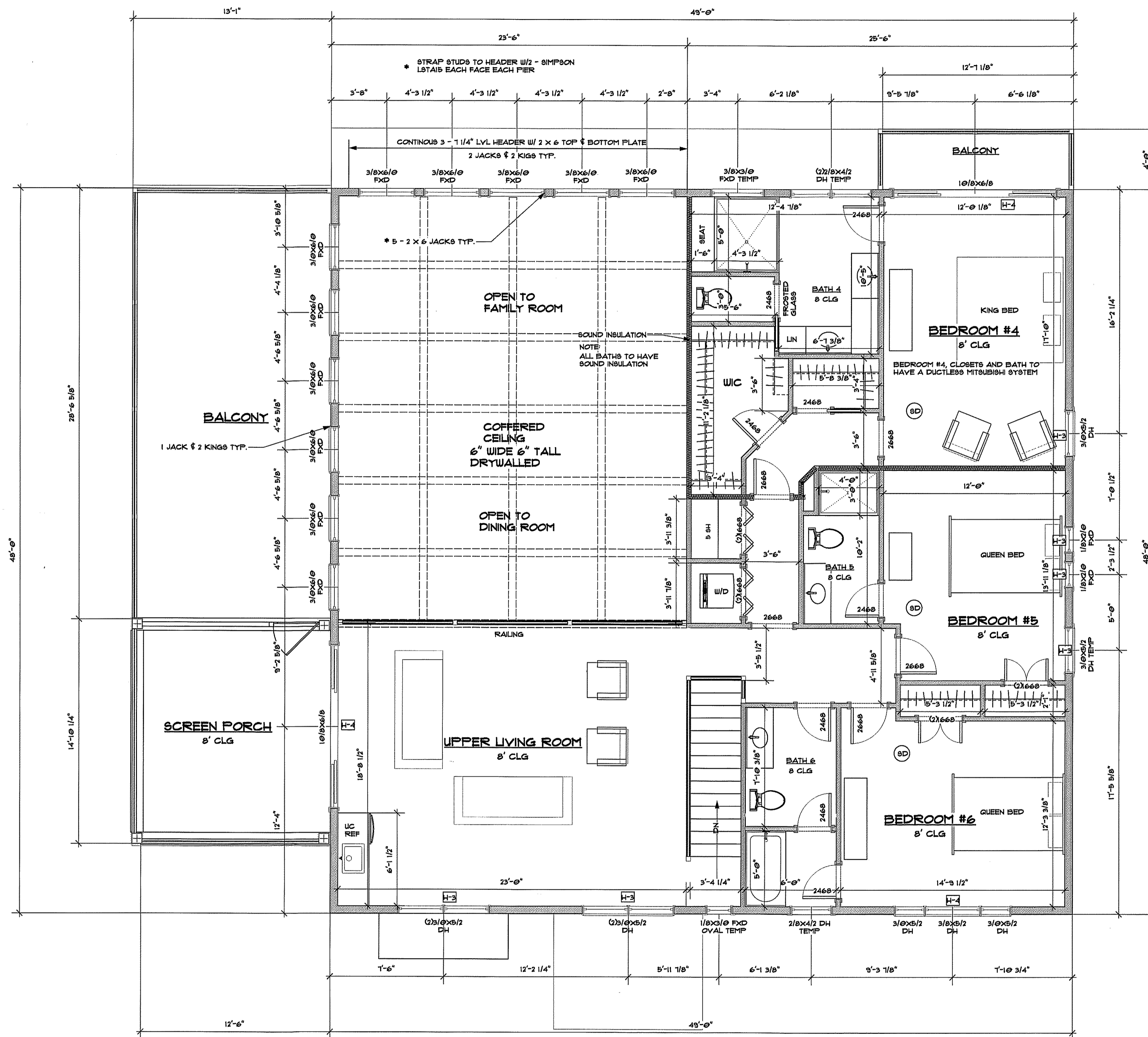
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**ADDITION/REMODEL FOR
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BUILDING SITE:**
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ANNAPOLIS, MD 21401





SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

- ADDED SECOND FLOOR FINISHED: 1,615 SQ.FT.
- ADDED SECOND FLOOR SCREEN PORCH: 185 SQ.FT.
- ADDED SECOND FLOOR OPEN BALCONY: 354 SQ.FT.
- ADDED SECOND FLOOR OPEN BR#4 BALCONY: 50 SQ.FT.

NOTES:

ALL HEADERS SHALL BE AT 6" ABOVE FLOOR LEVEL UNLESS OTHERWISE NOTED.
 PROVIDE 10 CFM EXHAUST FANS IN ALL BATHS VENTED TO EXTERIOR.

NOTES LOAD BEARING POST WITH NUMBER OF STUDS

HEADERS:

ALL HEADERS SHALL BE 2" X 10" WITH DBL JACK UNLESS OTHERWISE NOTED.

H-1	2 - 1 3/4" X 11 1/8" LVL W/ 3 - 2 X 6 EB
H-2	3 - 1 3/4" X 11 1/8" LVL W/ 3 - 2 X 6 EB
H-3	2 - 1 3/4" X 9 1/4" LVL W/ 2 - 2 X 6 EB
H-4	3 - 1 3/4" X 9 1/4" LVL W/ 2 - 2 X 6 EB
H-5	

INTERIOR WALLS TO BE 2 X 4 STUDS 16" O/C UNLESS OTHERWISE NOTED

EXTERIOR WALLS TO BE 2 X 6 STUDS 16" O/C W/ 1/2" WALL SHEATHING UNLESS OTHERWISE NOTED

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BASEMENT WALLS TO BE R-10 CONT. OR R-13 BATT @ STUD WALLS

FLOOR OVER UNCONDITIONED TO BE R-19

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DATE: 12/13/23

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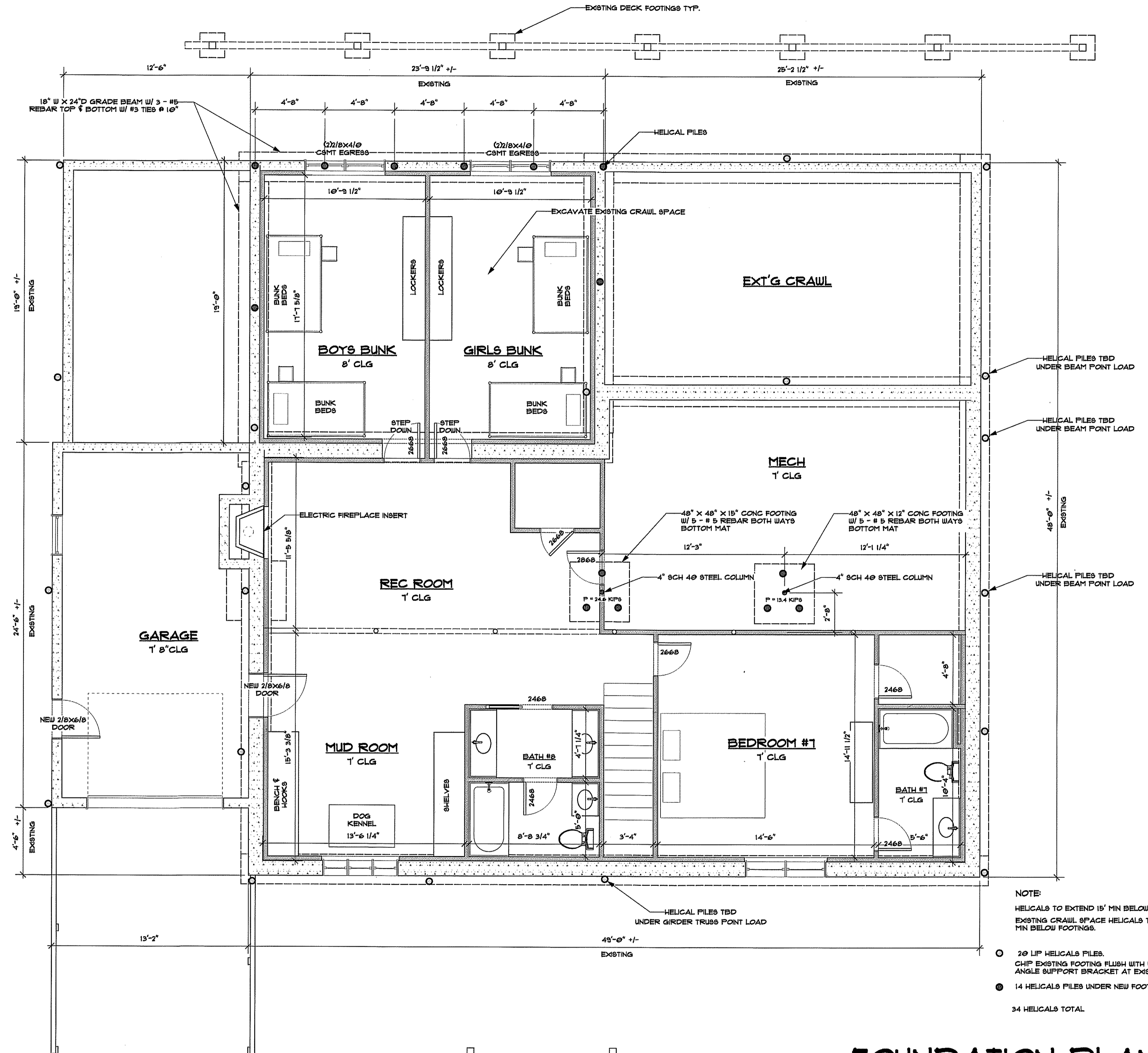
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SHEET

A005



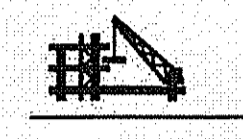
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ANNAPOLIS, MD 21401
PHONE: 443-935-5585
DRAWN BY: MICHAEL STEVENSON

ADDITION/REMODEL FOR
SALKELD FAMILY RETREAT
BUILDING SITE:
3018 FRIENDS ROAD
ANNAPOLIS, MD 21401

FOUNDATION CERTIFICATION



BLAKE STRUCTURAL

Registered in Maryland & Virginia
12518 Ridgely Road
Ridgely, Maryland 21660
Office (410) 634-8192
Call (443) 604-1461

December 13, 2023

Anne Arundel County Permit Department

Subject: Evaluation of Existing Foundation for Additional Load
3018 Friends Road
Annapolis, MD 21401

Attention: Building Permit Department

On October 17, 2023, Mr. Bryant Blake inspected a portion of the existing house footing and evaluated the existing bearing soil beneath the footing with a dynamic penetrometer.

Based on the inspection, the existing footing is a minimum of 8" thick and 16" wide and bears on medium dense sand with an allowable bearing capacity of 2,000 psf. The penetrometer readings were 6, 11, 11, and 15.

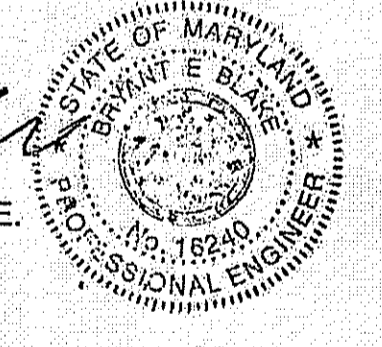
The existing soil bearing capacity of the perimeter footing at the checked area is thus 1.33' x 2000psf = 2667 plf.

The grade at the existing house varies greatly and slightly above the tested footing level the soils were much softer. It is a concern of mine that any areas of the existing footing that are bearing at a more shallow depth have less than the 2000 psf soil bearing capacity. The existing grade at the rear of the house also drops about 20 feet vertically over about 30 feet horizontally and is thus a slope failure concern of mine. In order to eliminate potential soil bearing overstress and loading adjacent to the slope, I have specified 20 kip capacity x 15' deep minimum helical piles throughout the house foundation to support the added weight and to prevent loading of the rear slope. These helical piles are to be detailed and installed by a company specializing in pile installation.

If you have any questions regarding this evaluation, please contact me at 443-604-1461.

Sincerely,

Bryant Blake
Bryant Blake, P.E.

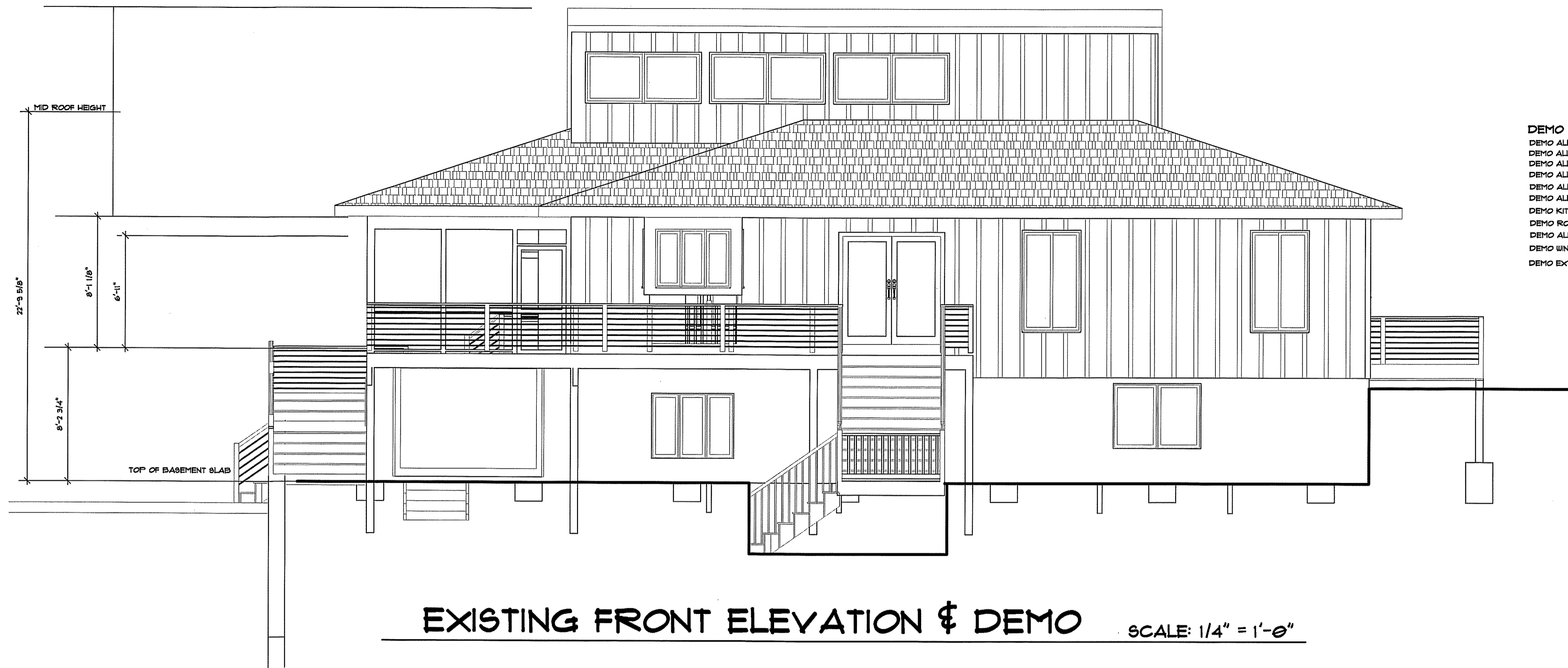


FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

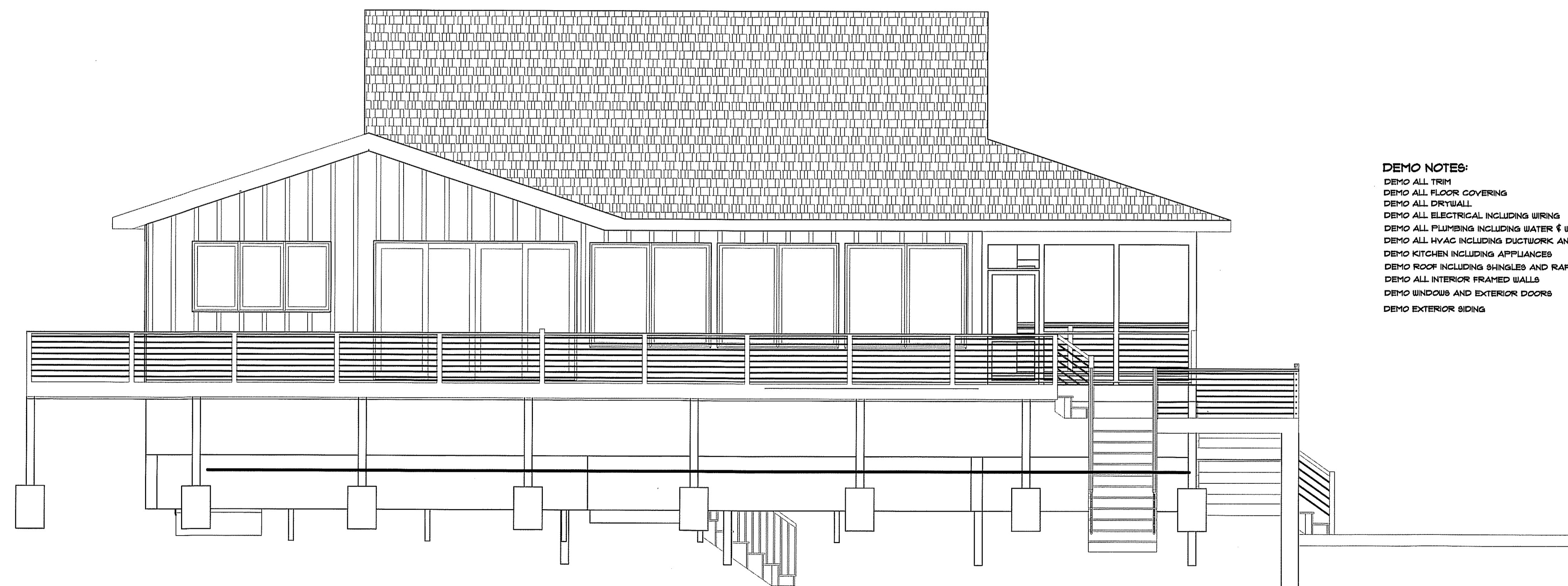
EXISTING FINISHED: 930 SQ.FT.
ADDITION FINISHED: 400 SQ.FT.

SHEET
A006



DEMO NOTES:
 DEMO ALL TRIM
 DEMO ALL FLOOR COVERING
 DEMO ALL DRYWALL
 DEMO ALL ELECTRICAL INCLUDING WIRING
 DEMO ALL PLUMBING INCLUDING WATER & WASTE PIPES
 DEMO ALL HVAC INCLUDING DUCTWORK AND UNITS
 DEMO KITCHEN INCLUDING APPLIANCES
 DEMO ROOF INCLUDING SHINGLES AND RAFTERS
 DEMO ALL INTERIOR FRAMED WALLS
 DEMO WINDOWS AND EXTERIOR DOORS
 DEMO EXTERIOR SIDING

EXISTING FRONT ELEVATION & DEMO SCALE: 1/4" = 1'-0"



DEMO NOTES:
 DEMO ALL TRIM
 DEMO ALL FLOOR COVERING
 DEMO ALL DRYWALL
 DEMO ALL ELECTRICAL INCLUDING WIRING
 DEMO ALL PLUMBING INCLUDING WATER & WASTE PIPES
 DEMO ALL HVAC INCLUDING DUCTWORK AND UNITS
 DEMO KITCHEN INCLUDING APPLIANCES
 DEMO ROOF INCLUDING SHINGLES AND RAFTERS
 DEMO ALL INTERIOR FRAMED WALLS
 DEMO WINDOWS AND EXTERIOR DOORS
 DEMO EXTERIOR SIDING

EXISTING REAR ELEVATION & DEMO SCALE: 1/4" = 1'-0"

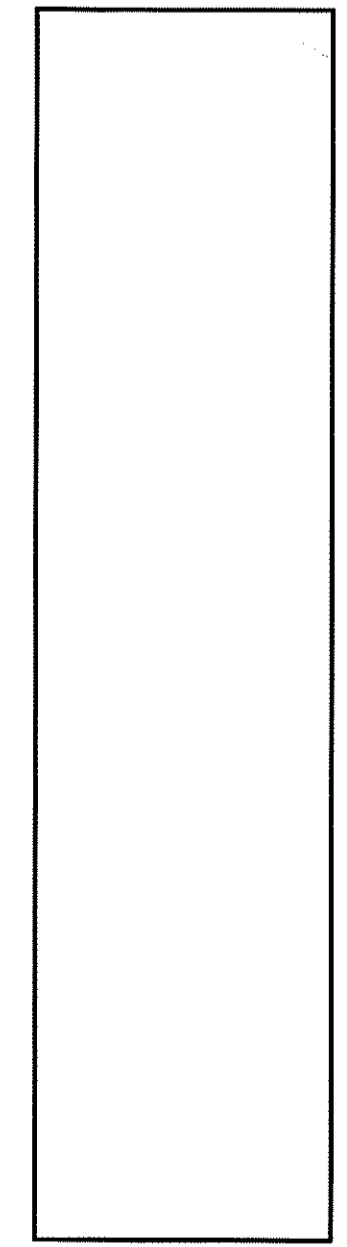
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DATE: 12/13/23



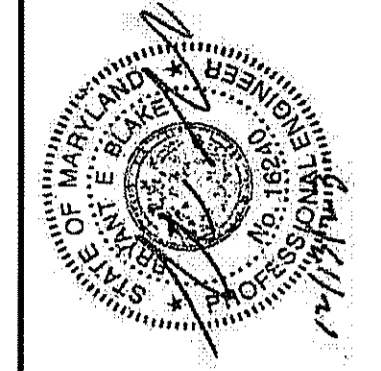
SUNSET DESIGN
 591 MORAN COURT
 ANNAPOLIS, MD 21401
 PHONE: 443-998-9585
 DRAWN BY: MICHAEL STEVENSON

**ADDITION/REMODEL FOR
 SALKELD FAMILY RETREAT**
 BUILDING SITE:
 3018 FRIENDS ROAD
 ANNAPOLIS, MD 21401



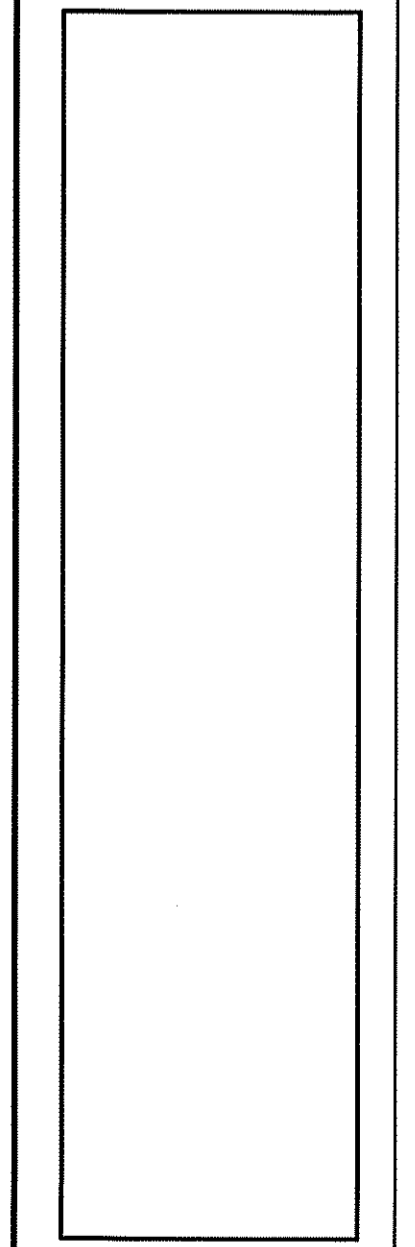
SHEET
A001

DATE: 12/13/23
REVISIONS

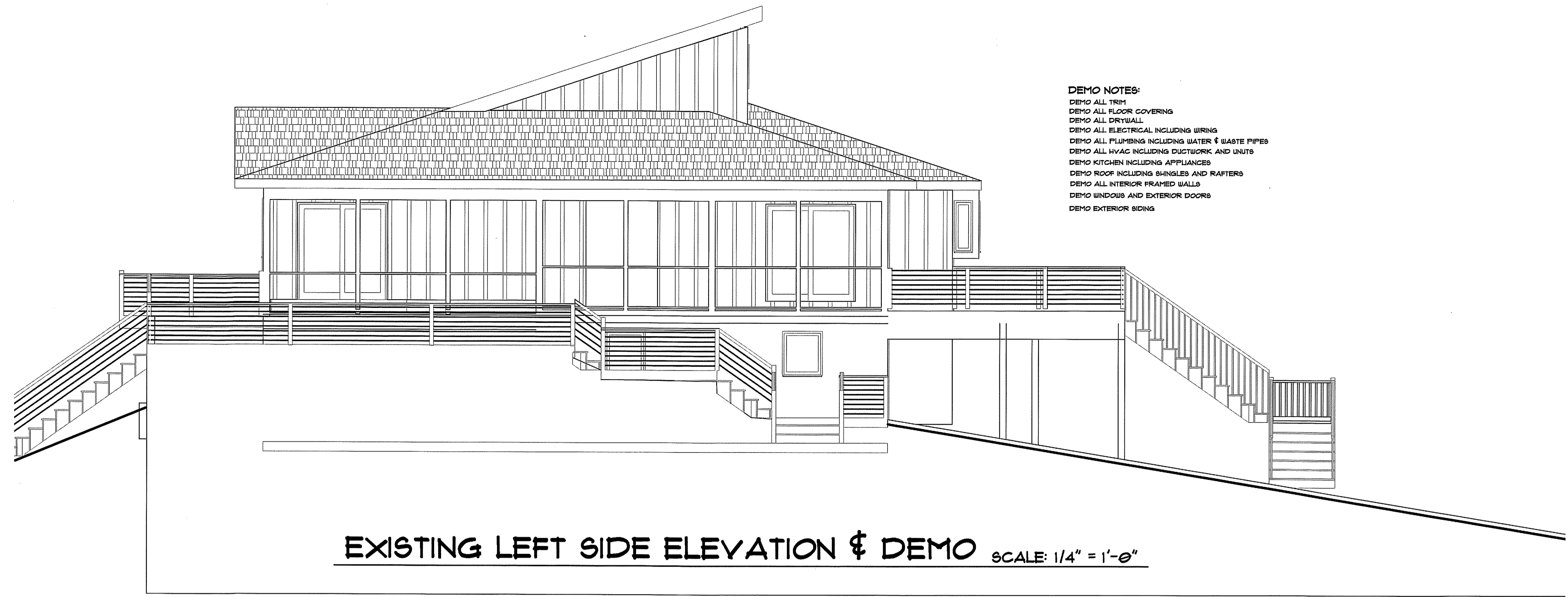


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ADDITION/REMODEL FOR
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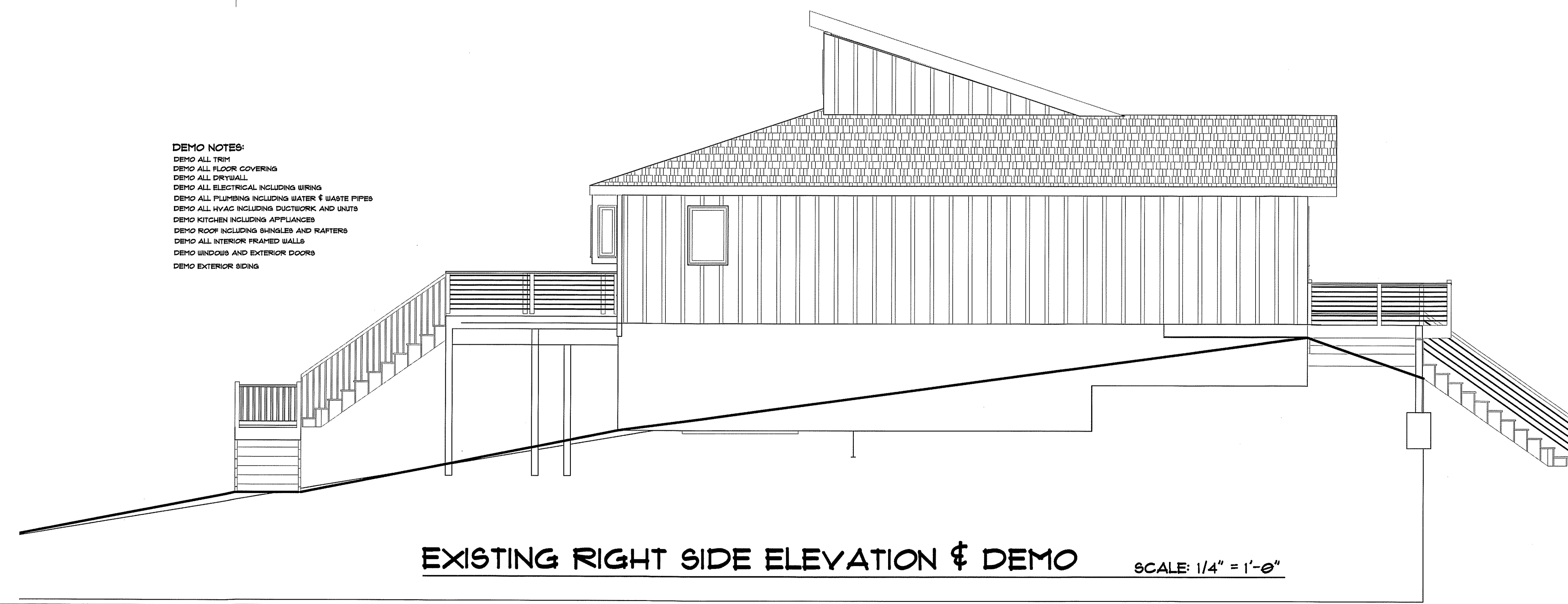


SHEET
A008



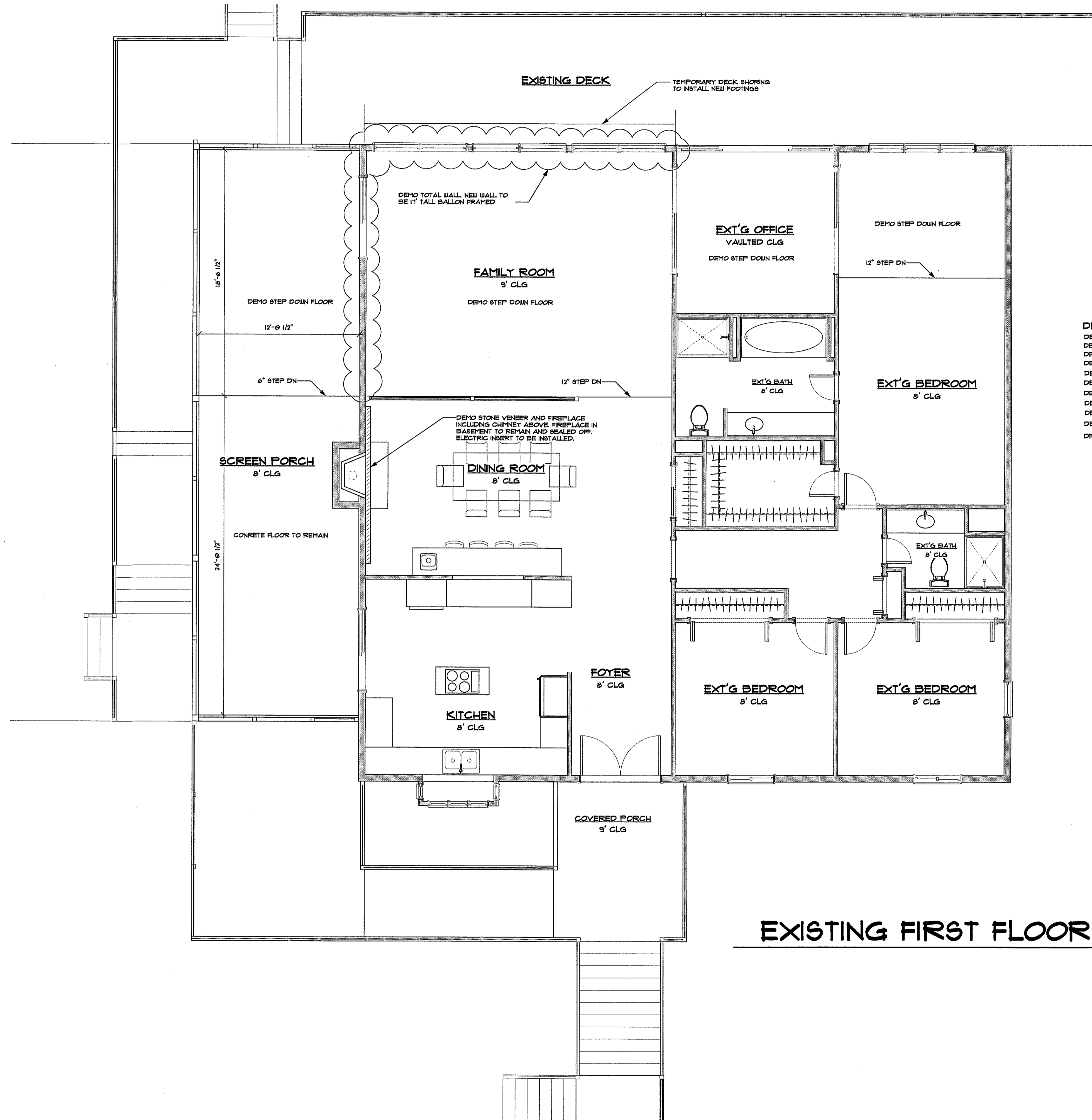
DEMO NOTES:
DEMO ALL TRIM
DEMO ALL FLOOR COVERING
DEMO ALL DRYWALL
DEMO ALL ELECTRICAL INCLUDING WIRING
DEMO ALL PLUMBING INCLUDING WATER & WASTE PIPES
DEMO ALL HVAC INCLUDING DUCTWORK AND UNITS
DEMO KITCHEN INCLUDING APPLIANCES
DEMO ROOF INCLUDING SHINGLES AND RAFTERS
DEMO ALL INTERIOR FRAMED WALLS
DEMO WINDOWS AND EXTERIOR DOORS
DEMO EXTERIOR SIDING

EXISTING LEFT SIDE ELEVATION & DEMO SCALE: 1/4" = 1'-0"



DEMO NOTES:
DEMO ALL TRIM
DEMO ALL FLOOR COVERING
DEMO ALL DRYWALL
DEMO ALL ELECTRICAL INCLUDING WIRING
DEMO ALL PLUMBING INCLUDING WATER & WASTE PIPES
DEMO ALL HVAC INCLUDING DUCTWORK AND UNITS
DEMO KITCHEN INCLUDING APPLIANCES
DEMO ROOF INCLUDING SHINGLES AND RAFTERS
DEMO ALL INTERIOR FRAMED WALLS
DEMO WINDOWS AND EXTERIOR DOORS
DEMO EXTERIOR SIDING

EXISTING RIGHT SIDE ELEVATION & DEMO SCALE: 1/4" = 1'-0"



DEMO TOTAL WALL, NEW WALL TO BE 11 TALL BALLON FRAMED

EXISTING DECK
TEMPORARY DECK SHORING TO INSTALL NEW FOOTINGS

FAMILY ROOM
9' CLG
DEMO STEP DOWN FLOOR

EXT'G OFFICE
VAULTED CLG
DEMO STEP DOWN FLOOR

DEMO STEP DOWN FLOOR

12" STEP DN

DEMO STEP DOWN FLOOR

12'-0 1/2"

6" STEP DN

12" STEP DN

EXT'G BATH
8' CLG

EXT'G BEDROOM
8' CLG

DEMO STONE VENEER AND FIREPLACE INCLUDING CHIMNEY ABOVE FIREPLACE IN BASEMENT TO REMAIN AND SEALED OFF. ELECTRIC INSERT TO BE INSTALLED.

DINING ROOM
8' CLG

SCREEN PORCH
8' CLG

CONCRETE FLOOR TO REMAIN

24'-0 1/2"

EXT'G BATH
8' CLG

FOYER
8' CLG

EXT'G BEDROOM
8' CLG

EXT'G BEDROOM
8' CLG

KITCHEN
8' CLG

COVERED PORCH
8' CLG

DEMO NOTES:
 DEMO ALL TRIM
 DEMO ALL FLOOR COVERING
 DEMO ALL DRYWALL
 DEMO ALL ELECTRICAL INCLUDING WIRING
 DEMO ALL PLUMBING INCLUDING WATER & WASTE PIPES
 DEMO ALL HVAC INCLUDING DUCTWORK AND UNITS
 DEMO KITCHEN INCLUDING APPLIANCES
 DEMO ROOF INCLUDING SHINGLES AND RAFTERS
 DEMO ALL INTERIOR FRAMED WALLS
 DEMO WINDOWS AND EXTERIOR DOORS
 DEMO EXTERIOR SIDING

EXISTING FIRST FLOOR & DEMO

SCALE: 1/4" = 1'-0"

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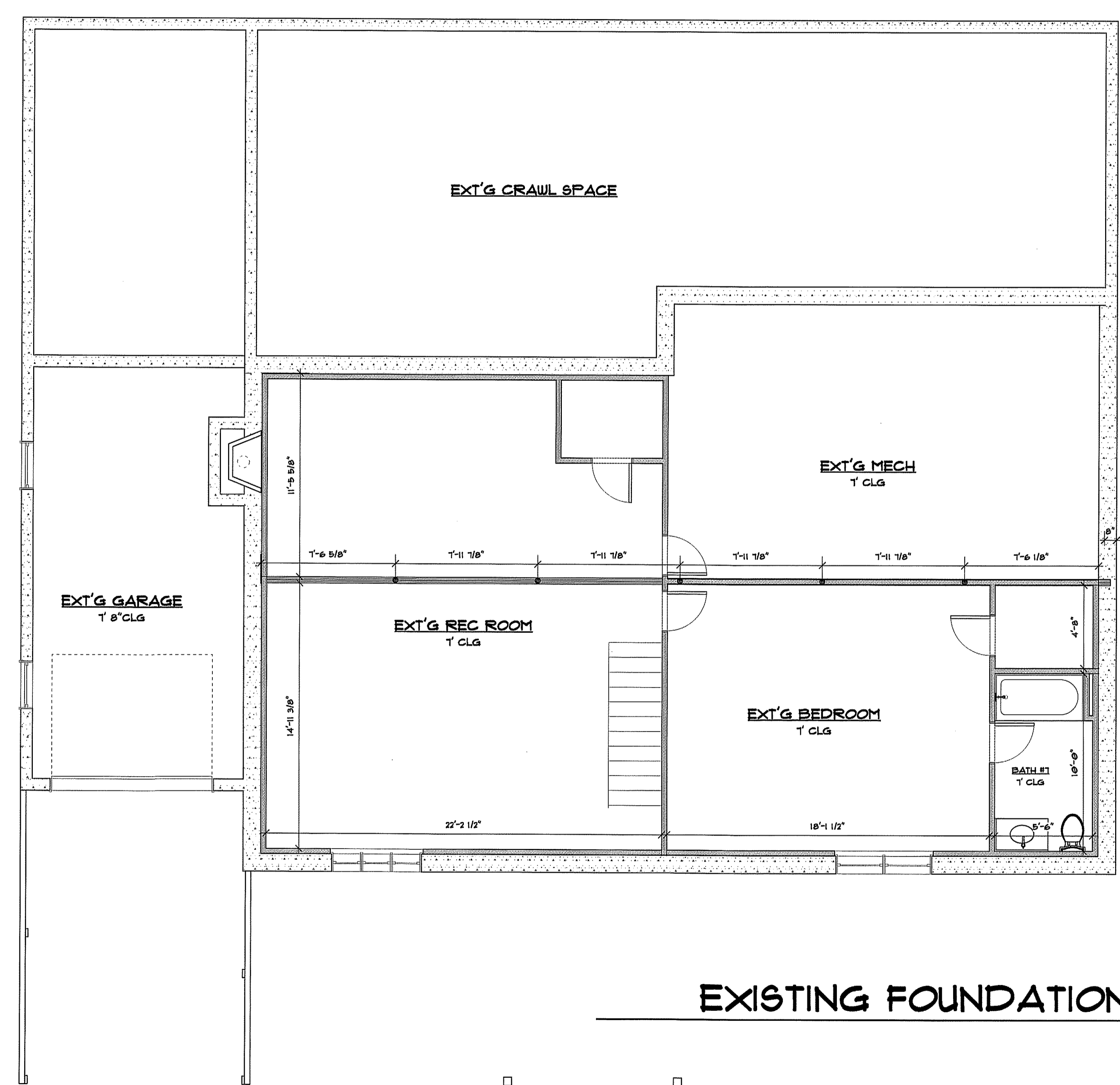
DATE: 12/13/23



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**ADDITION/REMODEL FOR
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 BUILDING SITE:**
 3018 FRIENDS ROAD
 ANNAPOLIS, MD 21401

SHEET
A009



DEMO NOTES:
 DEMO ALL TRIM
 DEMO ALL FLOOR COVERING
 DEMO ALL DRYWALL
 DEMO ALL ELECTRICAL INCLUDING WIRING
 DEMO ALL PLUMBING INCLUDING WATER & WASTE PIPES
 DEMO ALL HVAC INCLUDING DUCTWORK AND UNITS
 DEMO KITCHEN INCLUDING APPLIANCES
 DEMO ROOF INCLUDING SHINGLES AND RAFTERS
 DEMO ALL INTERIOR FRAMED WALLS
 DEMO WINDOWS AND EXTERIOR DOORS
 DEMO EXTERIOR SIDING

EXISTING FOUNDATION & DEMO

SCALE: 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION. I HEREBY
 CERTIFY THAT THESE DOCUMENTS WERE
 PREPARED OR APPROVED BY ME, AND THAT I
 AM DULY LICENSED PROFESSIONAL ENGINEER
 UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 16240, EXPIRATION DATE: 11/5/24

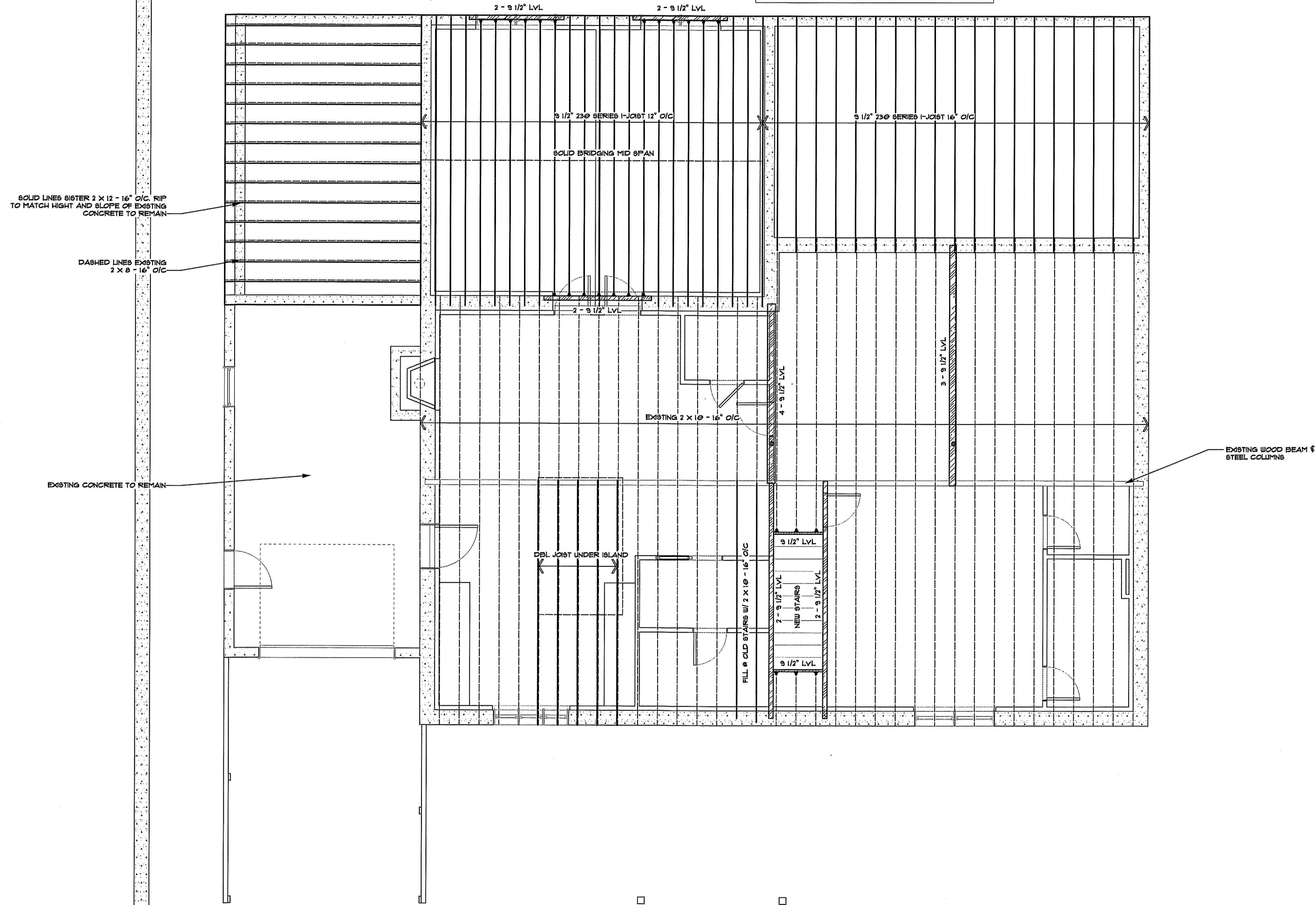


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**ADDITION/REMODEL FOR
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 BUILDING SITE:
 3018 FRIENDS ROAD
 ANNAPOLIS, MD 21401

DATE: 12/13/23

REVISIONS



SOLID LINES SISTER 2 X 12 - 16\"/>

DASHED LINES EXISTING 2 X 8 - 16\"/>

EXISTING CONCRETE TO REMAIN

DEL JOIST UNDER ISLAND

FILL & OLD STAIRS W/ 2 X 10 - 16\"/>

2 - 9 1/2\"/>

NEW STAIRS

2 - 9 1/2\"/>

EXISTING WOOD BEAM & STEEL COLUMN

FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

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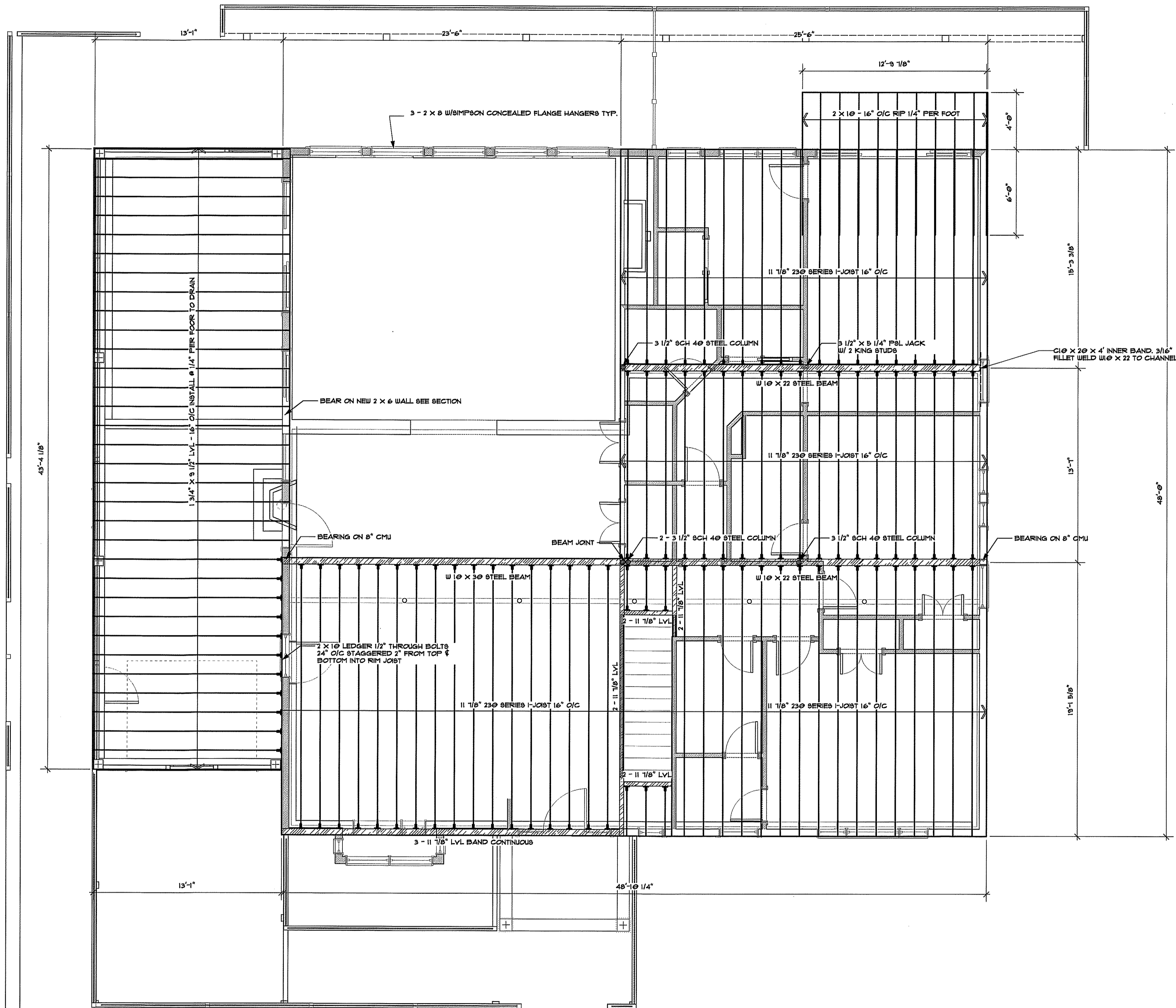
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 PHONE: 443-995-5585
 DRAWN BY: MICHAEL STEVENSON

**ADDITION/REMODEL FOR
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 BUILDING SITE:**
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DATE: 12/13/23

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SHEET
3001



SECOND FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"

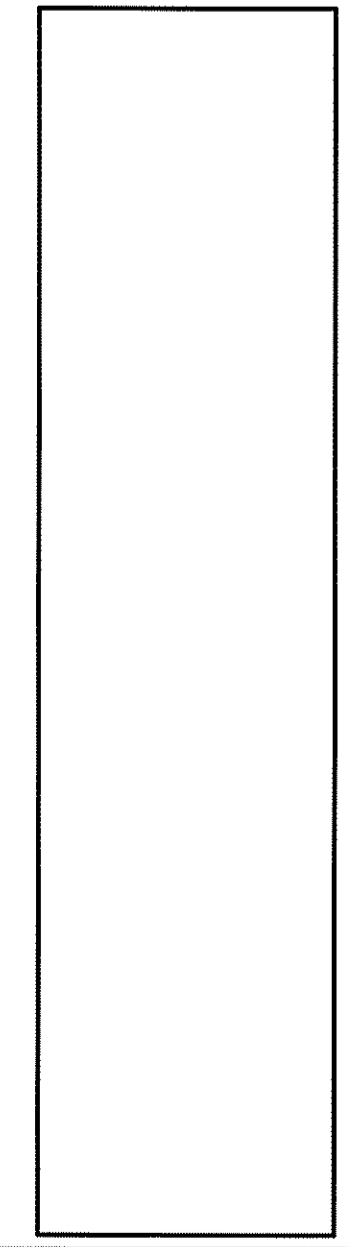
PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16249, EXPIRATION DATE 11/5/24



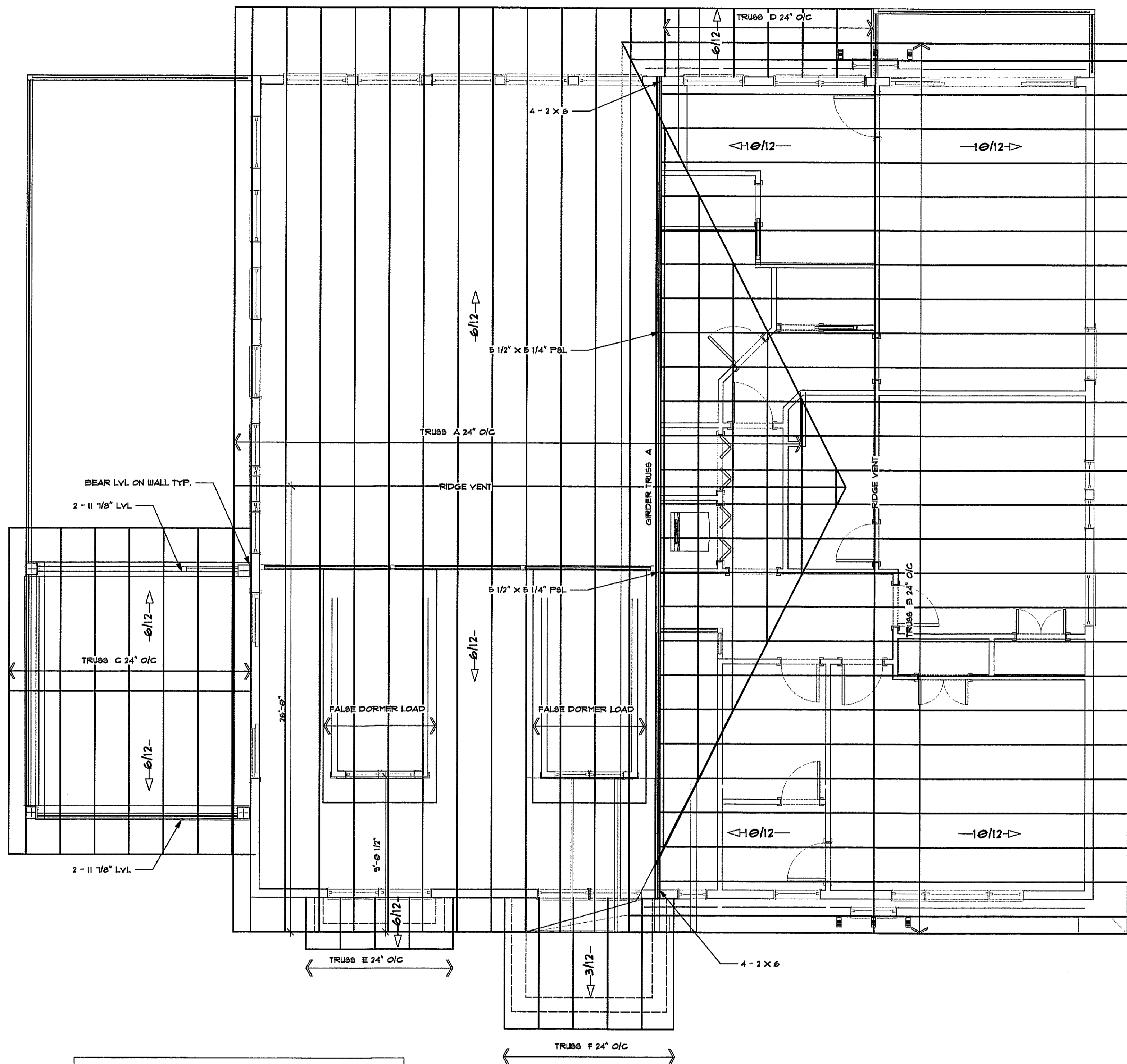
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**ADDITION/REMODEL FOR
SALKELD FAMILY RETREAT
BUILDING SITE:**
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ANNAPOLIS, MD 21401



SHEET
5002

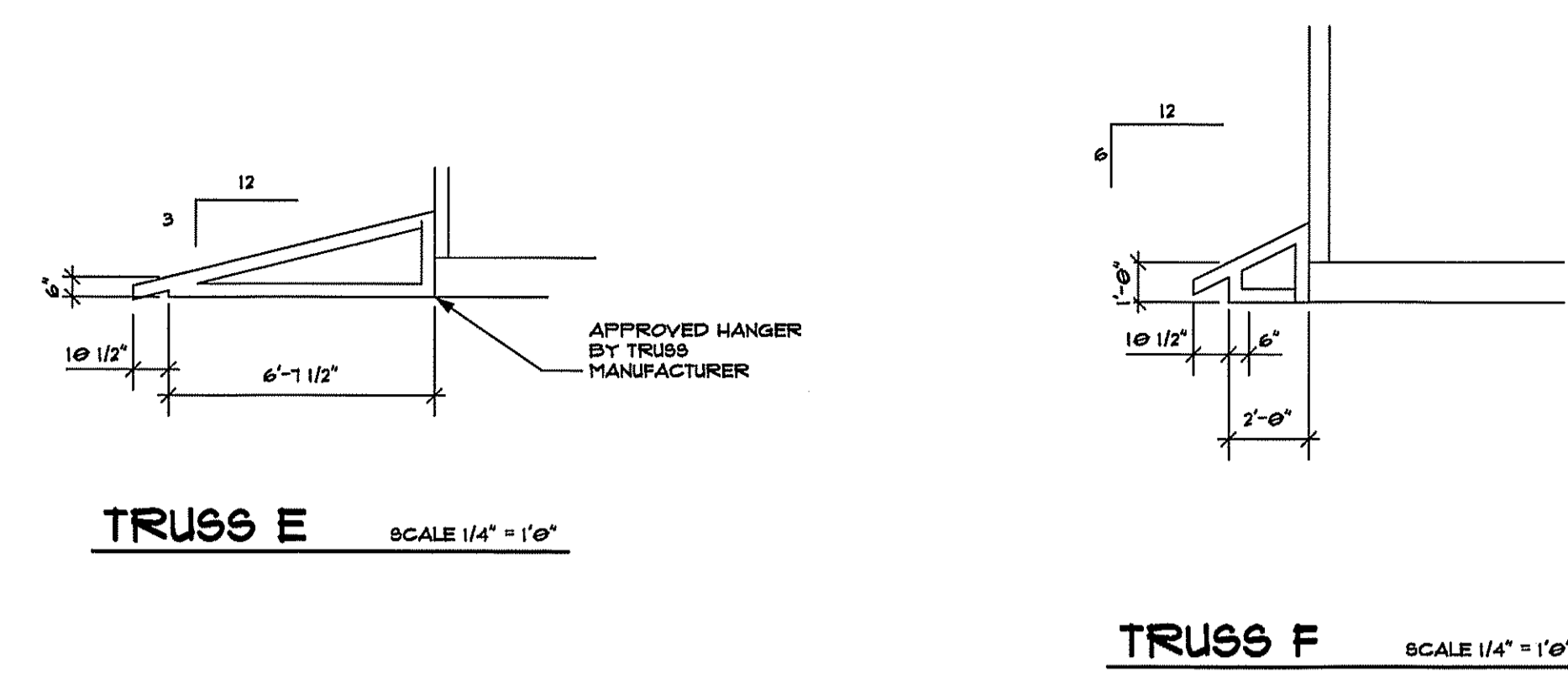


NOTE:
 TRUSS DRAWINGS SHOW DESIGN INTENT ONLY. FINAL TRUSS DESIGN TO BE ENGINEERED AND SEALED BY TRUSS MANUFACTURER. HEEL HEIGHT TO BE ADJUSTED WHERE NEEDED TO ALIGN FASCIA

NOTE:
 USE SIMPSON H-B TIE DOWN WITH 3 - 8D NAIL @ EACH TRUSS OR AS PER TRUSS MANUFACTURER

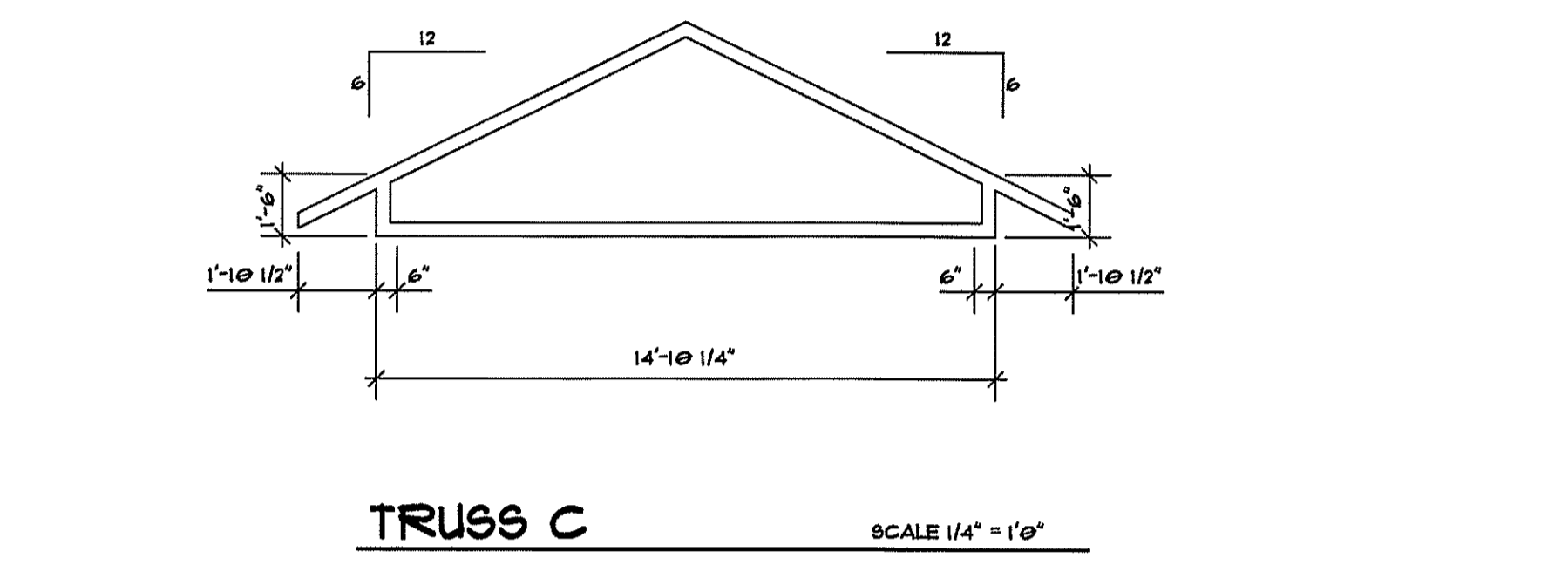
ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

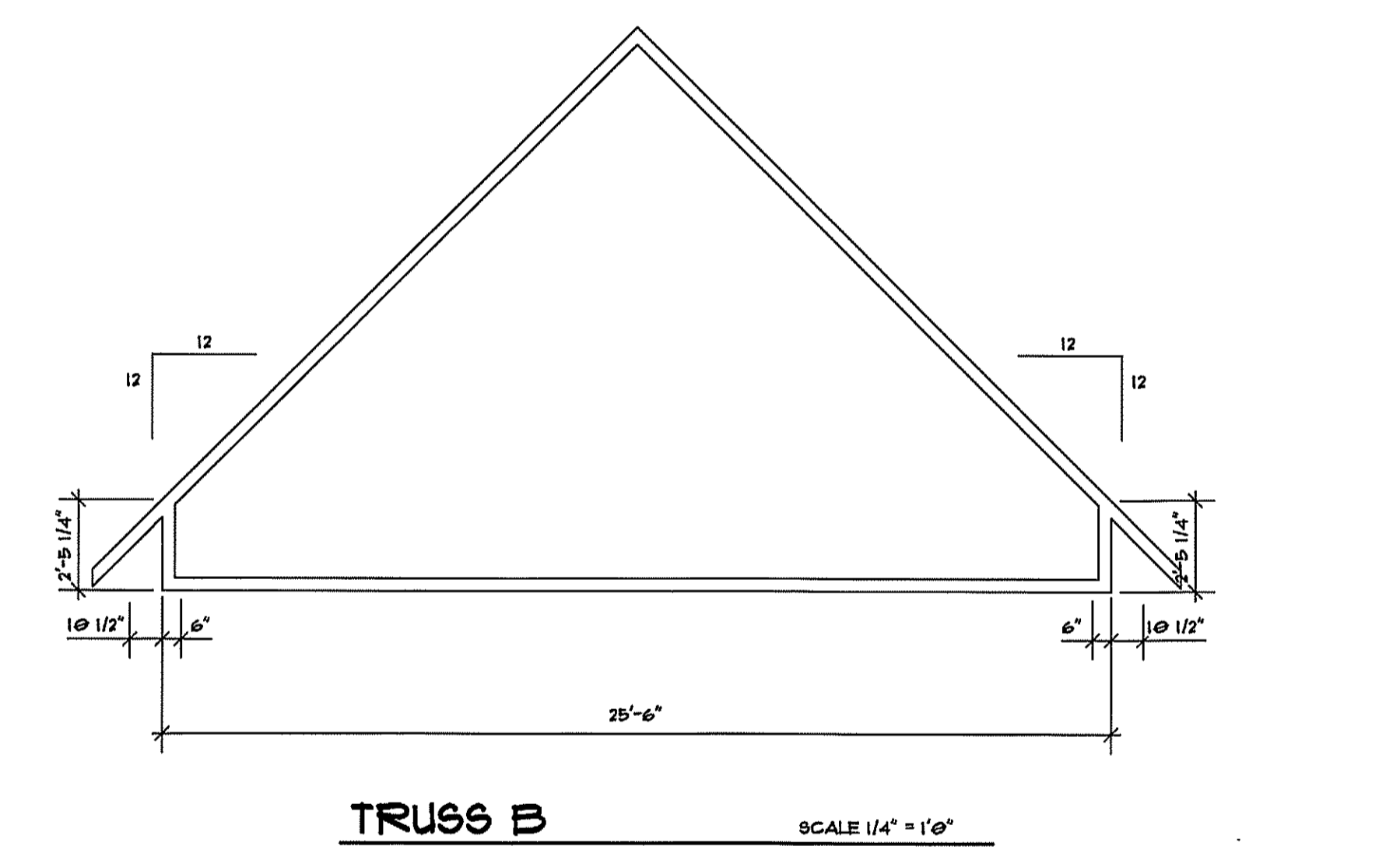


TRUSS E SCALE 1/4" = 1'-0"

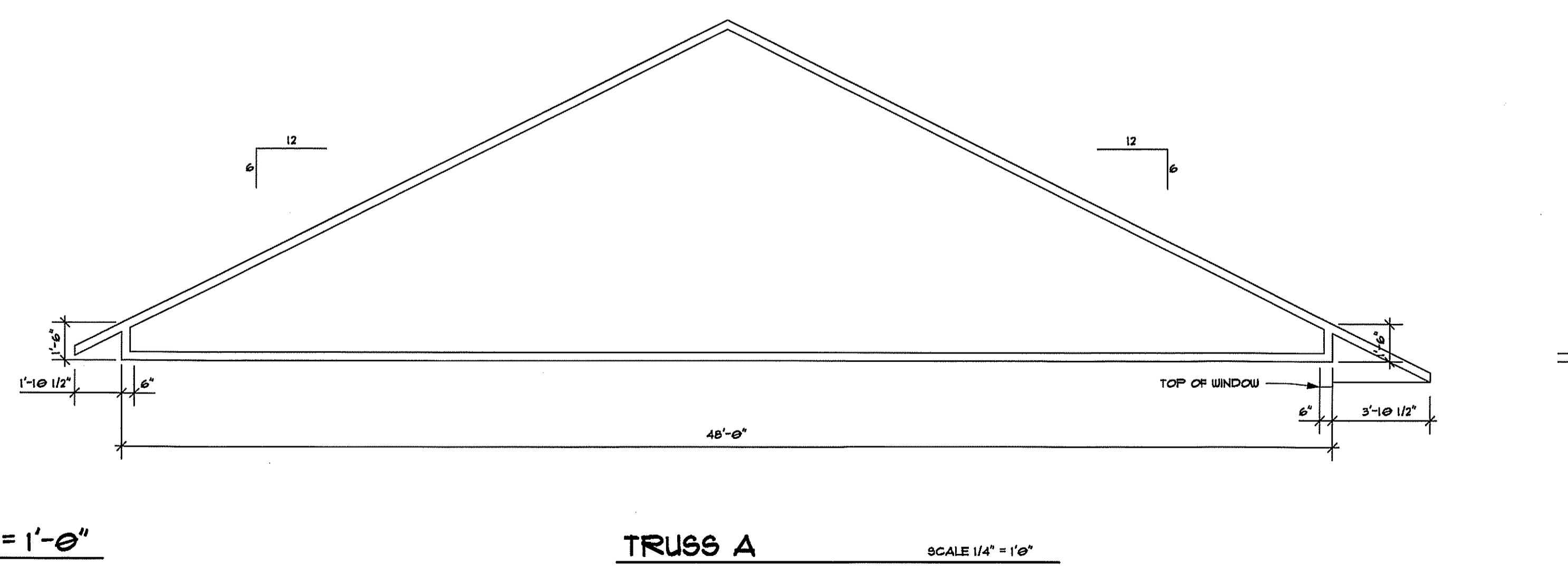
TRUSS F SCALE 1/4" = 1'-0"



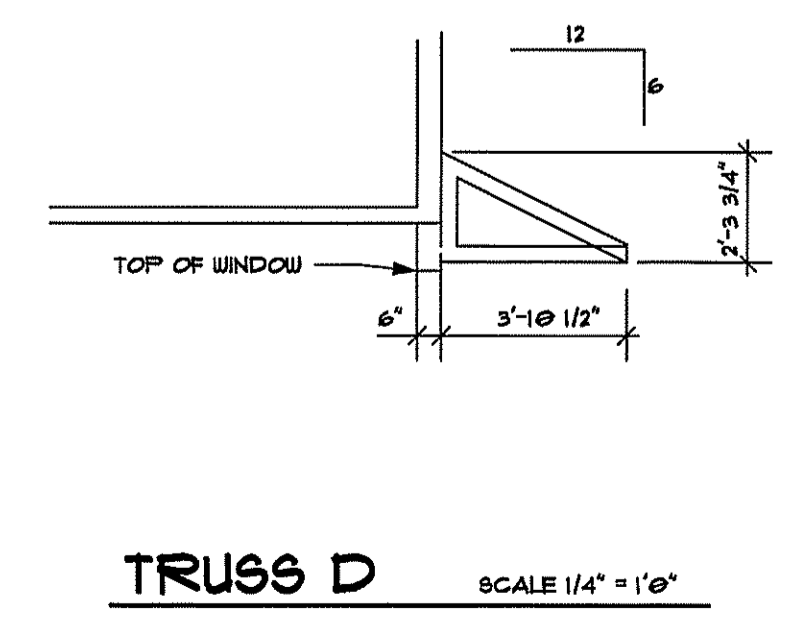
TRUSS C SCALE 1/4" = 1'-0"



TRUSS B SCALE 1/4" = 1'-0"



TRUSS A SCALE 1/4" = 1'-0"



TRUSS D SCALE 1/4" = 1'-0"

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 ANNAPOLIS, MD 21401
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 DRAWN BY: MICHAEL STEVENSON

**ADDITION/REMODEL FOR
 SALKELD FAMILY RETREAT
 BUILDING SITE:
 3018 FRIENDS ROAD
 ANNAPOLIS, MD 21401**

SHEET
5003

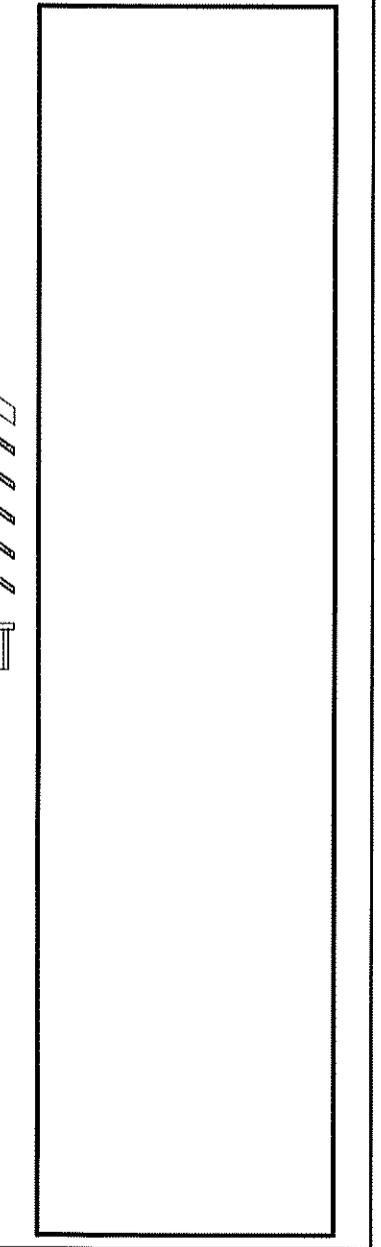
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DATE: 12/13/23
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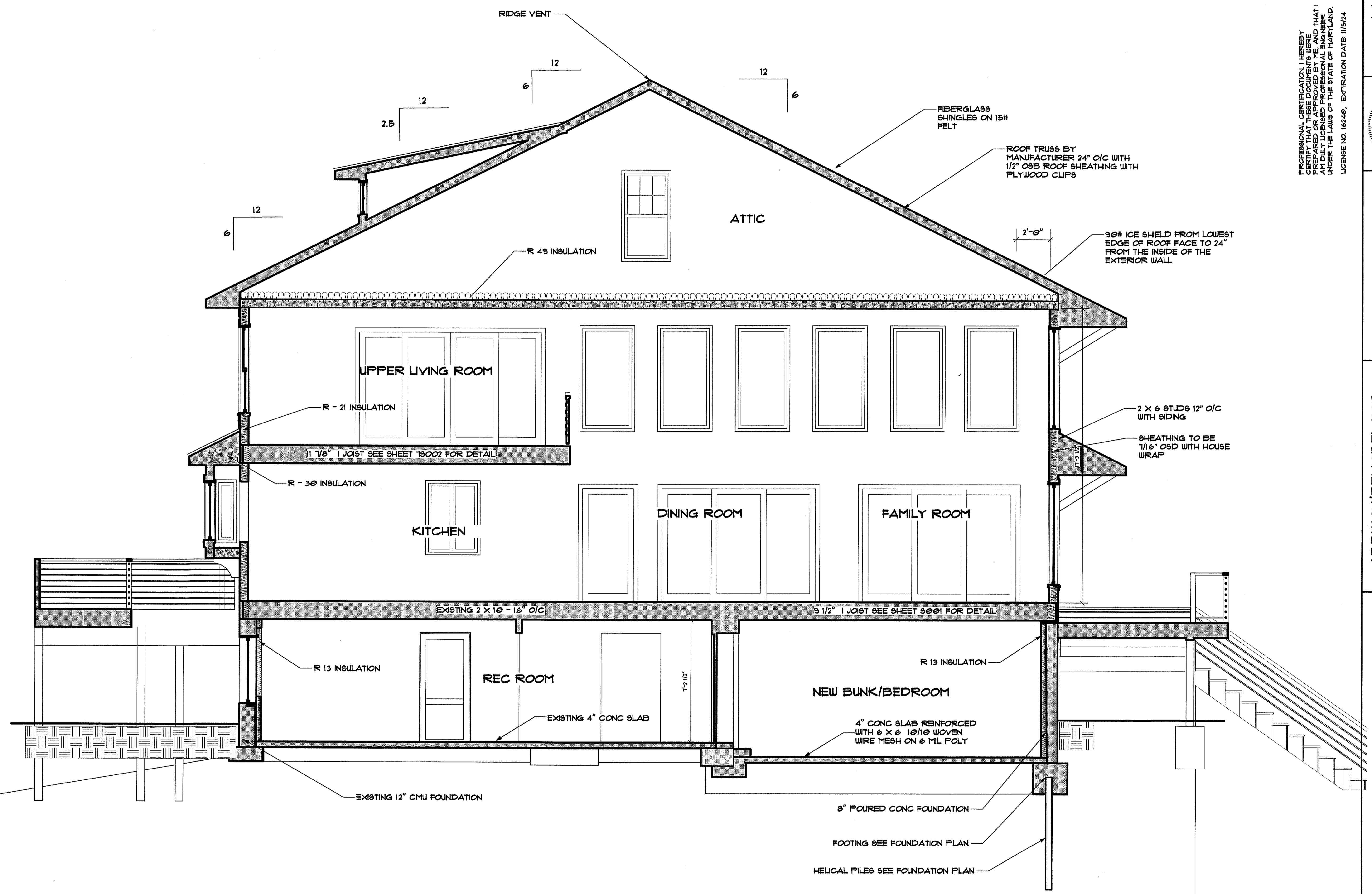


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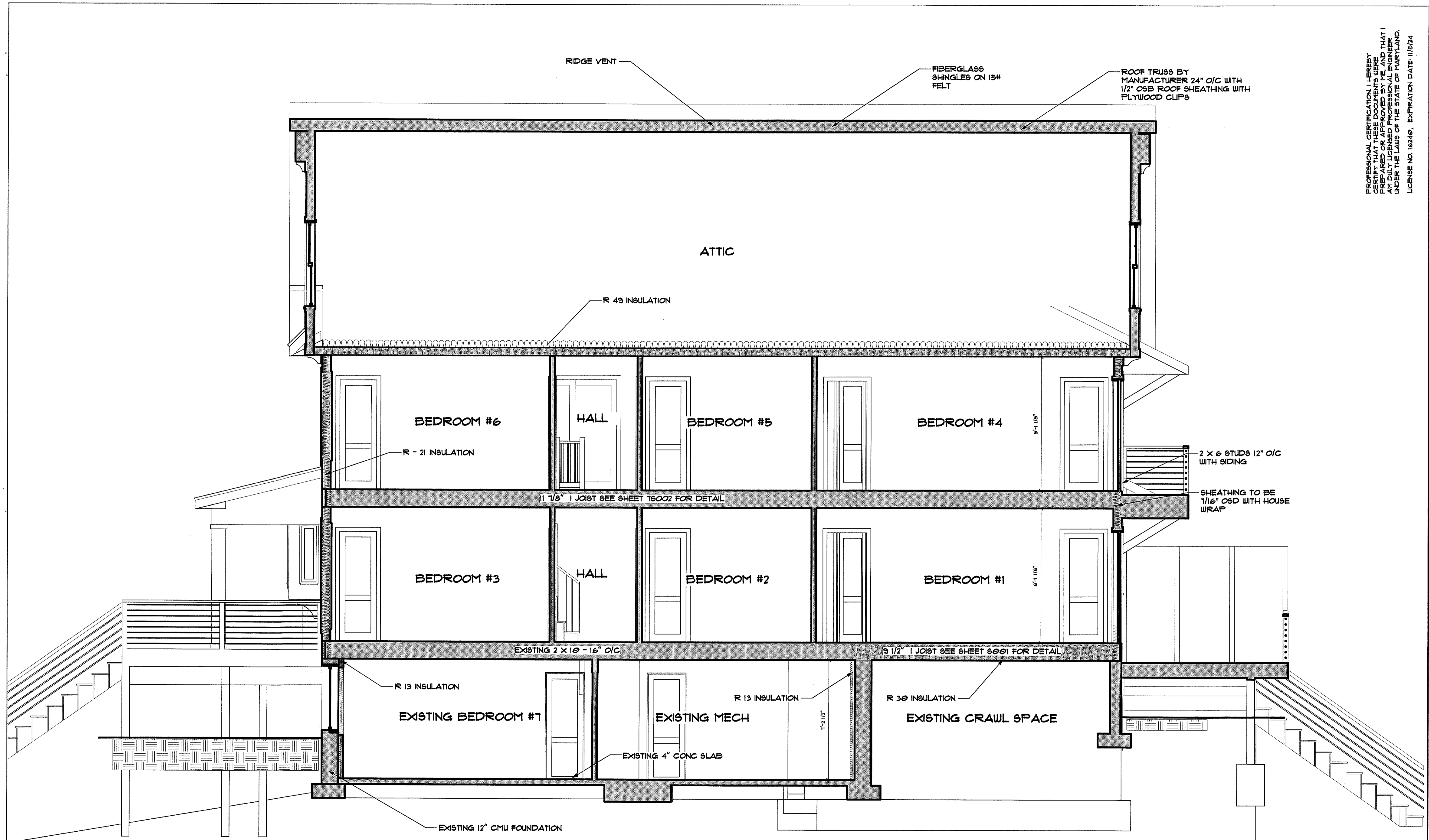
ADDITION/REMODEL FOR
SALKELD FAMILY RETREAT
BUILDING SITE:
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ANNAPOLIS, MD 21401



SHEET
5001



SECTION 1
1 SCALE: 3/8" = 1'-0"



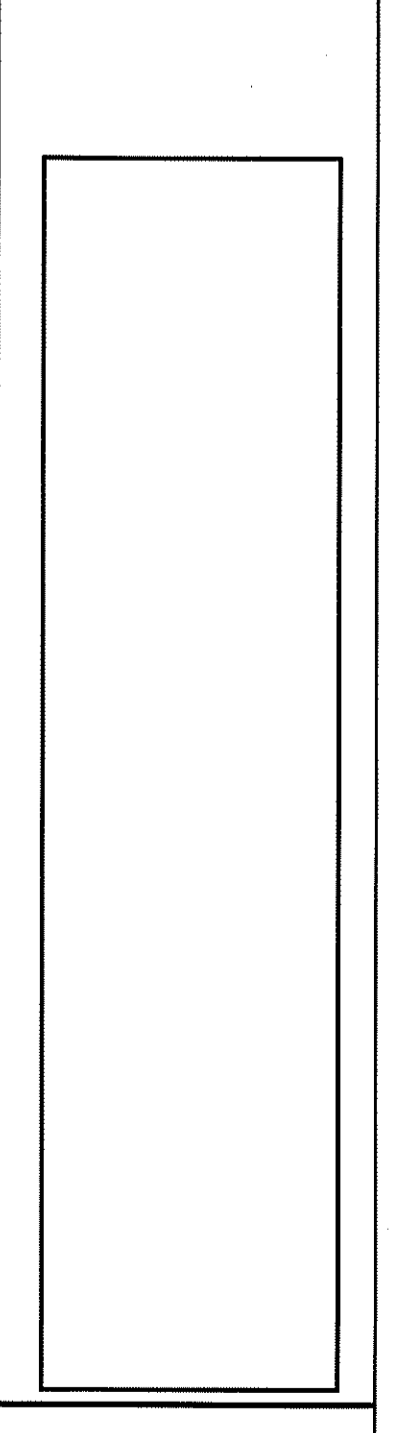
SECTION 2
 2 SCALE: 3/8" = 1'-0"

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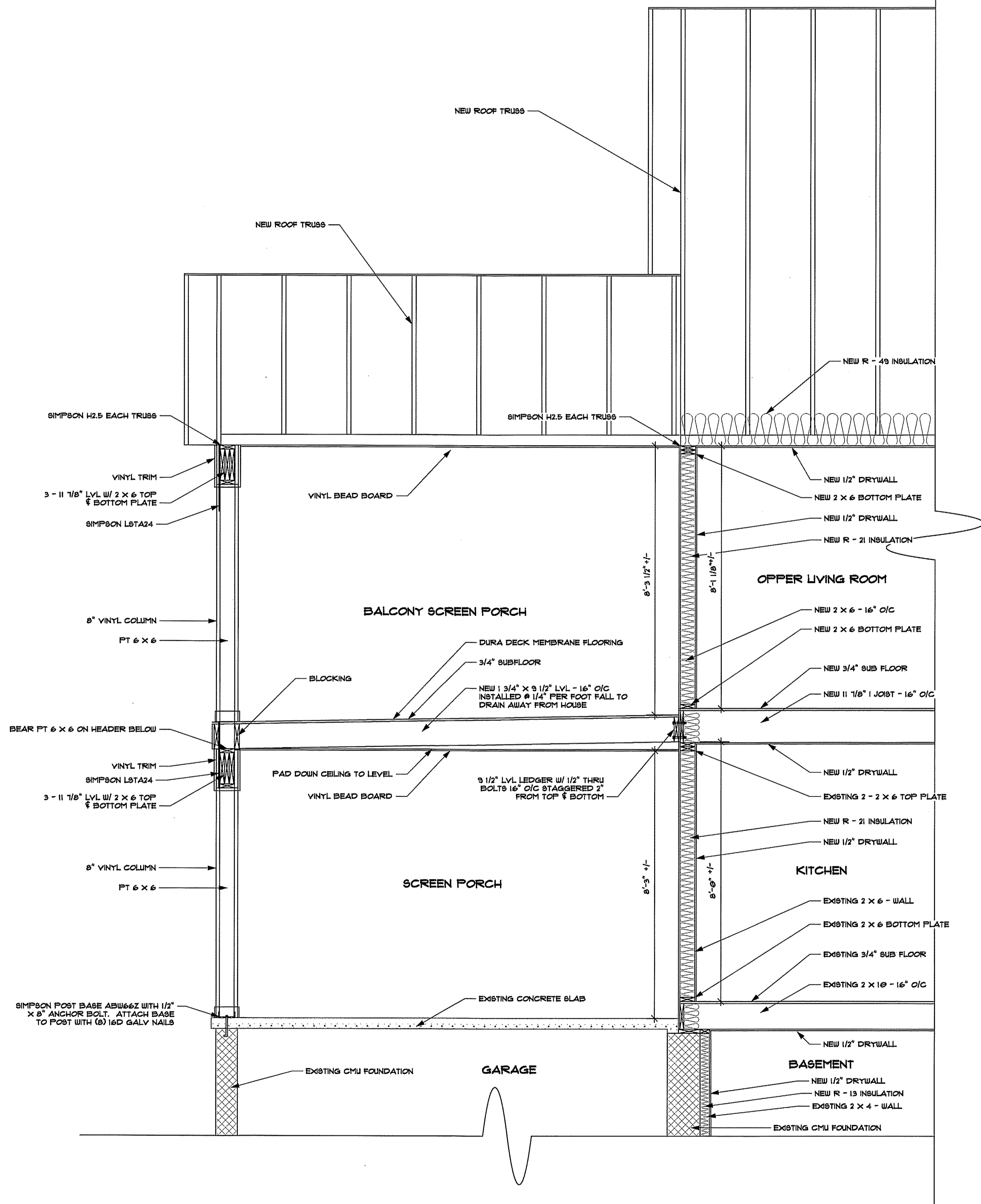
DATE: 12/13/23
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 PHONE: 443-995-5585
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**ADDITION/REMODEL FOR
 SALKELD FAMILY RETREAT**
 BUILDING SITE:
 3018 FRIENDS ROAD
 ANNAPOLIS, MD 21401



SHEET
5008



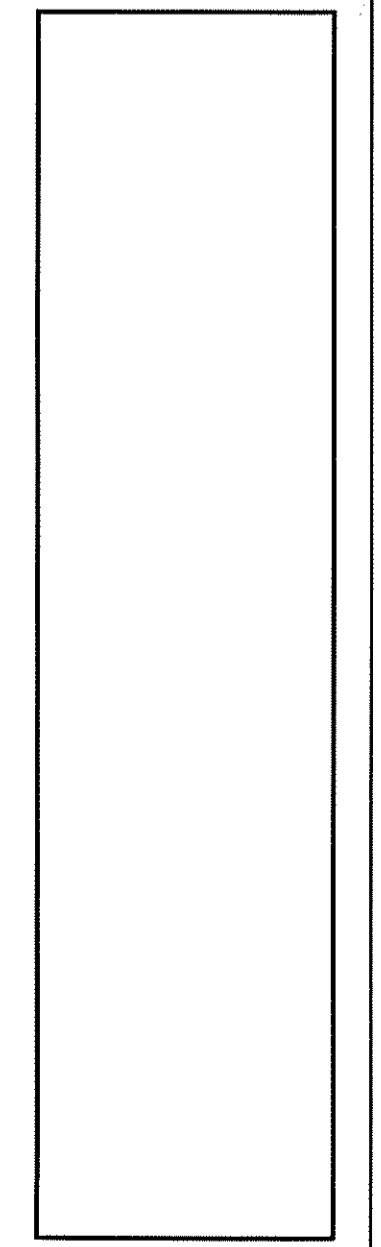
3 SECTION 3
SCALE: 1/2" = 1'-0"

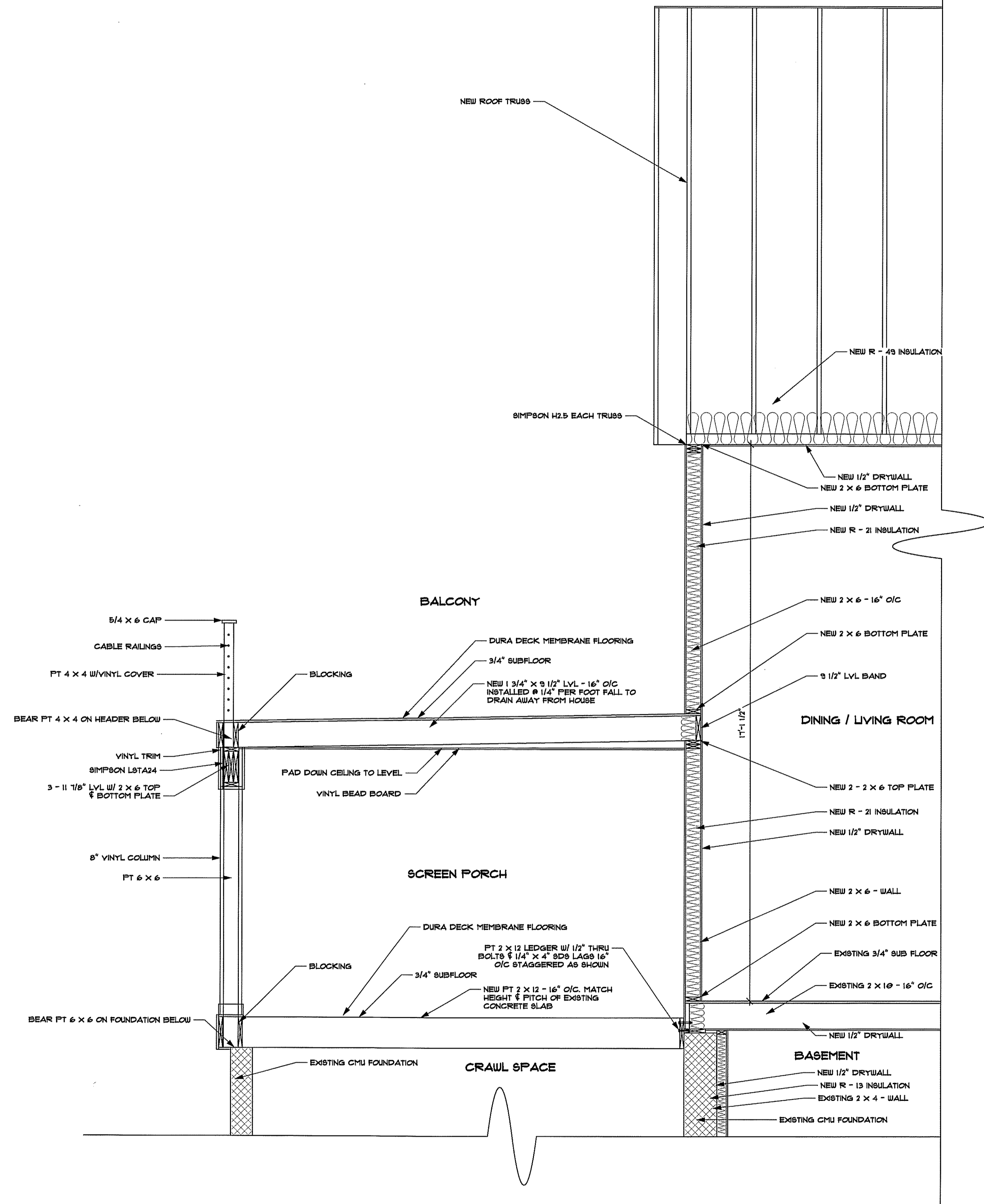
PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16249, EXPIRATION DATE: 11/5/24

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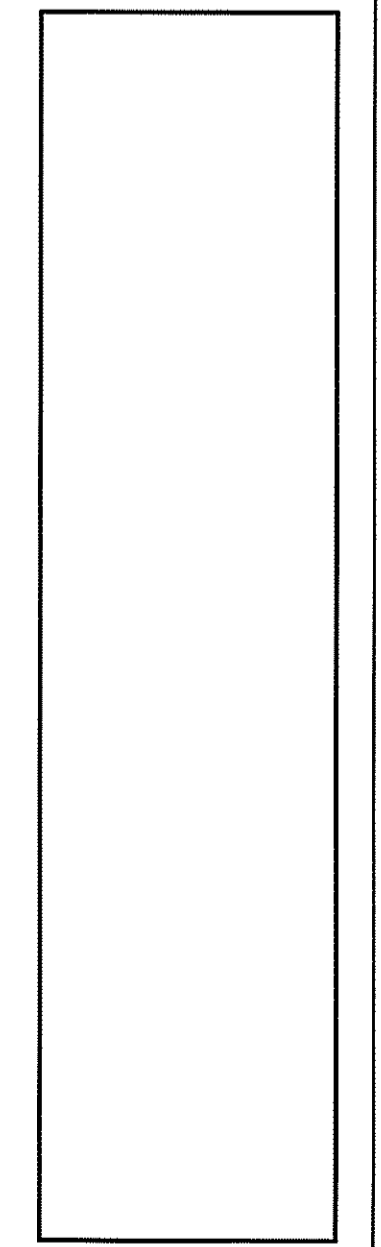
4 SECTION 4
SCALE: 1/2" = 1'-0"

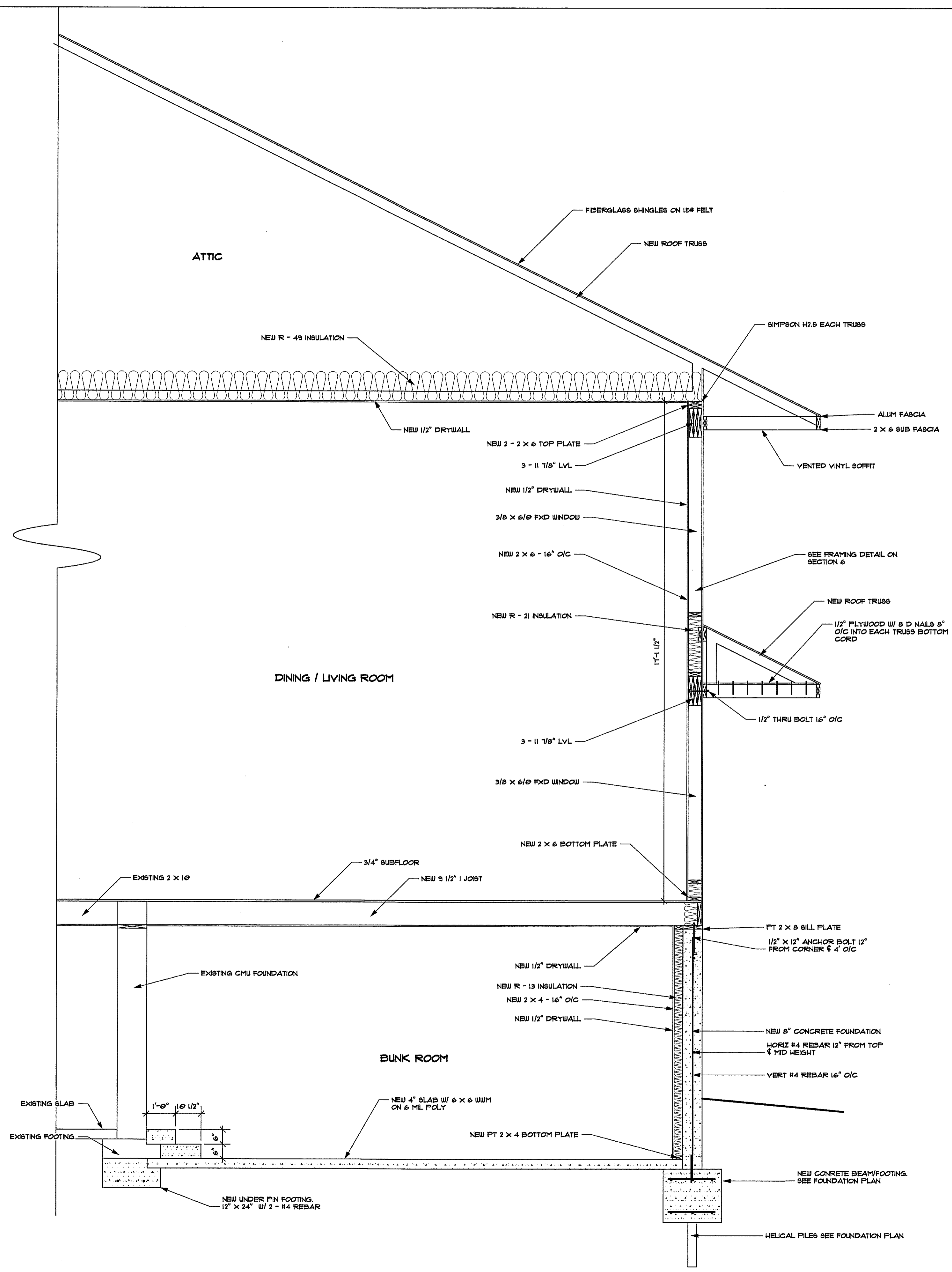
PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16246, EXPIRATION DATE: 11/5/24

DATE: 12/13/23
REVISIONS

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ADDITION/REMODEL FOR
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BUILDING SITE:
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ANNAPOLIS, MD 21401





5

SECTION 5
SCALE: 1/2" = 1'-0"

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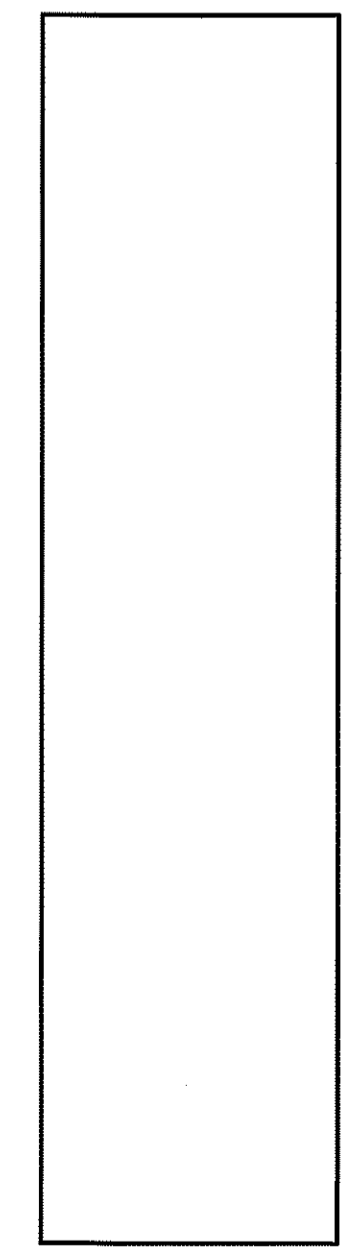


DATE: 12/13/23

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PHONE: 443-995-5555
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ADDITION/REMODEL FOR
SALKELD FAMILY RETREAT
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ANNAPOLIS, MD 21401

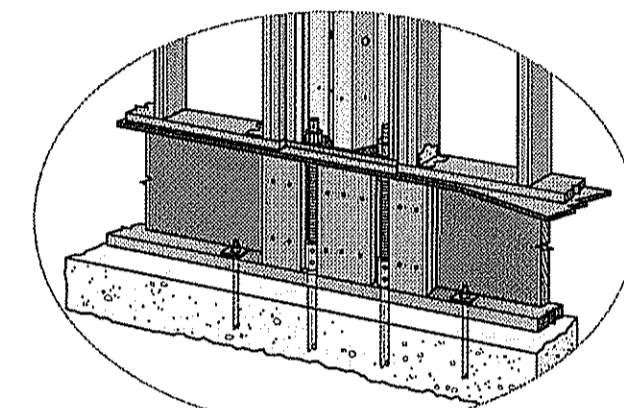


SHEET
S011

Steel Strong-Wall®: Balloon-Framing Application



STEEL STRONG-WALL®
See pages 77-78 for installation information.



Wood-Floor Installation
See page 17 for Wood-Floor Connection Kit at wood first story.

STEEL STRONG-WALL® BALLOON FRAMING - BOTTOM-WALL MODELS

Model No.	W (ft)	H (ft)	T (in)	Anchor Bolts Qty.	Ø (in)
SSW15x8-STK	15	93 1/4	3 1/2	2	1"
SSW15x10-STK	15	117 1/4	3 1/2	2	1"
SSW18x8-STK	18	93 1/4	3 1/2	2	1"
SSW18x10-STK	18	117 1/4	3 1/2	2	1"
SSW21x8-STK	21	93 1/4	3 1/2	2	1"
SSW21x10-STK	21	117 1/4	3 1/2	2	1"
SSW24x8-STK	24	93 1/4	3 1/2	2	1"
SSW24x10-STK	24	117 1/4	3 1/2	2	1"

- See page 16 for product data on top walls.
- See page 17 for First-Floor Connection Kit when installed on a wood first story.

BALLOON-FRAMING WALL CONNECTION KIT

Model No.	Contents
SSWBF-KT	(2) 1" x 25" Threaded Rods F1554 Grade 3B (4) Heavy Hex Nuts Installation Instructions

- Two heavy hex nuts included with each wall.

WOOD-BLOCK-TO-TOP-PLATE CONNECTION

Strong-Wall® Width	Total Connectors	Recommended Connectors
15" Wall	4 (2 Each Side)	
18" Wall	4 (2 Each Side)	Simpson Strong-Tie® LTP4 or A35
21" Wall	6 (3 Each Side)	
24" Wall	6 (3 Each Side)	

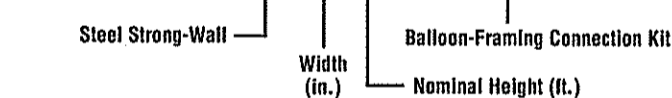
- Alternate connectors with equivalent shear capacity may be specified by the Designer.

T-SWP0010 ©2010 SIMPSON STRONG-TIE COMPANY INC.

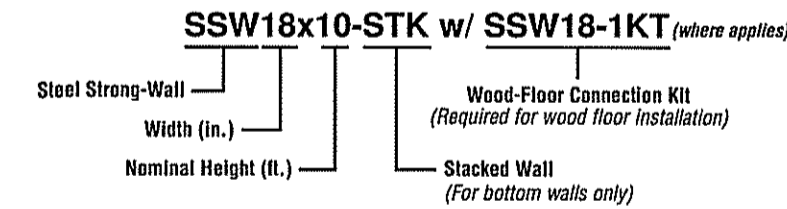
STACKED-WALL SOLUTION FOR BALLOON FRAMING

NAMING SCHEME

Top Wall: SSW18x8 w/ SSWBF-KT

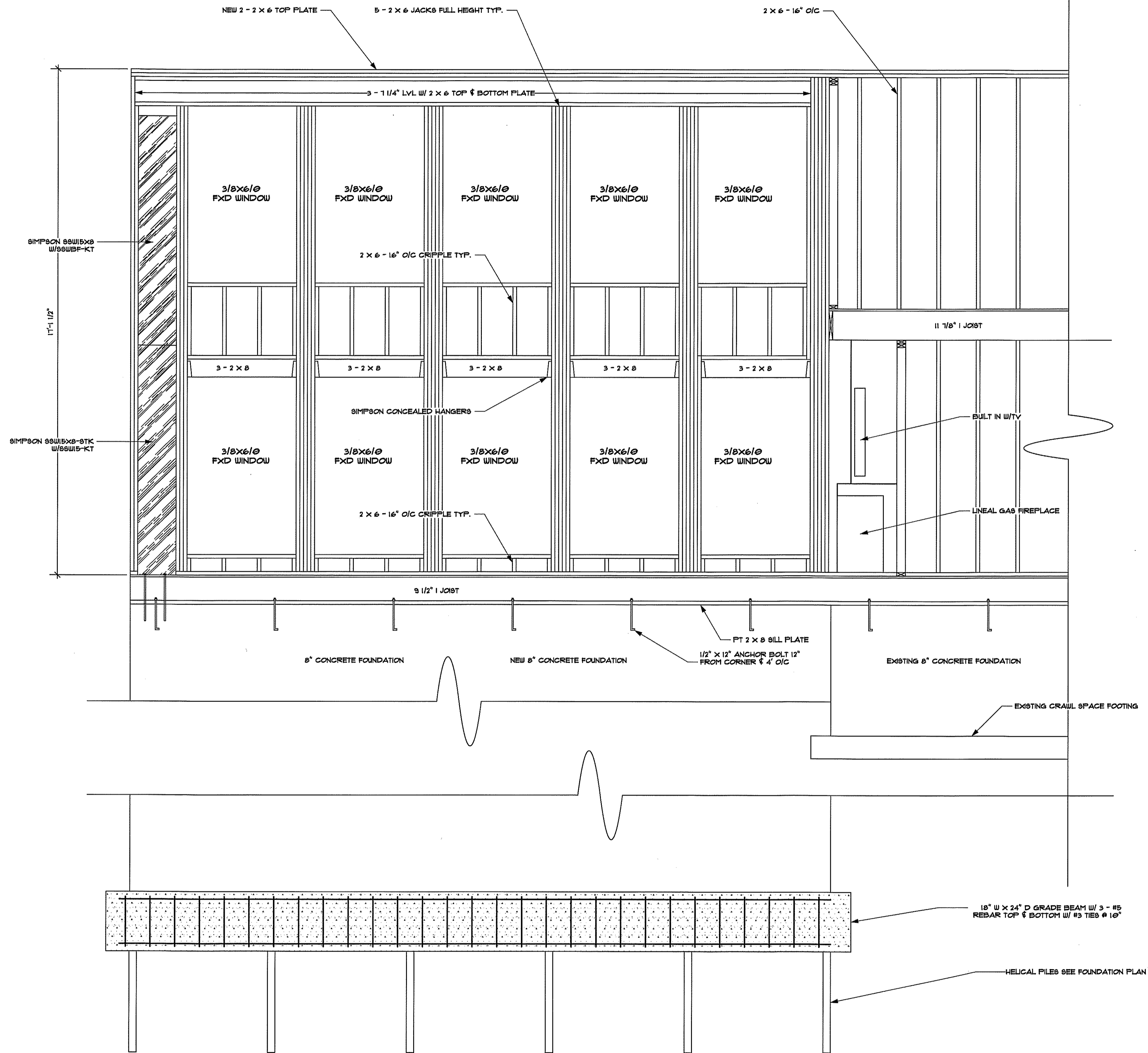


Bottom Wall: SSW18x10-STK w/ SSW18-1KT (where applicable)



Suggested Example Specification: SSW18x8 with SSWBF-KT over SSW18x10-STK

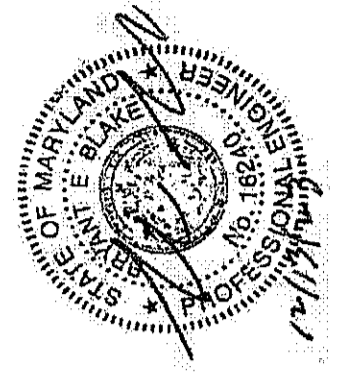
STRONG-WALL® SHEARWALLS PRESCRIPTIVE DESIGN GUIDE | 19



6 SECTION 6
SCALE: 1/2" = 1'-0"

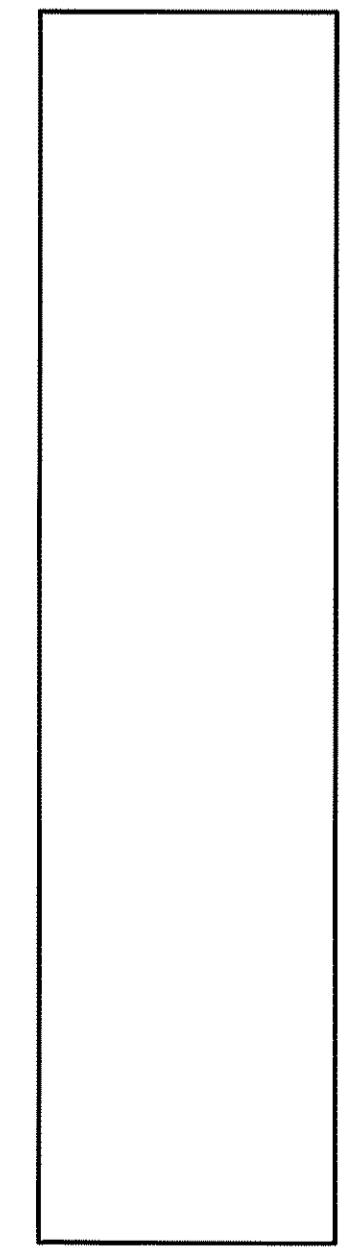
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 162246, EXPIRATION DATE: 11/8/24

DATE: 12/13/23

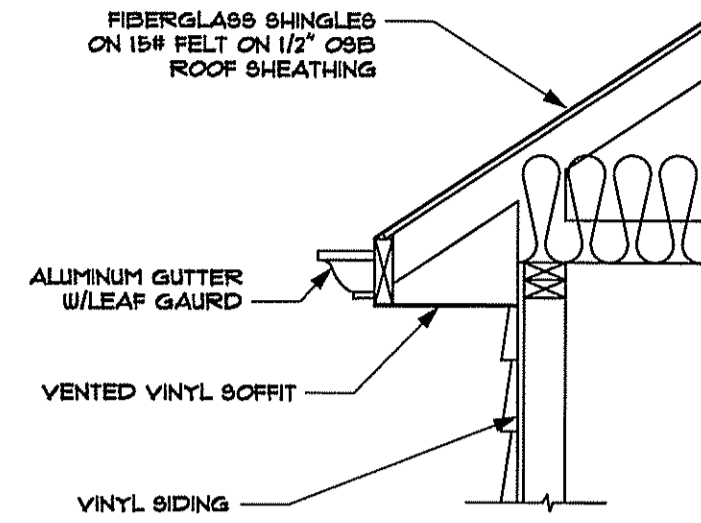


SUNSET DESIGN
591 MORAN COURT
ANNAPOLIS, MD 21401
PHONE: 443-998-9585
DRAWN BY: MICHAEL STEVENSON

**ADDITION/REMODEL FOR
SALKELD FAMILY RETREAT**
BUILDING SITE:
3018 FRIENDS ROAD
ANNAPOLIS, MD 21401

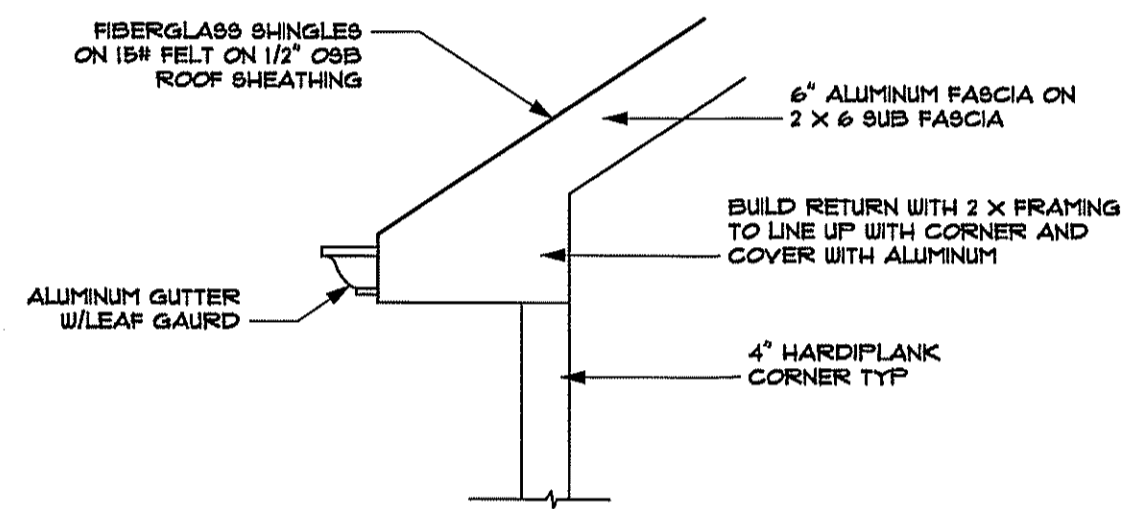


SHEET
S012



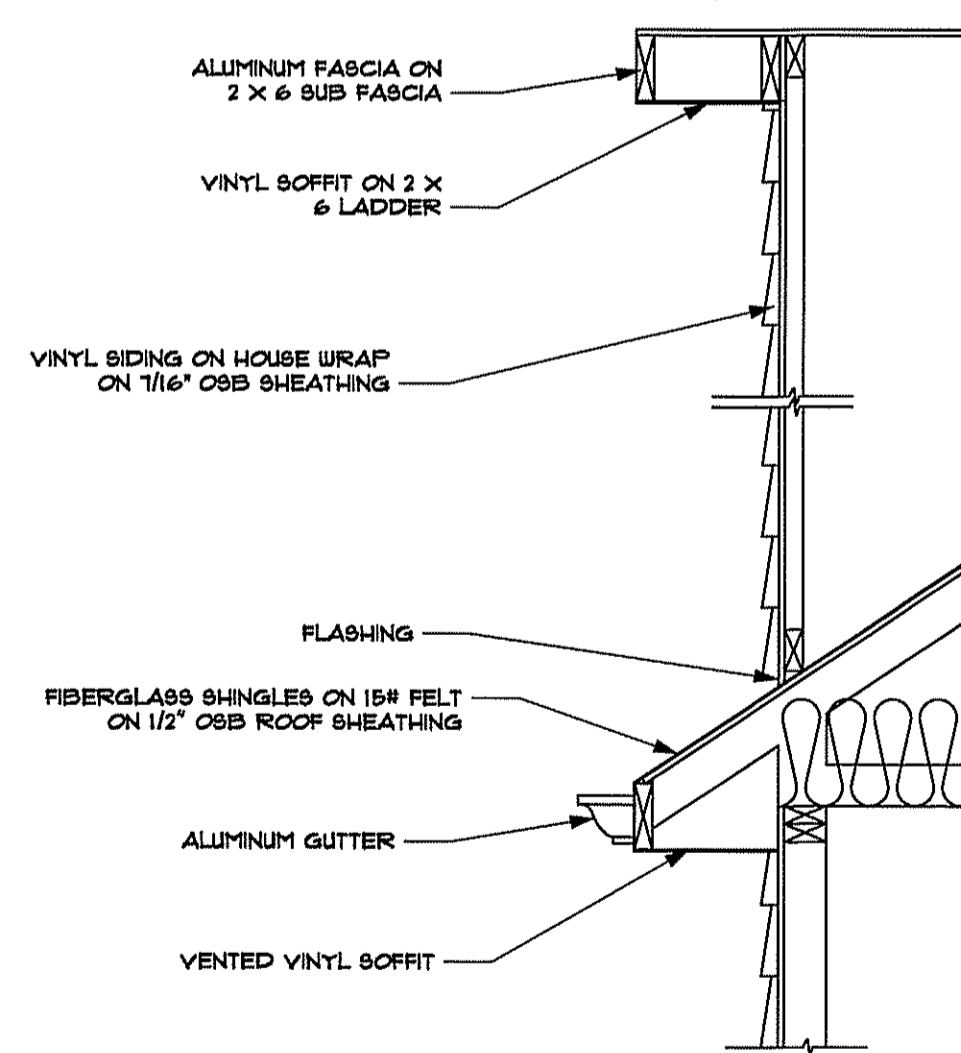
EAVE CORNICE DETAIL

SCALE: 3/4" = 1'-0"



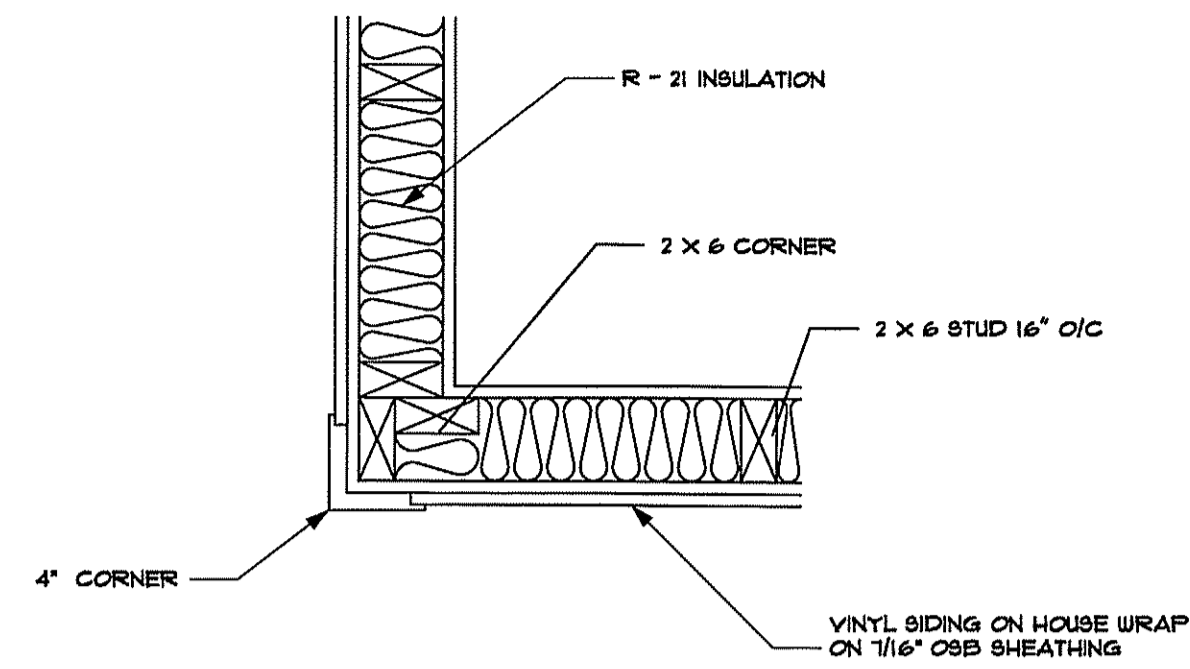
EAVE RETURN DETAIL

SCALE: 3/4" = 1'-0"



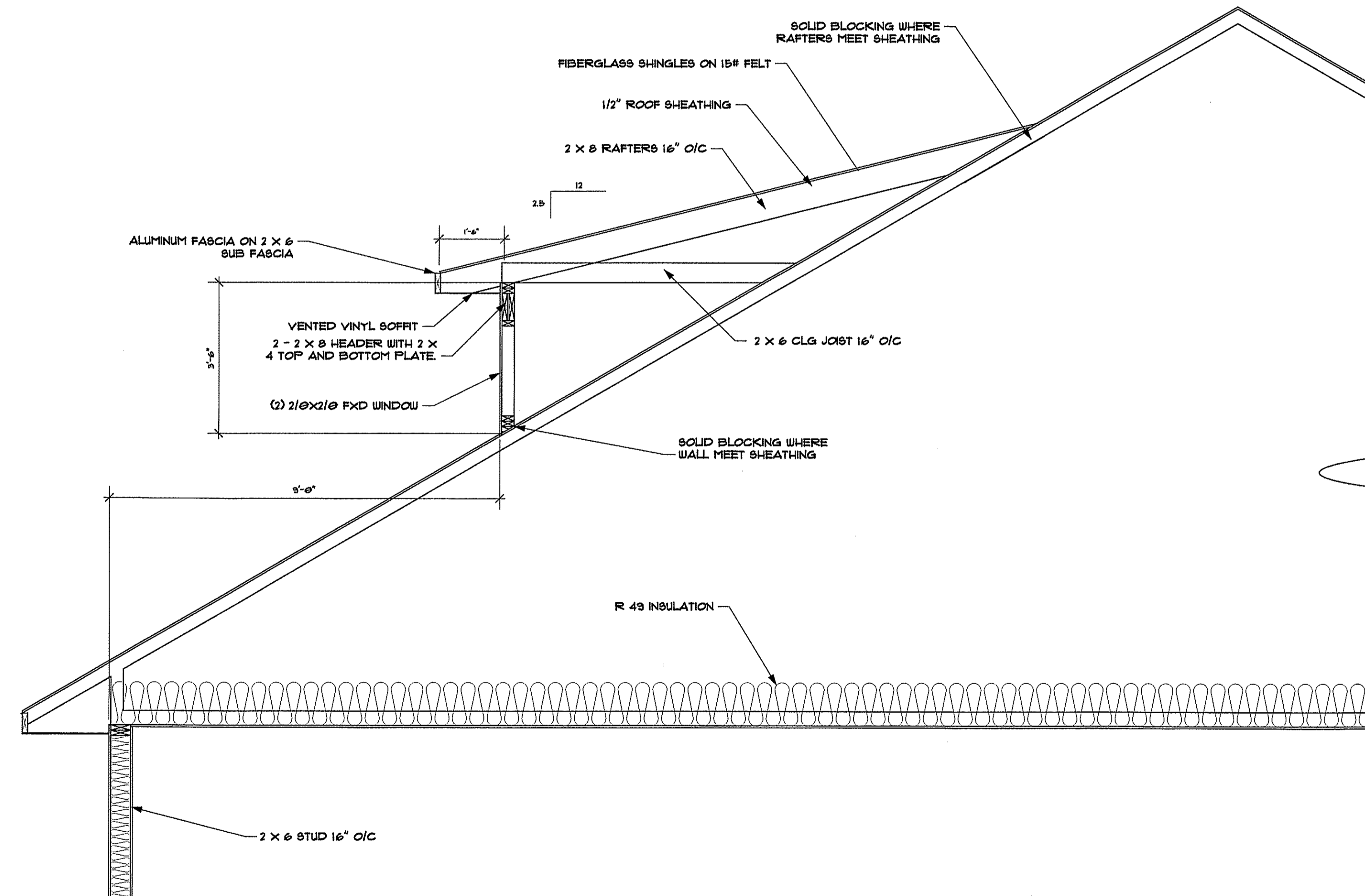
GABLE WITH SIDING

SCALE: 3/4" = 1'-0"



CORNER VINYL DETAIL

SCALE: 1-1/2" = 1'-0"

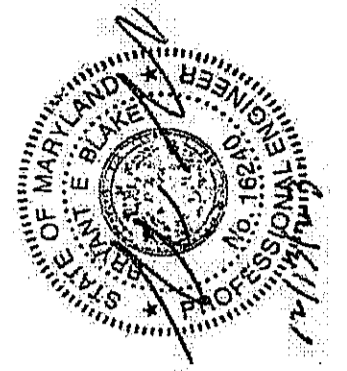


DORMER DETAIL

SCALE: 1/2" = 1'-0"

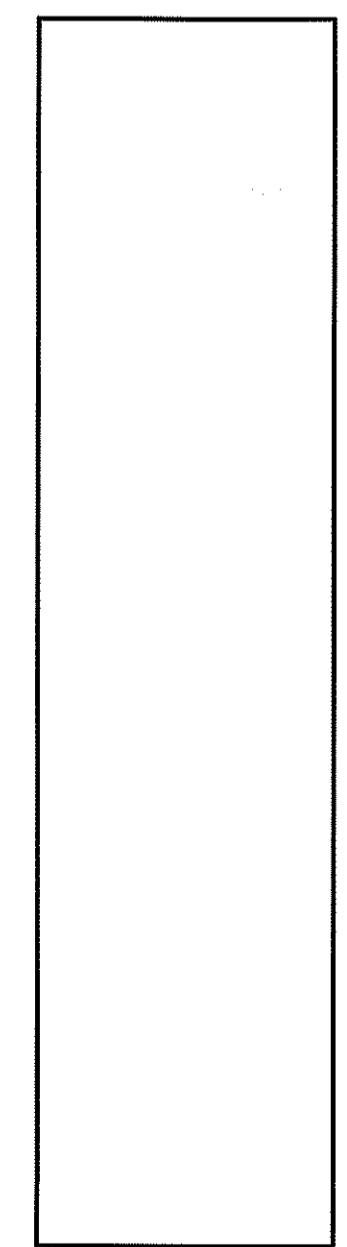
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DATE: 12/13/23

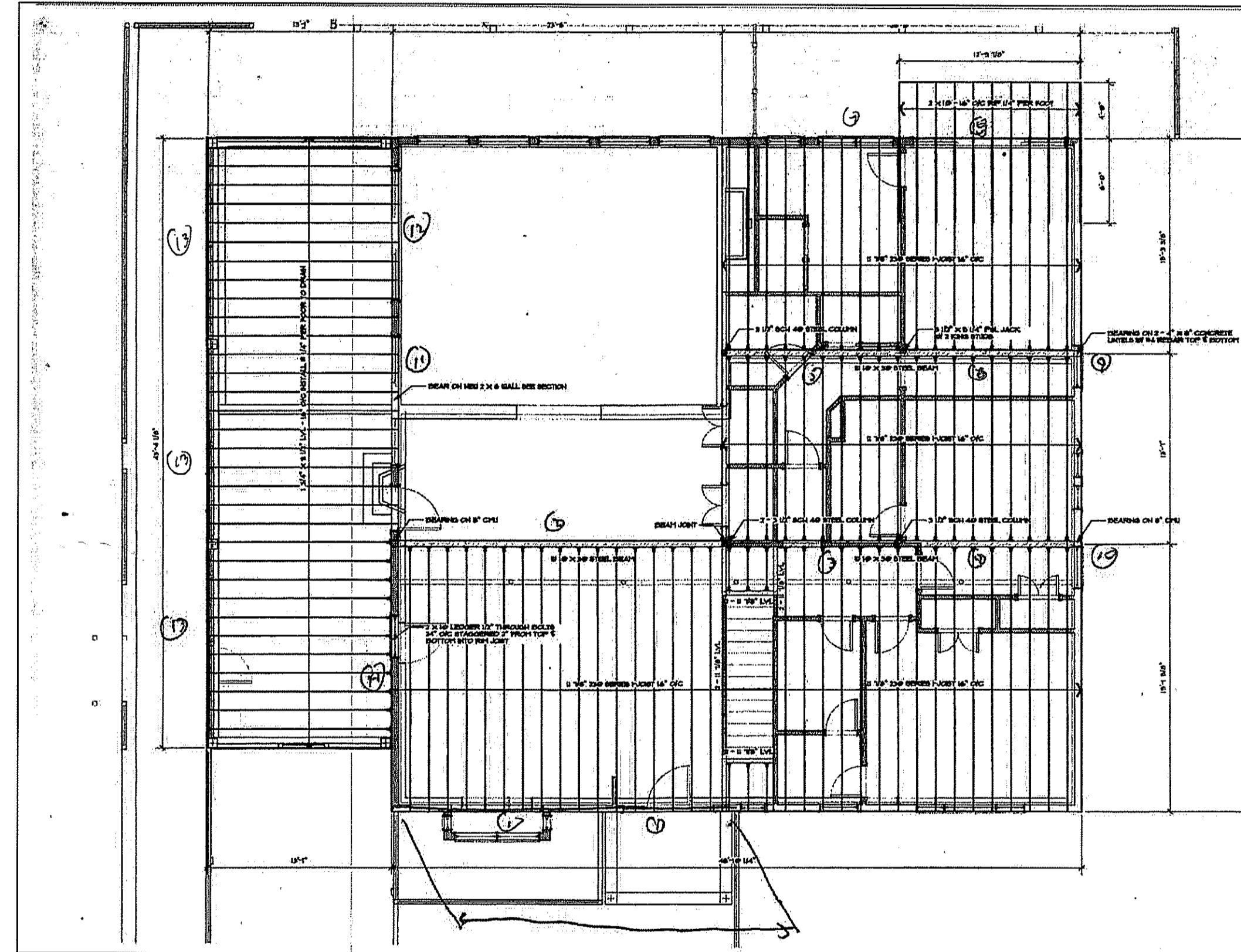


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**ADDITION/REMODEL FOR
SALKELD FAMILY RETREAT
BUILDING SITE:**
3018 FRIENDS ROAD
ANNAPOLIS, MD 21401



SHEET
5013



December 5, 2023
Salkeld Addition

Roof Framing

GTA
Rfront = 27.5/2 x 50 x 19/2 = 6531 lbs
R2 = 27.5/2 x 50psf x (19x5/8 + 14.5/2) = 13,148 lbs
R3 = 27.5/2 x 50 x 14.5x9/8 = 11215 lbs
R rear = 27.5/2 x 50 x 14.5/2 = 4984 lbs

Front double windows
Span = 6.5'
W = 46/2 x 50 + 20 = 1170 plf
M = 6.18 k-ft
R = 3802 lbs

Rear windows
Span = 4'
W = 1170 plf
M = 2.34 k-ft = 28.08 in-k
R = 2509 lbs

Left side porch roof
Span = 13'
W = 18/2 x 50 + 20 = 470 plf
M = 9.93 k-ft
R = 3055 lbs

2nd Floor Framing

Beam 1
Span = 11.5'
W = 46/2x42.5 + 19/2 x 40 + 100 = 1458 plf
M = 24.09 k-ft - use 3 - 11.875" LVL
R ends = 8384 lbs + 6531 = 14,915
R center = 20958 lbs

Page 2

Beam 2
Span = 23.5' = 282"
W = 19/2 x 50 + 40 = 515 plf
M = 35.55 k-ft
defl/1100 LL = 0.899"
I min = 115 in4 - use W10x30 I = 170, Mcap = 91.3 k-ft
R = 6051 lbs

Beam 3 and 4
Span = 12.5'
W = 33/2 x 50 + 30 = 855 plf
M = 16.7 k-ft
R = 5344 lbs
Use W10x22 Mcap = 64.8 k-ft
R center = 13,359 lbs

Beam 5 and 6
Span = 12.5'
W = 29/2 x 50 + 30 = 755 plf
M = 14.74 k-ft
R = 4719 lbs
Rcenter = 11,797 lbs

Beam 7
Span = 6'
W = 15/2 x 50 + 200 = 575 plf
M = 2.58 k-ft
R = 1725 lbs

Beam 8
Span = 10.5'
W = 19'x50 x9.5/15' + 50 = 652 plf
M = 8.98 k-ft
r = 3423 lbs

Page 3

Beam 9
Span = 3.5'
W = 27.5/2 x 50 + 100 = 788 plf
P = 4719 lbs at x = 0.75'
Rf = 2390 lbs
Rr = 5087 lbs
M = 3.8 k-ft

Beam 10
load is on wall

Beam 11 and 12
Span = 9.5'
W = 13.5/2 x 50 + 200 = 538 plf
M = 6.06 k-ft
R = 2556 lbs

Beam 13
Span = 14.25' = 171"
W = 13.5/2 x 50 + 20 = 358 plf
M = 9.07 k-ft
defl 2 - 11.875" LVL = 0.27" = L/632 - ok

Beam 14 front
Span = 10'
W1 = 200 plf x 0 to 4.5'
P = 3055lbs at x = 4.5'
W2 = 13/2 x 50 + 200 = 525 plf x = 4.5' to 10'
Rf = 3172 lbs
Rr = 3671 lbs
M = 12.25 k-ft

Beam 14 rear
Span = 10'
W = 525 plf
M = 6.56 k-ft
R = 2625 lbs
R center = 7870 lbs
Rrear = 2625 + 6051 + 3055 = 11,731 lbs

Page 4

Foundation design
Rear grade beam
Span = 4.67'
P = 1170plf x 4.33' = 5070 lbs
W = 200 + 450 = 650 plf
Mmax = 7.69 k-ft
Pmax = 8103 lbs
Ast min = 0.29 in2 - 3 - #5 ok
Vcap = 0.75(2)(3000)**0.5(18")(20") = 29577/2x1.4 = 10563 lbs - ok

Max point load
Front of girder truss = 6531 + 8384 = 14,915 lbs
2nd girder truss support = 13,184 + 6051 + 5344 = 24,579 lbs/3 piles = 8193 lbs
Right footing = 13,359 lbs

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 162149, EXPIRATION DATE: 11/5/24



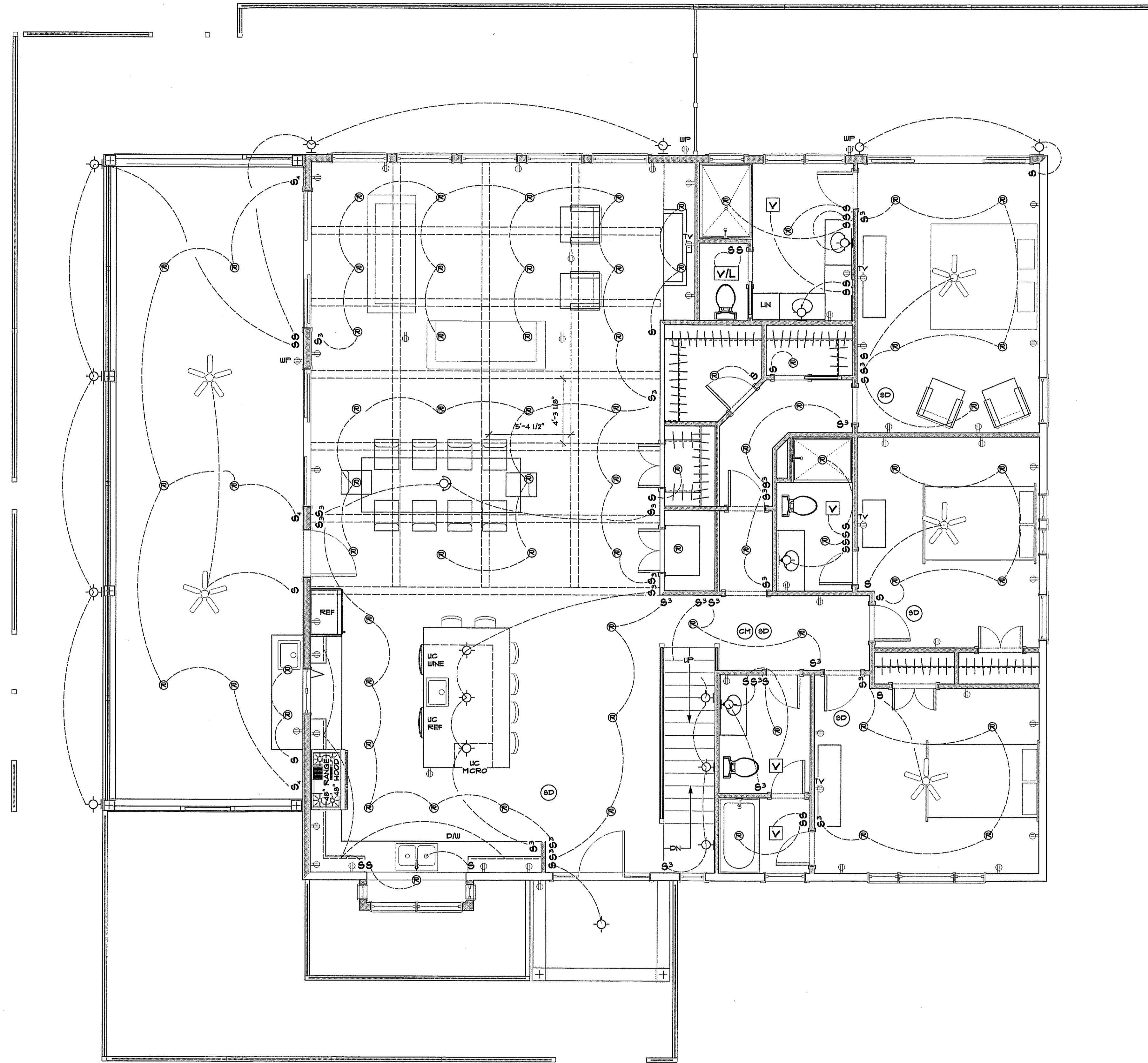
SUNSET DESIGN
591 MORAN COURT
ANNAPOLIS, MD 21401
PHONE: 443-995-5585
DRAWN BY: MICHAEL STEVENSON

ADDITION/REMODEL FOR
SALKELD FAMILY RETREAT
BUILDING SITE:
3018 FRIENDS ROAD
ANNAPOLIS, MD 21401

DATE 12/13/23

REVISIONS

SHEET
5013



LEGEND	
	RECEPTACLE
	1/2 SWITCHED RECEP
	WATER PROOF RECP
	RECESS LIGHT
	CEILING MOUNTED LIGHT
	CHANDELIER
	WALL MOUNTED LIGHT
	FLUORESCENT LIGHT
	BATH VENT
	BATH VENT / LIGHT
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	FUNCTION OF SWITCH
	SMOKE DETECTOR
	CEILING FAN

FIRST FLOOR ELECTRIC PLAN

SCALE: 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 162246, EXPIRATION DATE: 11/5/24

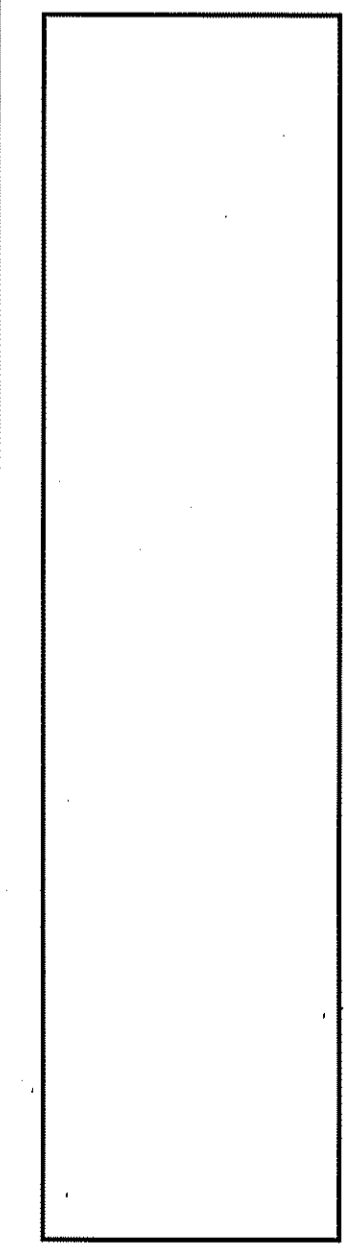


DATE: 12/13/23

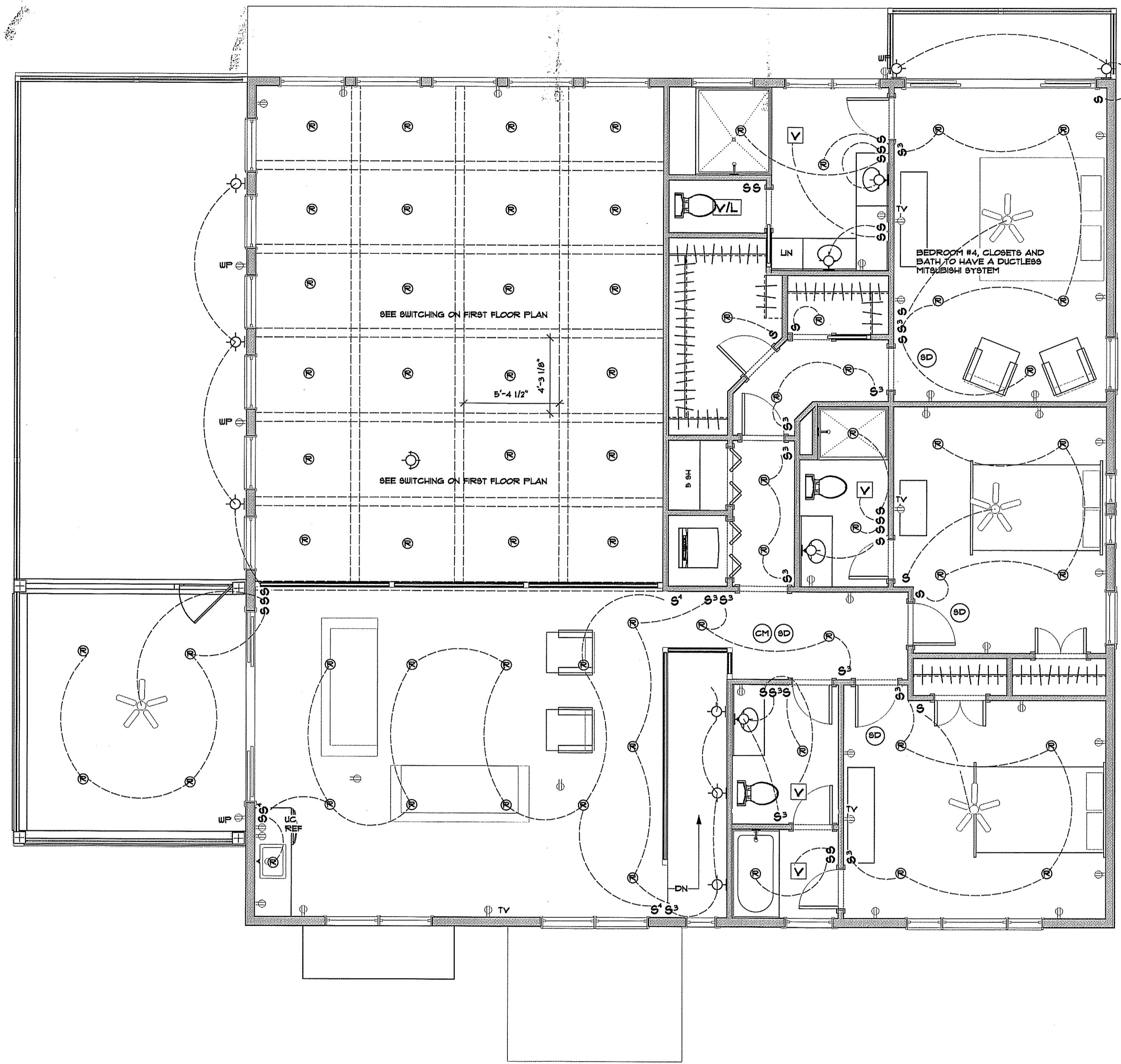
REVISIONS

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 ANNAPOLIS, MD 21401
 PHONE: 443-995-5585
 DRAWN BY: MICHAEL STEVENSON

**ADDITION/REMODEL FOR
 SALKELD FAMILY RETREAT
 BUILDING SITE:
 3018 FRIENDS ROAD
 ANNAPOLIS, MD 21401**



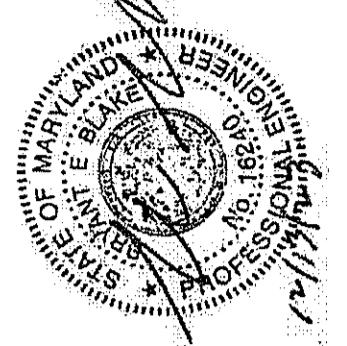
SHEET
E001



LEGEND	
	RECEPTACLE
	1/2 SWITCHED RECEP
	WATER PROOF RECP
	RECESS LIGHT
	CEILING MOUNTED LIGHT
	CHANDELIER
	WALL MOUNTED LIGHT
	FLUORESCENT LIGHT
	BATH VENT
	BATH VENT / LIGHT
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	FUNCTION OF SWITCH
	SMOKE DETECTOR
	CEILING FAN

SECOND FLOOR ELECTRIC PLAN
SCALE: 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16246, EXPIRATION DATE: 11/6/24



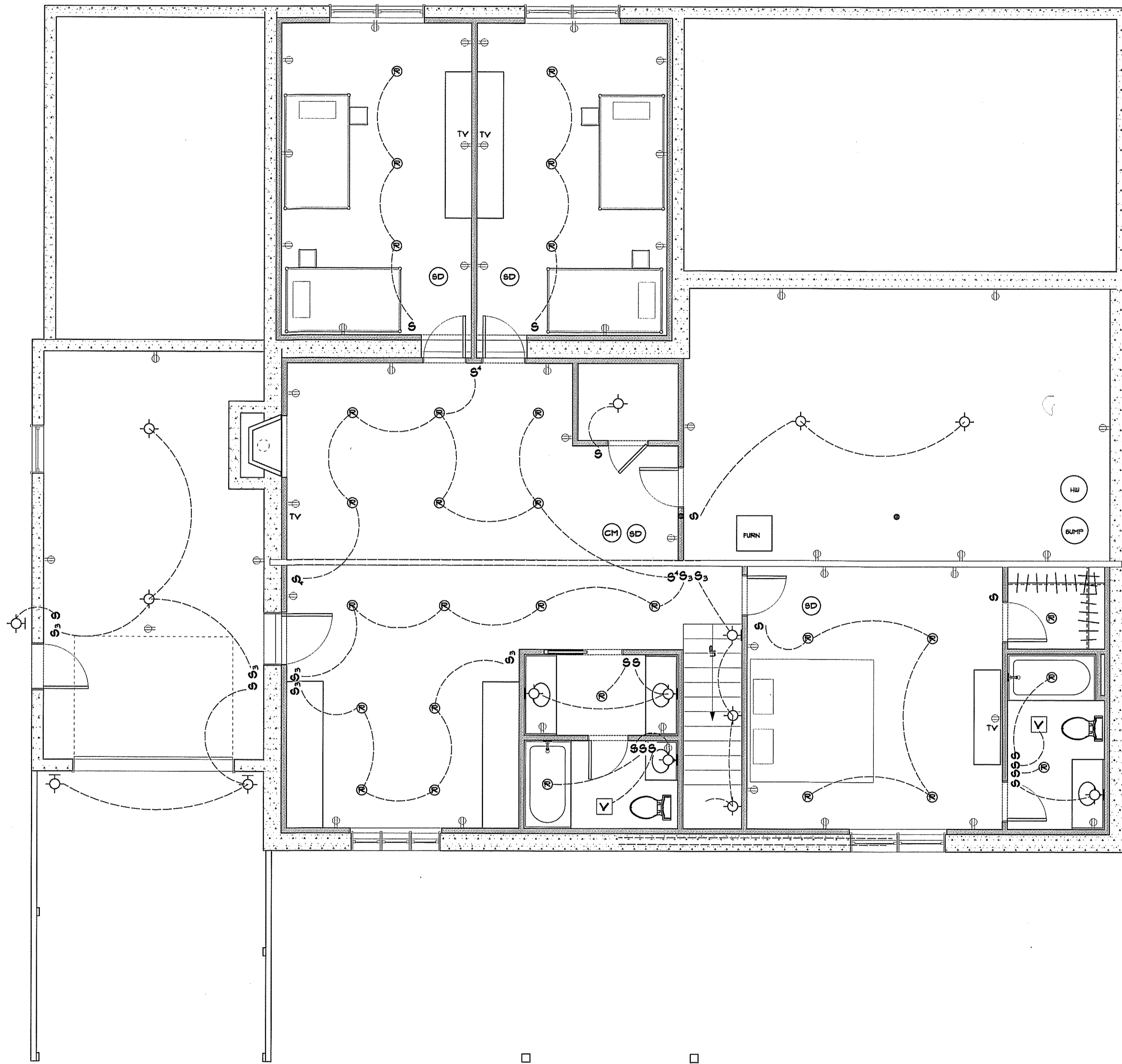
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ANNAPOLIS, MD 21401
PHONE: 443-998-8885
DRAWN BY: MICHAEL STEVENSON

ADDITION/REMODEL FOR
SALKELD FAMILY RETREAT
BUILDING SITE:
3018 FRIENDS ROAD
ANNAPOLIS, MD 21401

DATE: 12/13/23

REVISIONS

SHEET
E002



LEGEND	
	RECEPTACLE
	1/2 SWITCHED RECP
	WATER PROOF RECP
	RECESS LIGHT
	CEILING MOUNTED LIGHT
	CHANDELIER
	WALL MOUNTED LIGHT
	FLUORESCENT LIGHT
	BATH VENT
	BATH VENT / LIGHT
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	FUNCTION OF SWITCH
	SMOKE DETECTOR
	CEILING FAN

BASEMENT ELECTRIC PLAN

SCALE: 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 162249, EXPIRATION DATE: 11/5/24



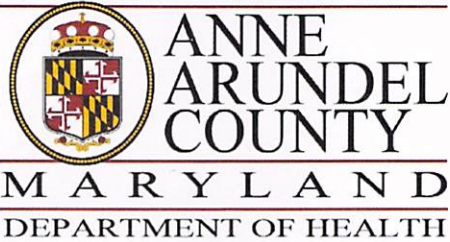
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 591 MORAN COURT
 ANNAPOLIS, MD 21401
 PHONE: 443-995-5585
 DRAWN BY: MICHAEL STEVENSON

ADDITION/REMODEL FOR
 SALKELD FAMILY RETREAT
 BUILDING SITE:
 3018 FRIENDS ROAD
 ANNAPOLIS, MD 21401

DATE: 12/13/23

REVISIONS

SHEET
E003




J. Howard Beard Health Services Building
3 Harry S. Truman Parkway
Annapolis, Maryland 21401
Phone: 410-222-7095 Fax: 410-222-7294
Maryland Relay (TTY): 711
www.aahealth.org

Tonii Gedin, RN, DNP
Health Officer

MEMORANDUM

TO: Sadé Medina, Zoning Applications
Planning and Zoning Department, MS-6301

FROM: Brian Chew, Program Manager 
Bureau of Environmental Health

DATE: February 7, 2025

RE: 3025, LLC
3018 Friends Road
Annapolis, MD 21401

NUMBER: 2025-0010-V

SUBJECT: Variance/Special Exception/Rezoning

The Health Department has reviewed the above referenced variance to allow a dwelling addition (first floor renovation, second floor addition, third floor half-story attic) with less setbacks than required and with disturbance to slopes of 15% or greater.

The Health Department has reviewed the above-referenced request. The property is served by public water and sewer facilities. The Health Department has no objection to the above-referenced request.

If you have further questions or comments, please contact Brian Chew at 410-222-7413.

cc: Sterling Seay

2025-0010-V

Menu Cancel Help

Task Details OPZ Critical Area Team

Assigned Date

02/05/2025

Assigned to

Kelly Krinetz

Current Status

Complete w/ Comments

Action By

Kelly Krinetz

Comments

No objection to the construction of a second story addition over the existing foundation/first floor.

End Time

Billable

No

Time Tracking Start Date

In Possession Time (hrs)

Estimated Hours

0.0

Comment Display in ACA

- All ACA Users
- Record Creator
- Licensed Professional
- Contact
- Owner

Due Date

02/26/2025

Assigned to Department

OPZ Critical Area

Status Date

02/05/2025

Overtime

No

Start Time

Hours Spent

0.0

Action by Department

OPZ Critical Area

Est. Completion Date

Display E-mail Address in ACA

Display Comment in ACA

Task Specific Information

Expiration Date
Reviewer Phone Number

Review Notes
Reviewer Email

Reviewer Name



Jamileh Soueidan -DNR- <jamileh.soueidan@maryland.gov>

CAC Comments: 2025-0010-V; 3025 LLC (AA 0032-25)

1 message

Jamileh Soueidan -DNR- <jamileh.soueidan@maryland.gov>
To: Sadé Medina <pzmedi22@aacounty.org>
Cc: Jennifer Esposito -DNR- <jennifer.esposito@maryland.gov>

Fri, Feb 21, 2025 at 1:27 PM

Good afternoon,

The Critical Area Commission has reviewed the following variance, and we provide the following comments:

- 2025-0010-V; 3025 LLC (AA 0032-25): Appropriate mitigation required

The above comments have been uploaded to the County's online portal.

Sincerely,
Jamile

--



Critical Area Commission for the
Chesapeake & Atlantic Coastal Bays
dnr.maryland.gov/criticalarea

Jamileh Soueidan (she/her)
Natural Resources Planner
1804 West Street, Suite 100
Annapolis, MD 21401
Office: [410-260-3462](tel:410-260-3462)
Cell: [667-500-4994](tel:667-500-4994) (preferred)
jamileh.soueidan@maryland.gov

2025-0010-V

Menu Cancel Help

Task Details I and P Engineering

Assigned Date

02/07/2025

Assigned to

Jean Janvier

Current Status

Complete w/ Comments

Action By

Jean Janvier

Comments

1. Label all stormwater management devices.
2. Comment #17 of the General Notes on the Site Plan states that "roof areas shall...drain to a Stormwater Management (SWM) device as shown on these plans." However, it does not appear that any SWM devices are shown on the Site Plan. However, the CA Report states that SWM is not required since disturbance is not above 5,000 sq ft. Clarify these comments by clearly stating whether or not SWM is proposed for this project.
3. Show and label the Limit of Disturbance on the Site Plan.
4. According to the Letter of Explanation, the disturbed area is listed as 2,210 sq ft, but in the CA notification report, it is listed as 3,471 sq ft. Ensure the disturbed area is consistent across all plans and reports.
5. On the Site Plan, show and label the location of the existing water line.
6. On the Site Plan, ensure the location of the existing water meter is accurate. The location shown on the Site Plan is about 10 feet south from where it is shown on Anne Arundel County's GIS map.
7. On the Site Plan, show and label the location of the existing sewer cleanout.
8. Comment #15 of the General Notes on the Site Plan states that off-site topography is taken from AA County Topo maps. However, the Site Plan does not show any offsite topography. Show the offsite topography and, in Comment #15, identify the year of the topography used. The latest topography available (2023) should be used.
9. The Site Plan legend shows a symbol for proposed contours. However, there are no proposed contours on the Site Plan. Show and label the proposed contours on the Site Plan.
10. The SDAT record lists the site's size as 20,654 sq ft. However, Comment #1 of the General Notes states the site's size as 19,484. Please ensure the site's size is accurate and consistent across all plans.
11. On the Site Plan, label all of the existing items (e.g. existing house, deck, etc) to show whether or not they are to remain or to be removed.
12. At the grading permit stage, label the size and type of pipe used on the public sewer line, the manhole number and reference the as-built from which this information was taken.

End Time

Billable

No

Time Tracking Start Date

In Possession Time (hrs)

Estimated Hours

0.0

Comment Display in ACA

- All ACA Users
- Record Creator
- Licensed Professional
- Contact
- Owner

Task Specific Information

Due Date

02/26/2025

Assigned to Department

Engineering

Status Date

02/26/2025

Overtime

No

Start Time

Hours Spent

0.0

Action by Department

Engineering

Est. Completion Date

Display E-mail Address in ACA

Display Comment in ACA

Expiration Date

Review Notes

Reviewer Name

Jean Janvier

Reviewer Phone Number

Reviewer Email

ipjanv22@aacounty.org

Map Title



Legend

Foundation

Addressing



Parcels



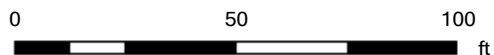
Parcels - Annapolis City



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

none

Notes



THIS MAP IS NOT TO BE
USED FOR NAVIGATION